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BUTTERFIELD SPECIFIC PLAN

SCH # 2007091149

**CITY OF
BANNING, CALIFORNIA**

APPLICANT:



PREPARED BY:



BUTTERFIELD SPECIFIC PLAN

**(Amendment and Restatement of the Previously Adopted Deutsch
Property Specific Plan)**

Draft

November, 2011

CITY OF BANNING, CALIFORNIA

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1.0 PROJECT INTRODUCTION

1.1 EXECUTIVE SUMMARY

The Butterfield Specific Plan proposes a 1,543-acre multi-use community within the northwestern corner of the City of Banning. Butterfield is to be predominately residential, comprised of simple, architecturally designed single-family, detached homes. Neighborhood parks, a public golf course option, community parks, schools, open spaces, retail and commercial parcels are also integrated into the community. The Butterfield Specific Plan proposes a variety of residential opportunities including small, medium and standard lot single family detached homes; various configurations of single family detached cluster residences and attached single family or multi-family dwellings.

The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment. The community landscape concept combines the existing natural character of the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls, and other similar materials and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species. Butterfield's high profile areas such as monumentation, parks, golf course clubhouse, and other community facilities will be highlighted and reinforce the California ranch theme.

The outdoor lifestyle is an important design concept, one that is supported by residential plan types, the golf course, parks and pedestrian connections linking the neighborhoods of Butterfield and by the community's immediate adjacency to the San Bernardino Mountains. This location provides an ideal setting for an active outdoor lifestyle and for residents to enjoy access to trails and close-up mountain views as their backdrop.

The land itself offers a dynamic setting that transitions from flatland to foothill to the San Bernardino Mountains – all within view of Butterfield residents. The golf course open space plan neatly encompasses natural drainage paths and centrally organizes open spaces within the community. Community landscapes, parks and open spaces include the golf course, waving grasses and wildflowers edging community areas and select specimen trees providing landmark entries to the community. Butterfield's Design Guidelines are intended to facilitate diverse and varied streetscapes while maintaining a cohesive sense of place. Butterfield's architecture and landscapes are intended to be compatible with the surrounding environmental character. Design elements and landscape will consist of harmonious styles, forms, massing, color, materials, orientation and rooflines.

Proposed Low Density Residential single family lot sizes range from a minimum of 5,000 square feet to a minimum average of 7,500 square feet in some planning areas to a minimum average of over 10,000 square feet in the planning areas in the far north portion of the plan area. Medium Density single family lot sizes range from a minimum of 3,400 square feet to a minimum average of 7,200 square feet. The cluster development to be allowed in the project site is proposed to have lots ranging in minimum size from 2,000 to 2,800 square feet or as detached condominium units. High Density Residential attached townhomes or other types of attached dwellings are also proposed for potential development in three of the Specific Plan planning areas. A total

of 5,387 residential units are proposed for development within approximately 937 acres of the project site¹.

In addition to the proposed residential development, a total of 428 acres of open space is proposed consisting of parks, natural open space, landscaped slope areas, easement areas, drainage areas, and potentially a golf course integrated with the proposed realigned Smith Creek. To serve the future residents of Butterfield, two commercial sites totaling 36 acres are proposed. Other public facilities uses include two school sites constituting 23 acres, a 4.2 acre utility substation site, a potential 1.6 acre fire station site and 114 acres reserved for the backbone roadway network. Further discussion of the Butterfield Specific Plan's proposed land uses is provided in Section 3.1 *Land Use Plan*, of this Specific Plan.

Approximately 1,522 acres of the total Specific Plan area lies within the current limits City of Banning. In the Specific Plan area's northwest corner, approximately 21 acres are included in the Specific Plan, which are located on the east side of Highland Springs Avenue and south of the easterly extension of Brookside Avenue. This 21 acre area is located within the City of Banning's General Plan Planning Area, but is not currently within the City of Banning's Sphere of Influence or city limits. The Butterfield Specific Plan will apply to the 21 acre Planning Area (PA) 43B area only if and when this area is brought into Banning's Sphere of Influence and ultimately annexed to the City, if sought by the owners of this 21 acres. The Specific Plan designates the 21 acre area as Planning Area 43B with an area of 19.1 acres. The rest of the 21 acre area would be future Highland Springs Ave. and Brookside Ave. street widening.

The Butterfield Specific Plan aims to fulfill the City of Banning's development objectives by creating a development that responds to community needs, incorporates existing amenities, and provides a variety of open space amenities and uses. The variety of residential uses provides housing at different affordable price levels for a variety of income levels. Through the use of effective planning, the proposed Butterfield Specific Plan responds to the community's vision by providing a desirable high-quality planned community that integrates evenly distributed residential development.

1.2 PROJECT LOCATION & SETTING

The Butterfield Specific Plan area is located within the northwest portion of the City of Banning in the County of Riverside. The project site is located in the San Gorgonio Pass area joining Riverside and Perris Valley with Palm Springs and the Coachella Valley lower desert. Several major freeways connect the project site to Western Riverside and San Bernardino County including Interstate 10 (I-10), and State Highways 60 (SR-60), 79 (SR-79), and 243 (SR-243). Regional access to the site is provided by I-10 from Highland Springs Avenue. The site is generally bounded by Wilson Street to the south, Highland Springs Avenue to the west; Riverside County unincorporated land to the north and northeast, and portions of Highland Home Road to the east. The San Bernardino National Forest is further north of the project site. Refer to Exhibit 1.1, *Regional Location*, and Exhibit 1.2, *Vicinity Map*.

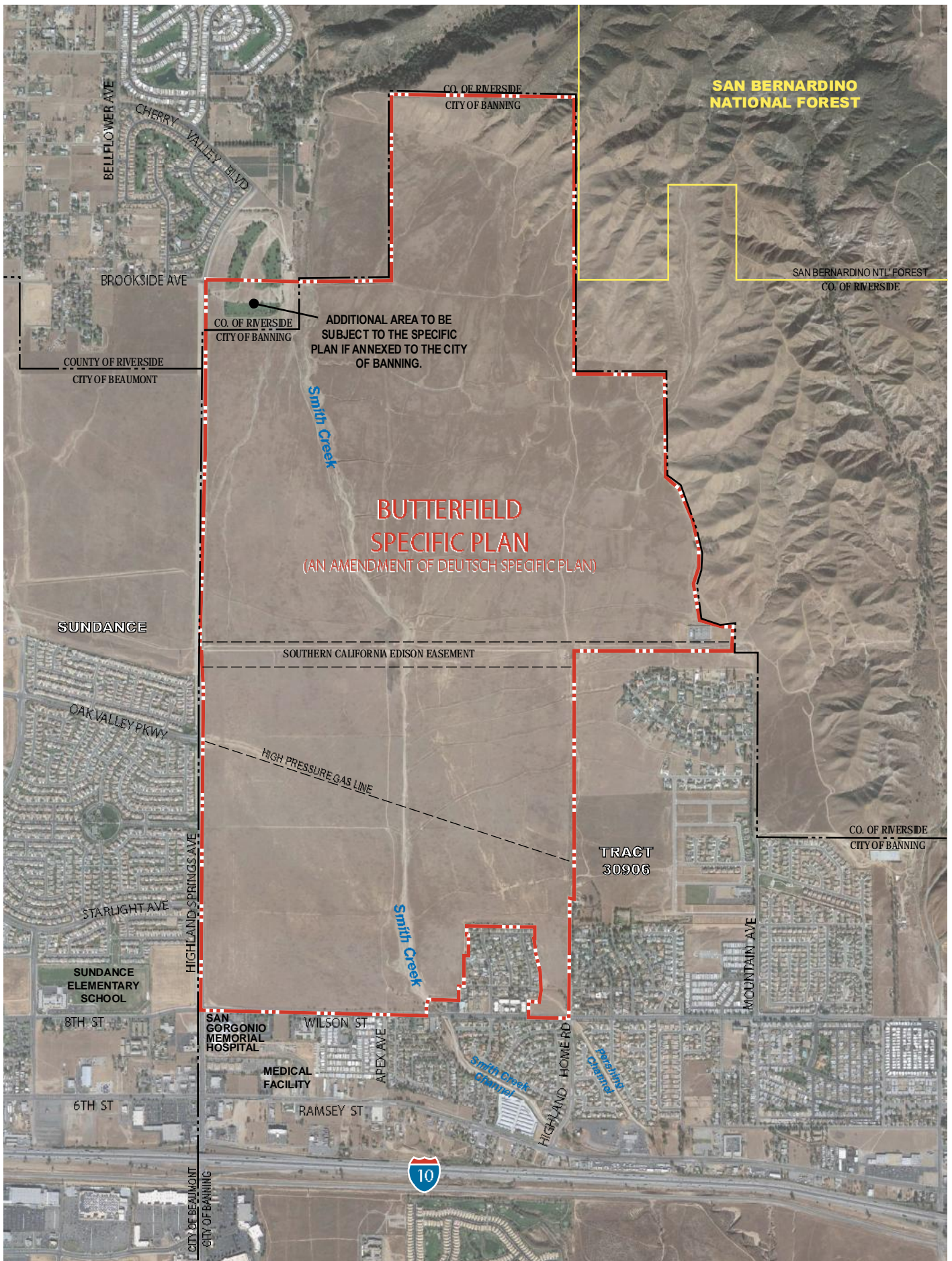
¹ An alternate residential use of the school and commercial sites is permitted, if the school districts determine that the school sites are not needed or if the commercial sites are found not viable for commercial sites. The school sites could be alternatively developed with single family detached homes at up to 10 DU/AC, and the Commercial designated Planning Areas 17 and 18 could be developed with single family detached homes at up to 4.5 DU/AC and 10 DU/AC respectively as long as total of 5,387 dwellings units are not exceeded for the project. In addition, the Specific Plan allows Commercial as an alternative use for Residential PA's 3, 4 and 5 and Park PA's 26 and 27. Please consult Section 3.1 for further details.



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN
Regional Vicinity Map

EXHIBIT 1.1

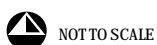
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SOURCE: Google Earth Imagery - NOV. 16, 2009

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Local Vicinity Map



3/24/2011 JN 65-100290

EXHIBIT 1.2

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1.3 SPECIFIC PLAN BACKGROUND

The planning process for the original Deutsch property (as it was identified prior to being renamed Butterfield) began in October of 1981 and culminated in the approval of the original Deutsch Property Specific Plan. In April, 1984, a comprehensive entitlement program was initiated by Deutsch with the City of Banning in order to have the City formally adopt the Deutsch Specific Plan. The City's process required preparation of General Plan Amendment, Specific Plan, Zoning and Environmental Impact Report (EIR). Those studies were completed in October 1984. On April 18, 1985, the Banning City Council certified the Final EIR and on June 25, 1985 the Council approved a General Plan Amendment, Specific Plan, Zoning and Pre-Zoning for the Deutsch Property. A subsequent request (Specific Plan Amendment No. 1992-03) was filed to amend and enlarge the Specific Plan which the Banning City Council certified a new EIR on October 26, 1993 and adopted the amended Specific Plan on November 9, 1993 by Ordinance No. 1133. A majority of the specific plan area was annexed to the City of Banning in 1985. The remainder (except the 19.1 acres noted above in Section 1.1) was annexed to the City in 1995.

As part of the previous entitlement process, a development agreement was entered into between the City and the property owner and its successors, which committed both parties to the development program described in the Specific Plan. The agreement is binding, and exempts the Specific Plan from changes to codes, plans, resolutions, or voter approved initiatives that might yield a different development scenario. The approved and executed Development Agreement outlines the City responsibilities as well as the construction requirements for specified public improvements, facilities and services. On November 9, 1993, the Banning City Council adopted Ordinance No. 1134, which approved the Deutsch Specific Plan Development Agreement No.1992-02.

The current proposed Butterfield Specific Plan constitutes the second amendment to the Specific Plan and a restatement of the previously approved specific plans and zoning for the property.

1.4 DEUTSCH SPECIFIC PLAN AND BUTTERFIELD SPECIFIC PLAN AMENDMENT – COMPARISON OF PLANS

The Land Use Plan for the Butterfield Specific Plan amendment proposes uses including residential, golf course, parks, open space, school sites, and commercial similar to the previously adopted 1993 Deutsch Specific Plan. The Butterfield Specific Plan amendment has a slightly lower maximum number of dwelling units allowed (5,387 units allowed in the residential planning areas²) than that allowed by the previously adopted 1993 Deutsch Specific Plan (5,400 DU's). The gross density of the Butterfield Specific Plan over the entire site would be nearly identical to the 3.5 dwelling units to the acre for the previously adopted Deutsch Specific Plan.

The following Table 1-1, *Comparative Land Use Summary*, compares the 2011 Butterfield Specific Plan amendment Land Use Plan with the 1993 adopted Deutsch

² An alternate residential use of the school and commercial sites is permitted, if the school districts determine that the school sites are not needed or if the commercial sites are found not viable for commercial sites. The school sites could be alternatively developed with single family detached homes at up to 10 DU/AC, and Planning Areas 17 and 18 could be developed with single family detached homes at up to 4.5 DU/AC and 10 DU/AC respectively as long as total of 5,387 dwellings units are not exceeded for the project. Please consult Section 3.1 for further details.

Specific Plan. For a graphic representation of the two projects, refer to Exhibit 1.3, *2011 and 1993 Specific Plan Comparison*.

Table 1-1
2011 and 1993 Specific Plans
Comparative Land Use Summary

Land Use	2011 Butterfield	1993 Deutsch	2011 Butterfield	1993 Deutsch	2011 Butterfield	1993 Deutsch
	Gross Acres	Gross Acres	% of Area	% of Area	Dwelling Units	Dwelling Units
Residential:						
Low Density 0-5 DU/AC (LDR)	539.2	656.0	35.0%	42.3%	2,222	1,946
Medium Density 0-10 DU/AC (MDR)	324.4	390.0	21.0%	25.1%	1,960	1,950
High Density 11-18 DU/AC (HDR)	73.8	89.0	4.8%	5.7%	1,205	1,184
Very High Density 18 DU/AC + (HDR)		16.0	0.0%	1.0%		320
Residential Subtotals	937.4	1,151.0	60.8%	74.2%	5,387	5,400
Open Space:						
Golf Course/Drainage	253.9	193.0	16.5%	12.4%		
Parks	66.5	75.0	4.3%	4.8%		
Natural/Landscape/Easement	70.1		4.5%			
Drainage	38.3		2.5%			
Open Space Subtotals	428.8	268.0	27.8%	17.3%		
Other:						
Commercial/Office ¹	36.0	25.0	2.3%	1.6%		
Schools ²	23.0	24.0	1.5%	1.5%		
Utility Substation	4.2		0.3%			
Fire Station ³	1.6	1.0		0.06%		
Backbone Roads	113.6	83.0	7.4%	5.3%		
Other Subtotals	176.8	133.0	11.5%	8.5%		
SPECIFIC PLAN TOTALS	1,543.0	1,552.0	100.1%	100.0%	5,387	5,400

Notes:

¹ Within the Butterfield Specific Plan, alternate Residential use or mixed use of the Commercial sites is provided, for PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR), as long as the overall DU total for the Specific Plan does not exceed 5,387 DU. In addition, the Butterfield Specific Plan allows Commercial as an alternate use for residential PA's 3, 4 and 5 (51.4 acres combined) and Park PA's 26 and 27 (0.9 acres combined).

² Alternate Residential use of school sites at up to 10 DU/AC is provided for within the Butterfield Specific Plan as long as the overall DU total for the Specific Plan does not exceed 5,387 DU.

³ A fire station site is designated as a permitted use in any of the Residential, Open Space, Commercial or School Planning Areas, Except PA's 36, 37, 38, 69, 73, 74, and 75 in the Butterfield Specific Plan. The 1.6 acre fire station site area is included in the area of other land use areas.

2011 BUTTERFIELD SPECIFIC PLAN



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CONSULTING

 NOT TO SCALE

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Even though it reflects a 21-acre addition, total area of the Butterfield Specific Plan amendment (1,543 acres) is less than that listed in the 1993 Deutsch Specific Plan (1,552 acres). The reasons for this discrepancy are not entirely certain, but it may be in part attributed to a refinement in calculating the Specific Plan area and to what extent perimeter streets are included in the calculations. The 1993 Deutsch Specific Plan included in the boundary shown as part of that document an additional approximately 30 acre area on the northeast side that was not included in the 1995 annexation, and is not currently within the Banning city limits, and is not shown as part of the specific plan area on either the Banning General Plan or Zoning maps. The Butterfield Specific Plan acreage includes anticipated additional street right-of-way dedication on Highland Springs Avenue, Wilson Street and Highland Home Road, but it does not include existing right-of-way on these streets. The Assessor Parcels involved in the Specific Plan area add up to 1,549 acres (APN's 408-030-001 & 005, 408-060-006, 007 & 008 (portion), 408-120-001 through 020, 022, 024, 025, 027 & 033, and 531-080-013 & 014).

1.5 CURRENT PROJECT APPROACH AND OBJECTIVES

The Butterfield Specific Plan is designed to ensure that development will occur in a manner responsive to site characteristics and community improvements. Butterfield's relationship to the General Plan is discussed in greater detail in Section 7.0, *General Plan Consistency*.

The objectives of the Butterfield Specific Plan Project are to:

- **Master Planned Community:** Design and implement the development of a creatively-designed master planned community that expresses and embodies the City's vision of its future as articulated in the fundamental land use principles, policies, and objectives of the City's General Plan.
- **Update the Deutsch Specific Plan:** Update the prior approved 1993 Deutsch Property Specific Plan based on current and projected market conditions while maintaining the Plan's underlying concept of comprehensive and cohesive development planning that allows for the appropriate physical and economic development of the property.
- **Provide a Quality, Livable Community:** Provide a quality, livable community through the implementation of a Specific Plan that will ensure a consistent quality of design, allow for the provision and maintenance of community amenities, and create a collection of cohesive, well-defined neighborhoods that provide residents with a clear sense of place and identity within the diverse fabric of the larger community.
- **Provide a Wide Range of Housing Opportunities:** Provide a range of high quality housing opportunities by developing a diverse range of housing types available at a variety of price points, responsive to market demand, varying lifestyles, and the developing economic profile of the community.
- **Promote Sustainability:** Promote the concept of sustainable community development by implementing green building practices in the selection of construction materials, the recycling of construction waste, and the use of energy and water efficient building practices.

- **Incorporate Water and Energy Efficiency:** Incorporate energy and water efficient design and technology into the homes, commercial buildings, and landscape of the Butterfield development.
- **Conserve Water Resources:** Conserve water resources and reduce demand for potable water within the Specific Plan area by maximizing the use of recycled water wherever appropriate, including the potential development of onsite recycled water treatment capacity, if needed.
- **Increase Employment Opportunities:** Increase local job opportunities through the approximate 30 year build out.
- **Ease of Navigation:** Create a community that it easy to navigate through careful use of landscape, signage, and entry design based on the Specific Plan's design objectives.
- **Recreational Amenities:** Provide recreational amenities which will serve the needs of neighborhood residents and others in the City of Banning as well as nearby communities.
- **Safe and Efficient Circulation:** Provide a safe and efficient roadway network, linking all internal elements of the planned community with the surrounding area.
- **Encourage Alternative Transportation:** Encourage alternative transportation choices through the creation of a walkable community with well-defined pedestrian linkages between neighborhoods, amenities, schools, and commercial uses, the provision of bike paths, the creation of LSV/NEV linkages, and the development of multi-purpose trails.
- **Promote Community Security:** Promote community security and safety through appropriate outdoor lighting, the incorporation of "defensible space" concepts in the design of multifamily developments, and by encouraging community involvement through the area's master homeowners association.
- **Address Drainage and Water Quality Issues:** Provide adequate drainage, flood control and water quality improvements, which satisfy applicable local, state and federal criteria while respecting and enhancing/preserving natural drainage functions and features.
- **Ensure Provision of Public Services:** Ensure provision of adequate public services, utilities and infrastructure in a timely manner as development occurs; and
- **School Facilities:** Ensure provision of adequate education facilities within the planned community, pursuant to applicable school district and state requirements.

Refer to Exhibit 1.4, *Illustrative Land Use Plan* for an overview of the project approach in relation to land uses and design features.



LEGEND

Low Density

- LDR (2-5 DU/AC)
- LDR (2-5 DU/AC)
- LDR (2-5 DU/AC)

Medium Density

- MDR (5-10 DU/AC)
- MDR (5-10 DU/AC)
- CLUSTER (5-10 DU/AC)

High Density

- HDR (10-18 DU/AC)
- NEIGHBORHOOD PARKS

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1.6 DOCUMENT PURPOSE AND FORMAT

The purpose of the Butterfield Specific Plan is to plan and regulate the development of the 1,543-acre project site located within the northwestern part of the City of Banning. The Specific Plan will serve as the implementation and regulatory tool for the orderly development of the project. The Specific Plan has been prepared in conformance with the City of Banning's General Plan and Zoning Code as it relates to the preparation of specific plans and other aspects as applicable. The Specific Plan provides an overall land use concept and defines the development regulations, requirements, and design guidelines for the development of the land uses within the plan. This plan will establish the type, location, intensity, and character of the development, while still allowing for creative and imaginative design concepts.

The original Deutsch Property Specific Plan was accompanied by an Environmental Impact Report (EIR) and supplemental technical studies, which addressed the environmental impacts of the original project. The Butterfield Specific Plan is an amendment and restatement of the Deutsch Property Specific Plan document. A new EIR has been prepared on the 2011 Butterfield Specific Plan which is intended for adoption by the City of Banning. This EIR updates the environmental analysis contained in the previously adopted EIR and complies with the current requirements of the California Environmental Quality Act (CEQA).

Cities are authorized by the State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450 to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The Government Code specifies that Specific Plans may be adopted by resolution or ordinance and are required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for Specific Plans including provisions of a land use plan, a plan for infrastructure and services, criteria and standards for development, and implementation measures. The Government Code also states that Specific Plans may address any other subjects, which in the judgment of the City are necessary or desirable for the implementation of the General Plan. As such, the Butterfield Specific Plan is organized into the following chapters:

Section 1 – Introduction: This chapter provides a general overview of the project, including the project location, project background, and the entitlements and actions necessary to adopt and implement the Specific Plan amendment. In addition, this chapter describes the approach and objectives of the Specific Plan in relation to the project vision and community needs.

Section 2 – Existing Conditions: This chapter describes the existing land uses of the site and surrounding development, General Plan and Zoning designations, existing landform and topography, and circulation and access points of the project site. Also included is a discussion of the existing infrastructure and utilities, geology and soils, vegetation and wildlife, and the site historic or cultural resources.

Section 3 – Development Plan: This chapter establishes plans for the land use, circulation, infrastructure and phasing components of the project. This chapter also establishes the land uses for the project, including residential, open space areas, golf course, commercial uses, and school sites designations.

Section 4 – Development Design Guidelines: This chapter sets forth the design programs and requirements for the project, identifying the characteristics of the architectural theme and landscape program for the project.

Section 5 – Development Regulations: This chapter establishes the land use and development standards for development of the Specific Plan area, such as lot sizes and setbacks, and serves as the zoning regulation for the project site.

Section 6 – Administration and Implementation: This chapter sets forth the mechanisms that govern development within the Specific Plan. These mechanisms include provisions for amendment and modification of the Specific Plan.

Section 7 – General Plan Consistency: This chapter describes the projects consistency with the goals and programs set forth in the City of Banning's General Plan which are applicable and furthered by the Butterfield Specific Plan.

1.7 REQUIREMENTS OF THE SPECIFIC PLAN

The Butterfield Specific Plan amendment has been prepared pursuant to the provisions of California Government Code Section 65450 through 65457, which grants local government agencies the authority to prepare specific plans for any area covered by a General Plan. California Government Code Sections 65450 through 65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate that Specific Plans be consistent with the General Plan within which they are included.

According to Section 65451, a Specific Plan shall include a text and a diagram or diagrams, which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the Specific Plan Area.
- The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities to be located within the Specific Plan area and which are needed to support the land uses described in the Plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, public works projects, and financing measures necessary to carry out the project.
- A statement of the relationship of the Specific Plan to the General Plan.

1.8 DISCRETIONARY ACTIONS AND APPROVALS

Concurrent with the filing of this Specific Plan, the project applicant is applying for approval of a General Plan Amendment and Zone Change as necessary an amended Development Agreement, Tentative Tract Maps, and Design Review will be additional requested and required related approvals that may be subsequent or concurrent

considerations with the Specific Plan. The General Plan Amendment and Zone Change applications allows Specific Plan land use designations and overlay zones to be established on the project site that reflect the adoption of the amended Specific Plan. The Design Review application allows for the approval of architectural plans for the proposed residential development. The City of Banning is the Lead Agency for preparation of the appropriate California Environmental Quality Act (CEQA) documents in support of approval of these applications as required. The CEQA documentation analyzes the impacts associated with the proposed development and would require certification prior to approval of any discretionary actions.

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SECTION 2 BUTTERFIELD SPECIFIC PLAN

2.0 EXISTING CONDITIONS

2.1 EXISTING AND SURROUNDING LAND USES

The Butterfield Specific Plan project site is comprised of approximately 1,543 acres. It is generally bounded by Wilson Street to the south, Highland Springs Avenue to the west; Riverside County unincorporated land to the north and northeast, and portions of Highland Home Avenue to the east. Approximately 1,522 of these acres are currently in the Banning city limit. The other approximately 21 acres included in the Specific Plan area are located in the northwest corner of the Specific Plan on the east side of the Highland Springs Avenue and the south side of a proposed easterly extension of Brookside Avenue.

The site is used intermittently for agriculture and livestock grazing and has been extensively disturbed by man. Disturbance includes grazing, disking and contour farming. Vegetation types within the project site consist primarily of annual grassland and mixed chaparral. Dominant plant species are non-native, including wild oat and brome grasses.

Smith Creek currently runs from north to south within the project site boundaries. Within the project boundary, Smith Creek is a natural earthen channel approximately 30 feet wide and ranges from three to five feet deep. The channel is mostly barren soil with a sandy bottom and soil sidewalls. Pershing Channel exists along the east boundary in the lower southwest portion of the Specific Plan Area.

The existing topography of the site is relatively level due to its past farming and grazing disturbances. However, the site begins to slope upward towards the northeast corner of the site since the San Bernardino Mountain range has its southern boundary along the edge of the site. The elevation of the southern portion of the project area is approximately 2,560 feet; at the project site's highest point in the northeast corner, the elevation is approximately 3,400 feet.

Exhibit 2.1, *Surrounding Development*, depicts the project site in the context of other proposed developments in the vicinity. The lands surrounding the project site to the north and to the east are vacant foothills. Further to the north are portions of the San Bernardino National Forest. The land to the west of the project site is comprised of the Sundance Specific Plan within the City of Beaumont and is currently being developed, with the majority of the remaining undeveloped portions of the site covered with non-native grasses. To the northwest of the site, across Brookside Avenue, the land is developed as the Highland Springs Country Club Golf Course area within the unincorporated County area. There is also existing low-density, single family housing west of Highland Springs Avenue, that is part of the Highland Springs Country Club. Further northwest of the project site, there is the Highland Springs Mobile Home Village. To the south of the project site, north of Wilson Street, the land is occupied primarily by high-density, multiple-family housing (8.1-16 du/acre), and low-density, single-family housing (2.4 to 4.1 du/acre). Additionally, south of Wilson Street, and north of I-10, property is designated as Highway and Community Commercial and Residential.

2.2 GENERAL PLAN AND ZONING DESIGNATIONS

The City of Banning General Plan (adopted January, 2006) identified six land use categories for the project site. In conformance with the General Plan, a Specific Plan overlay has been designated for the project site. The 21-acre area in the northwest corner of the project site is located outside of Banning's city limits, but it is located within the City of Banning's Planning Areas as designated on their General Plan Land Use Map. The previous General Plan designations on the Specific Plan area reflected the Deutsch Specific Plan (1993) approved land uses. Exhibits 2.2 and 2.3 depict the City's General Plan and zoning designation as amended for the project site as Specific Plan Area and the existing designations for the project vicinity.

2.3 CIRCULATION AND ACCESS

Table 2-1, *Existing Circulation Network*, provides a description of the existing roadways within the project area. Table 2-1 includes the General Plan designation and number of existing lanes. Roadways in the project vicinity include Highland Springs Avenue to the west of the project boundary, Wilson Street to the south and portions of Highland Homes to the east.

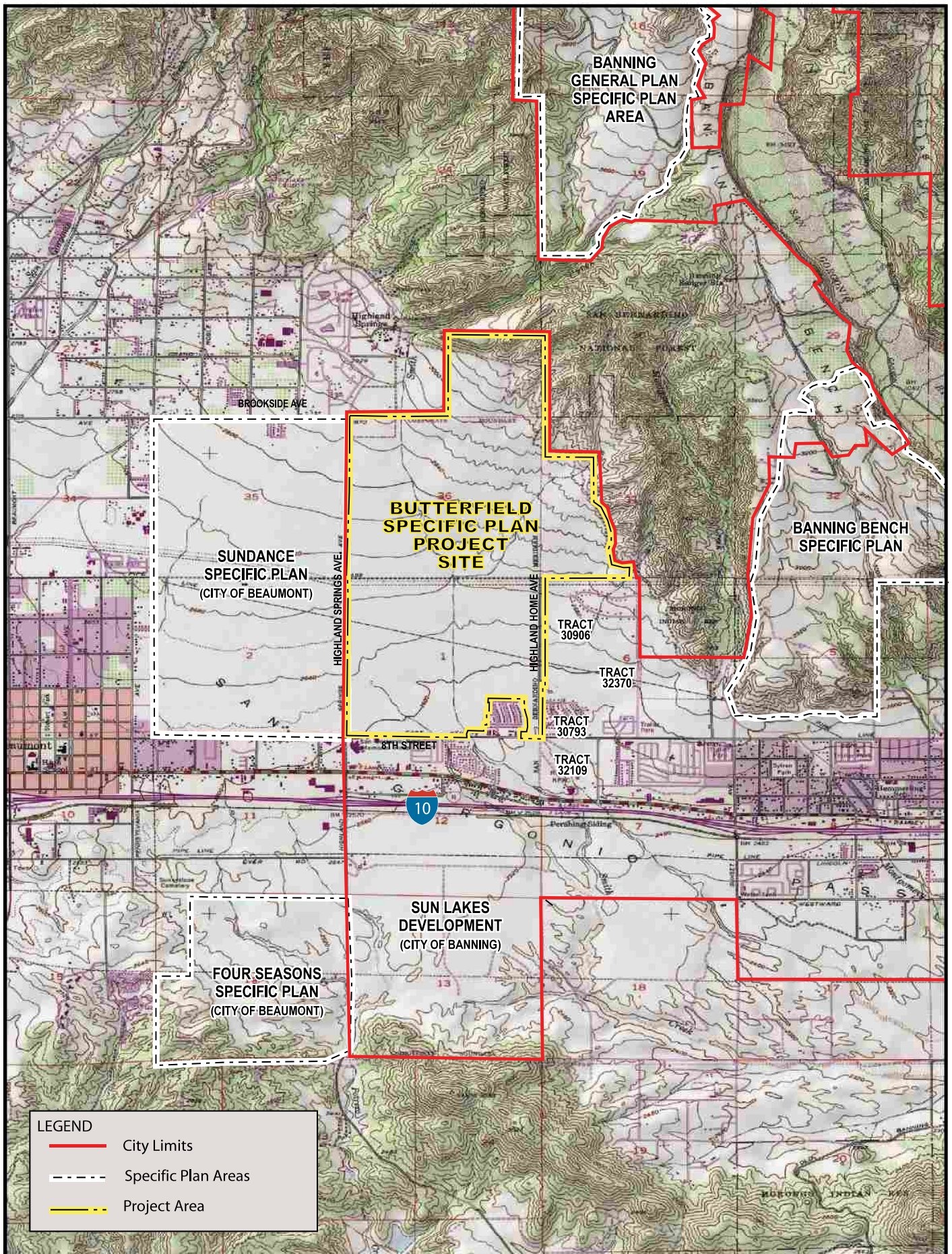
**Table 2-1
Existing Circulation Network**

Roadway	General Plan Designation	Existing Lanes
Highland Springs Ave. (south of Wilson Street)	Urban Arterial	4 lanes, undivided
Highland Springs Ave. (north of Wilson Street)	Arterial or Major Highway	2-4 lanes, undivided
Highland Home Road	Arterial or Major Highway	Partial 2 lanes, undivided
Wilson Street	Arterial or Major Highway	4 lanes, undivided

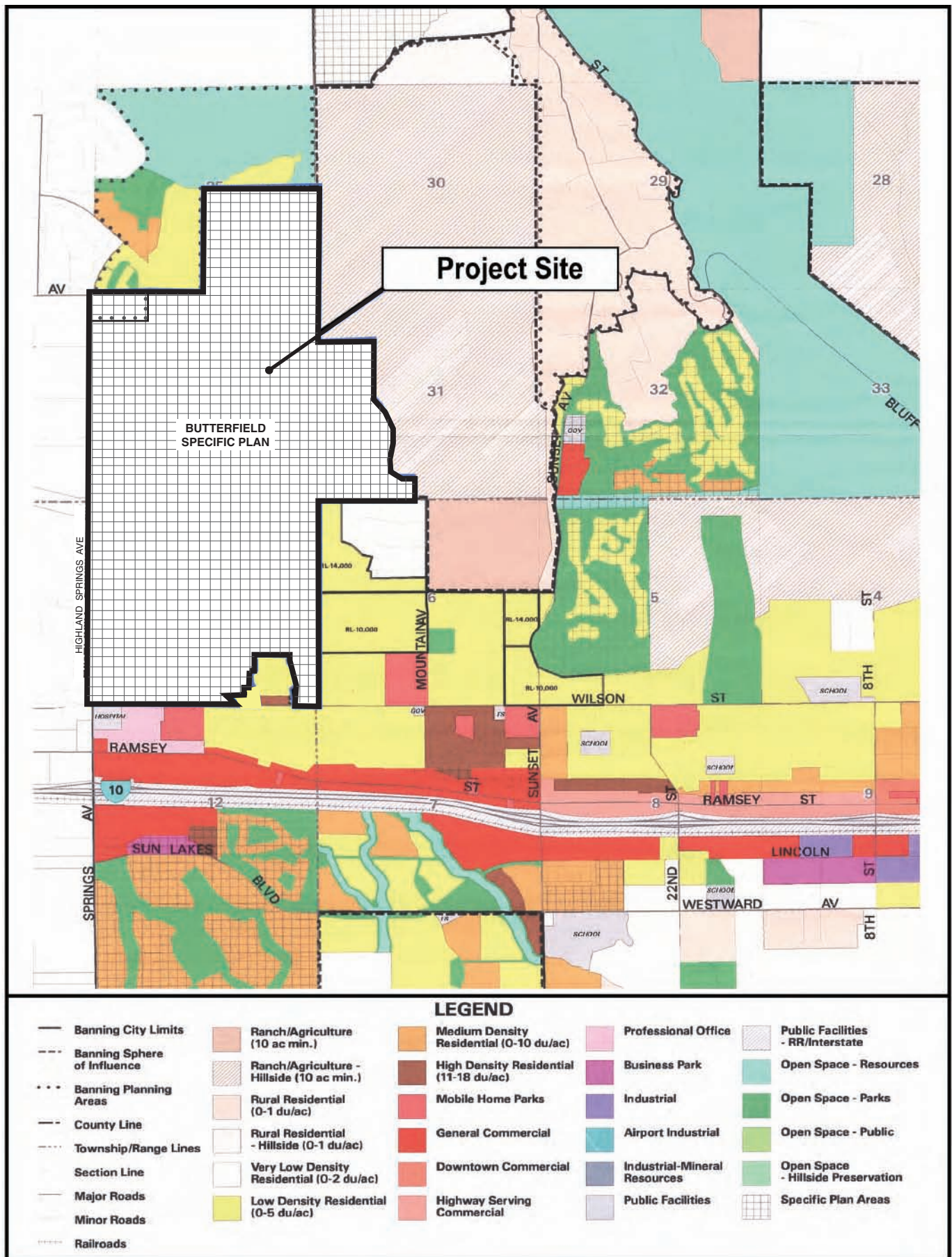
2.4 GEOLOGY, SEISMICITY, AND SOILS

2.4.1 Soil, Groundwater and Geologic Conditions

The project area is positioned north of the Peninsular Range geologic province of California which includes the San Jacinto Mountains. The San Bernardino Mountains rise to the north and are part of the Transverse Range Province. These mountain ranges rise to 11,000 feet Above Mean Sea Level (AMSL) and are composed of Jurassic and Cretaceous granitic rocks, which contain intruded and metamorphosed older rocks.

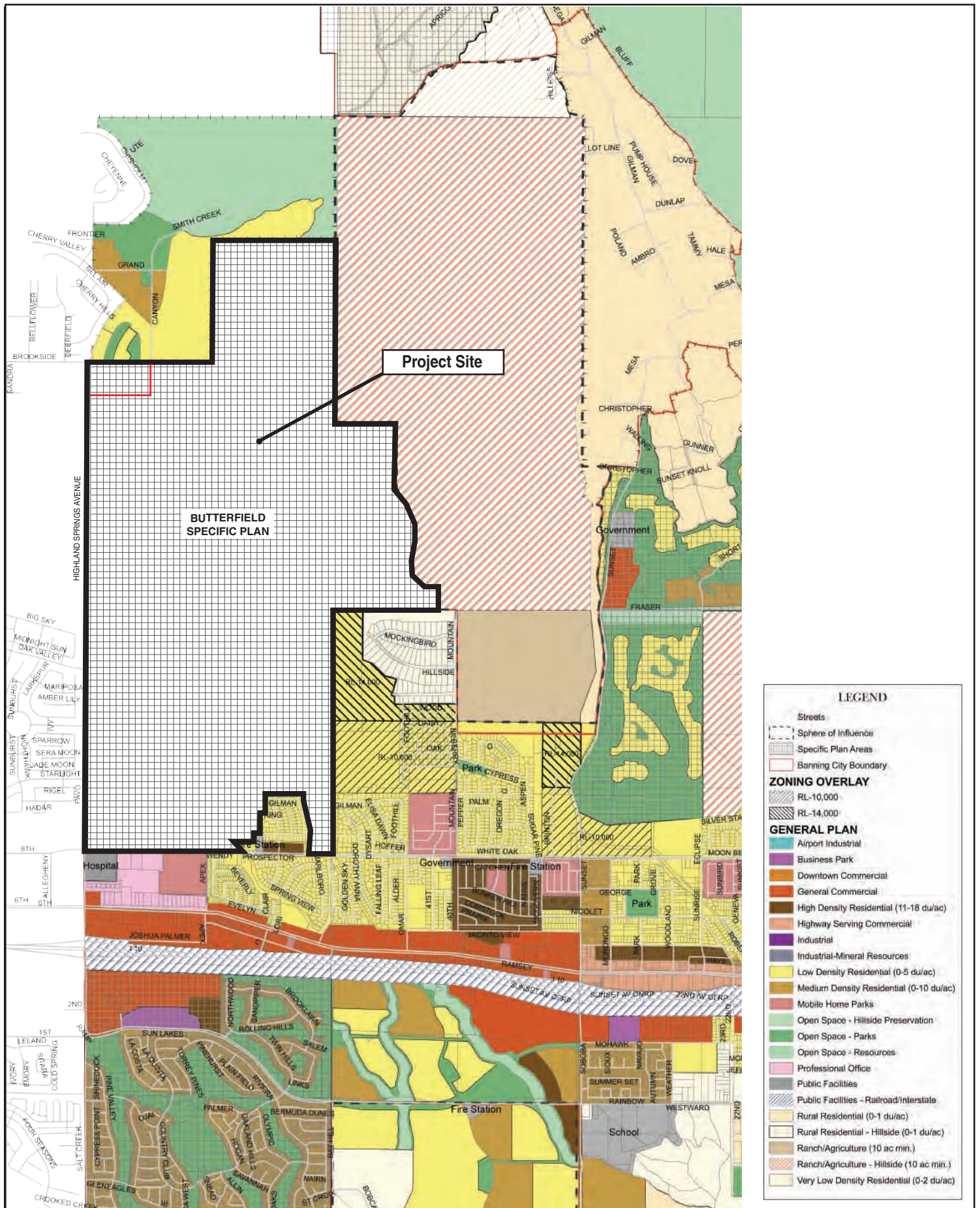


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Source: City of Banning General Plan Land Use Map

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Source: City of Banning Zoning Map

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The parcel sits at the base of and is separated from the San Bernardino Mountains by the Banning Branch of the San Andreas Fault System. Erosion along the San Andreas Fault is responsible for the development of San Gorgonio Pass. Sediments that range in age from late Miocene, Pliocene, and Holocene crop out in the pass. Younger sediments consist of alluvial debris from the San Bernardino Mountains to the north. A view of project site and area topography is provided in Exhibit 2.4, *USGS Topographic Map*.

The site is underlain by relatively thick alluvial deposits that have washed down from the foothills of the San Bernardino Mountains, located to the north. The thickness of these materials may range from a few feet within the northeast portion of the site up to approximately 30 to 40 feet along the southern boundary. Alluvial deposits generally consist of silty sand and clayey sand with occasional layers of gravel and cobble. The alluvium is underlain by granitic rock. The alluvium reduces in thickness towards the San Bernardino Mountains.

2.4.2 Geologic/Seismic Hazards

The project site does not lie in an Alquist-Priolo Earthquake Fault Zone. However, the Butterfield Specific Plan area is situated in an earthquake-prone region of Southern California and can be subjected to moderate to strong ground shaking typical of the region. The active faults in the area are the San Gorgonio Pass Fault located within the northern portion of the project site and the Banning Fault located at the north end of the property. The Banning Fault is a right-lateral strike-slip and in two segments. The fault segment that is located within the project site is considered potentially active. The San Gorgonio Pass fault zone is an east-west trending fault zone with the most recently active strands of faults occurring at the base of the Banning Bench, in the central part of Banning. Per the City of Banning General Plan's EIR, the Highland Scarp along the western edge of the City is considered an active segment of the San Gorgonio Pass Fault Zone. The San Gorgonio active fault has the potential to generate maximum credible earthquakes in the 6.9 to 7.3 range.

No evidence of deep-seated landslides has been identified within the Specific Plan area, which is consistent with the relatively flat to gently sloping topography and the overall uniformity of the site soil conditions (i.e., site is essentially underlain completely by alluvium). Additionally, no historical data indicates the presence of liquefaction in the project area. Liquefaction occurs in loose cohesion-less soils located below water table that are subjected to large accelerations during strong earthquakes.

2.5 DRAINAGE

Most of the Butterfield Specific Plan area currently drains to Smith Creek, which runs north to south down the center of the project site. Only 140 acres (approximately) in the southeast corner of the Specific Plan area drain the Pershing Channel located along Highland Home Road just north of Wilson Street. Smith Creek currently exists as a natural earthen channel that conveys down the center of the site, where it connects to the existing culvert under Wilson Street and the existing channel south of the street. The channel is approximately 30 feet wide and ranges from three to five feet deep and consists of a sandy bottom with soil sidewalls.

Pershing Channel connects with the project site along its southeastern edge and is conveyed along Highland Home Road where it travels under Wilson Street via a culvert and into an existing channel south of the street.

2.6 BIOLOGICAL RESOURCES

2.6.1 Sensitive Resources

In general, the Project site provides only marginally suitable habitat for special status plant species because of its disturbed condition, the result of historic agricultural and grazing uses. No sensitive plant species have been detected on the Project site or within proposed offsite improvement areas; refer to the complete list of special status species and community occurrences in the regional study area, located in Table II of Appendix C1, *Biological Resources Assessment*, of the Specific Plan EIR. This Table II also provides information regarding sensitive wildlife species in the region.

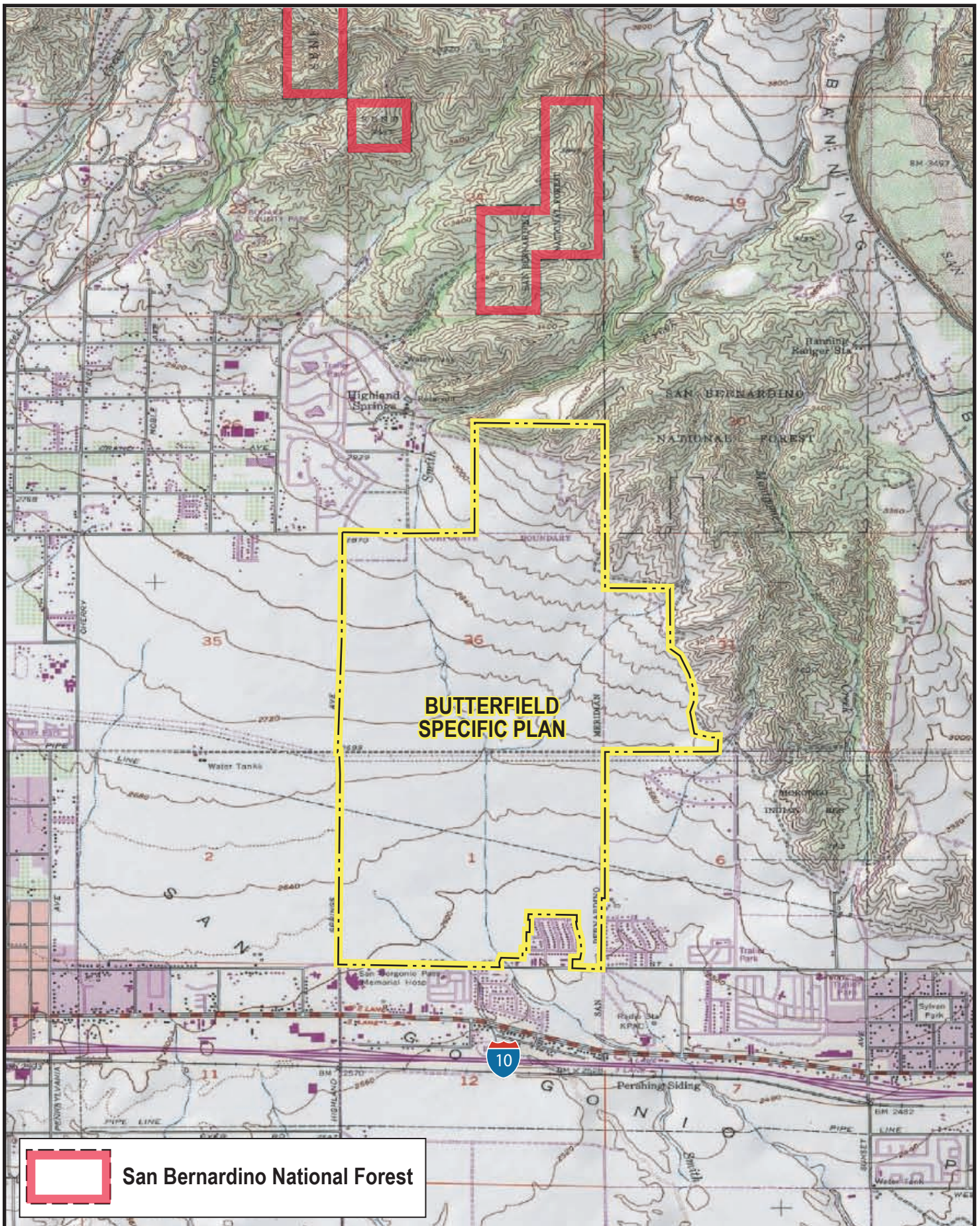
The site contains marginally suitable habitat for the burrowing owl (*Athene cunicularia*) and many-stemmed dudleya (*Dudleya multicaulis*). Burrowing owls were detected on site during focused surveys in 2007 and 2010. A total of six other special status wildlife species were also observed on the site. These species include double-crested cormorant (*Phalacrocorax auritus*), northern harrier (*Circus cyaneus*), California horned lark (*Eremophila alpestris actia*), loggerhead shrike (*Lanius ludovicianus*), coyote (*Canis latrans*), and San Diego black-tailed jackrabbit (*Lepus californicus bennettii*).

There are a total of seven vegetation communities that exist onsite: agriculture, annual grassland, mixed chaparral, disturbed coastal sage scrub, southern willow scrub, sandy wash, and landscaping. The site also includes approximately 226 acres of disturbed/developed classified land, in addition to the agriculture. The dominant community is agriculture and consists of 1,220 acres of the project area. Typical species in the agricultural vegetation community consist of brome grasses, Mediterranean barley, goldentop, and oats. No special vegetation types were found to be onsite.

2.6.2 Western Riverside County MSHCP Compliance

The Western Riverside County Multi Species Habitat Conservation Plan (MSHCP) was developed to meet the legal requirements of the Federal Endangered Species Act (FESA) and the Natural Communities Conservation Planning (NCCP) Act. The Western Riverside County MSHCP is an effort to conserve open space, nature preserves, and wildlife while streamlining regulatory review related to endangered species. The plan was designed to protect 146 species and conserve over 500,000 acres in Riverside County west of the San Jacinto Mountains. The MSHCP was approved by the County of Riverside in June 2003 and received permitting approval by the USFWS in June 2004.

Areas covered by the MSHCP are divided into 16 units called Area Plans. Portions of each area plan especially important to the MSHCP's conservation goals are divided into Subunits for which biological issues and considerations and target acreages have been specified. These Subunits, also called Criteria Areas, are further divided into numbered cells of approximately 160 acres in size with additional conservation goals.



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The project site is located within the Pass Area Plan but is outside all subunit or criteria cell areas. The site is located within the habitat assessment/survey areas for narrow endemic plant species and the burrowing owl but is outside all other mammal and amphibian survey areas. Focused Surveys for special status plants and burrowing owls were conducted as noted above and in the EIR.

2.6.3 Wetlands and Waterways

Regulatory specialists of Glenn Lukos Associates, Inc (GLA) examined the project site to determine the limits of (1) United States Army Corps of Engineers (Corps) jurisdiction pursuant to Section 404 of the Clean Water Act, and (2) California Department of Fish and Game (CDFG) jurisdiction pursuant to Division 2, Chapter 6, Section 1600 of the Fish and Game Code. Corps jurisdiction of the site totals approximately 10.05 acres, none of which consist of jurisdictional wetlands. All drainage features on the Project site are ephemeral and exhibit flow only during severe storm events. A majority of the depressional swale features on site were determined not to be Corps jurisdictional waters since they did not exhibit an Ordinary High Water Mark (OHWM) or other signs of stream flow.

Corps jurisdiction at the site totals approximately 9.82 acres, of which less than 0.01 consist of jurisdictional wetlands. Pursuant to proposed Project grading plans, permanent impacts associated with the Project will total approximately 1.17 acres. Temporary impacts total approximately 8.65 acres, none of which consist of jurisdictional wetlands.

CDFG jurisdiction at the site totals approximately 11.67 acres, of which 0.43 acres consist of vegetated riparian habitat. Pursuant to proposed Project grading plans, permanent impacts to CDFG jurisdiction total approximately 2.47 acres, of which 0.41 acre consist of vegetated riparian habitat. Temporary impacts to CDFG jurisdiction total approximately 9.22 acres, of which 0.02 acre consist of vegetated riparian habitat.

2.7 PALEONTOLOGY AND ARCHAEOLOGY

2.7.1 Prehistoric and Historic

The early inhabitants of the project area are known as Cahuilla. The Cahuilla were not a politically unified group, but did share broad cultural and linguistic traits. The Cahuilla occupied permanent villages sited to take maximum advantage of local animal, vegetable, and water resources. The Cahuilla culture was quite complex and was based on full exploitation of available resources. The use of literally hundreds of plant species has been documented. The Cahuilla were influenced by the appearance of the Spanish, and they were used by the Spanish on expeditions through the San Gorgonio Pass area and later to carry mail. Two reservations were established in the project vicinity in 1876 and the majority of Cahuilla are living there to date.

The San Gorgonio Pass is believed to be the single most important route connecting the desert hinterlands of California and Arizona with the coastal beaches. Near the project area the pass was mainly a Cahuilla trail.

The San Gabriel Mission established a station at Banning Water Canyon as early as 1821 and cattle were being raised there by 1823. A ranch operated by the San Gabriel Mission called the San Gorgonio Rancho encompassed a large portion of the San Gorgonio Pass. An undivided third of this land was sold to a man named Isaac Smith who built a ranch on what is now occupied by the Highland Springs Resort. The ranch became a stagecoach stop called "Smith's Station" for the period of 1862-1877. In 1884 Smith's Station was sold to the Highland Home Company. A three-story building was erected which was eventually sold in 1929 and became the Highland Springs Resort.

In 1875, the Southern Pacific Railroad established tracks through the Pass. With inexpensive railroad transportation available, the raising of hay and grain crops began to replace stock raising on local ranches. The settlements of Cabazon and Beaumont began in 1875 as water stops for the railroad.

2.7.2 Archaeology

An intensive survey of the Butterfield Specific Plan Project in the City of Banning was conducted by LSA Associates, Inc. in 2006. Three previously undocumented historic period cultural resources were identified. These have been evaluated and considered not eligible for the National or California Registers. Therefore, under CEQA, LSA recommends that this project is not likely to have a significant effect on any historical resources; and under NHPA, LSA recommends a finding of no historic properties affected. Historic research has revealed; however, there remains a minimal data potential within the refuse scatter (LSA-PDH0601-H-2). Any earthmoving activity taking place within 30 meters of this resource should be monitored by a qualified archaeologist. If archaeological remnants are discovered during monitoring, the archaeologist will have the authority to divert construction in order to assess the significance of the find.

If any cultural resources are identified during grading activities, a qualified archaeologist should be retained to assess the significance of the find. If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.

SECTION 3

BUTTERFIELD SPECIFIC PLAN

3.0 DEVELOPMENT PLAN

This section of the Specific Plan presents the plans and standards that will govern the overall development of the Butterfield Specific Plan project in Banning. Presented herein is the land use program and description of major development components, including circulation, grading, drainage, water, sewer, public services, recreation, and open space.

3.1 LAND USE PLAN

The proposed land use plan is comprised of 78 Planning Areas (PAs)¹. Table 3-1 is a general summary of the extent of land uses proposed within the Specific Plan. Table 3-2 provides a planning area listing and statistical summary by land use category. In Exhibit 3.1, *Land Use Plan*, the land use pattern is illustrated.

3.1.1 Land Use Plan Description

The Butterfield Specific Plan is envisioned as a high-quality residential community, integrating low and medium density single family detached, small lot and cluster single family detached, high density single family or multi-family attached, commercial, golf course, parks, schools, roadways and related uses on 1,543 acres. Exhibit 3.1, depicts how these land uses are organized within the Butterfield Specific Plan area.

3.1.1.1 RESIDENTIAL

The area of Butterfield Specific Plan's basic residential component, 937.4 acres, constitutes 60% of the project's total land area. The residential component includes Planning Area 1B, proposed for model homes construction. The model homes within PA 1B will demonstrate the type of products available per lot size within these density designations.

Forty-one planning areas as reflected on Exhibit 3.1 are allotted for development of residential uses within the project; 19 Low Density Residential planning areas, 19 Medium Density Residential planning areas and 3 High Density Residential planning areas. Proposed Low Density Residential single family lot sizes range from a minimum of 5,000 square feet to a minimum average of 7,500 square feet or a minimum average of over 10,000 square feet in selected areas. Medium Density single family lot sizes range from a minimum of 3,400 square feet to a minimum average of 7,200 square feet in selected areas. Cluster Medium Density Residential could be developed in a number of different housing types (described and depicted in Section 5.0 of this Specific Plan) as detached condominium units or for single family homes whose lot sizes would range in minimum size from 2,000 to 2,800 square feet.

The proposed residential density within the Low Density Residential designation is up to 5.0 DU/AC; within the Medium Density Residential designation the density is up to 10.0 DU/AC; and within the High Density Residential designation the density is between 11.0 and 18.0 DU/AC. Each residential land use designation of the Butterfield Specific Plan

¹ The Specific Plan Planning Areas are numbered 1 through 75 and include PA's 1B, 1C, and 43B.

includes as development options the residential development types permitted in lesser density designations. Therefore, within all PAs designated Medium Density Residential (irrespective of minimum lot size), Low Density Residential uses may be developed. Also, within all PAs designated High Density Residential, Low Density Residential and Medium Density Residential uses may be developed.

**Table 3-1
Butterfield Specific Plan
General Land Use Summary**

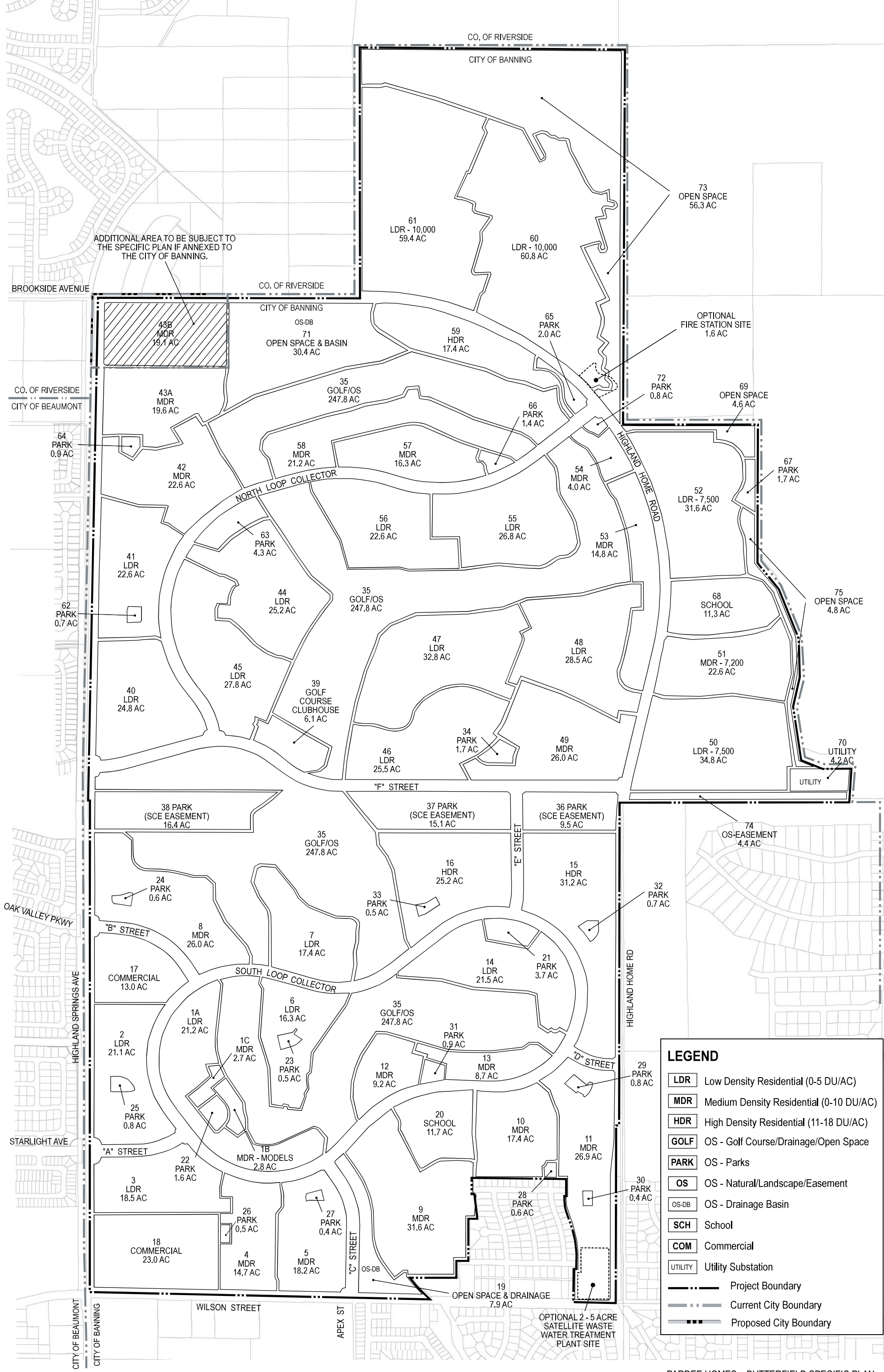
LAND USE	2011 BUTTERFIELD SPECIFIC PLAN				
	Gross Acres	% of Area	Dwelling Units	% of Dwelling Units	Average Gross Density
Residential					
Low Density 5 DU/AC (LDR)	539.2	35.0%	2,222	41.2%	4.1
Medium Density 0-10 DU/AC (MDR)	324.4	21.0%	1,960	36.4%	6.0
High Density 11-18 DU/AC (HDR)	73.8	4.8%	1,205	22.4%	16.4
Residential Totals	937.4	60.8%	5,387	100.0%	5.7
Open Space					
Golf Course Drainage	253.9	16.5%			
Parks	66.5	4.3%			
Natural/Landscape/Easement	70.1	4.5%			
Drainage	38.3	2.5%			
Open Space Subtotals	428.8	27.8%			
Other					
Commercial/Office **	36.0	2.3%			
Schools *	23.0	1.5%			
Utility Substation	4.2	0.3%			
Backbone Roads	113.6	7.4%			
Other Subtotals	176.8	11.5%			
SPECIFIC PLAN TOTALS	1,543.0	100.0%	5,387	100.0%	3.5

Notes:

* Alternate Residential use of school sites at up to 10 DU/AC is provided.

** Alternate Residential use or mixed use of Commercial sites is provided for with PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR). The overall dwelling unit total for the Specific Plan shall not exceed 5,387 DUs. In addition, Commercial is allowed as an alternate use for all or a portion of Residential PA's 3, 4 and 5 (51.4 Acres combined) and Park PA's 26 and 27 (0.9 acres combined).

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**Table 3-2
Butterfield Specific Plan
Planning Areas Statistical Summary**

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
RESIDENTIAL:						
1A	LDR	21.2		91		4.3
1B	MDR (Model Site)	2.8		10		3.6
1C	MDR	2.7		13		4.8
2	LDR	21.1		86		4.1
3	LDR	18.5		78		4.2
4	MDR	14.7		78		5.3
5	MDR	18.2		183		10.0
6	LDR	16.3		81		5.0
7	LDR	17.4		77		4.4
8	MDR	26.0		133		5.1
9	MDR	31.6		185		5.8
10	MDR	17.4		139		8.0
11	MDR	26.9		252		9.4
12	MDR	9.2		49		5.3
13	MDR	8.7		69		7.9
14	LDR	21.5		94		4.4
15	HDR	31.2		512		16.4
16	HDR	25.2		413		16.4
40	LDR	24.8		98		4.0
41	LDR	22.6		100		4.4
42	MDR	22.6		116		5.1
43A	MDR	19.6		104		5.3
43B	MDR	19.1		113		5.9
44	LDR	25.2		122		4.8
45	LDR	27.8		113		4.1
46	LDR	25.5		105		4.1
47	LDR	32.8		160		4.9
48	LDR	28.5		108		3.8
49	MDR	26.0		129		5.0
50	LDR-7500	34.8		159		4.6
51	MDR-7200	22.6		102		4.5
52	LDR-7500	31.6		129		4.1
53	MDR	14.8		80		5.4
54	MDR	4.0		20		5.0
55	LDR	26.8		126		4.7

LDR: Low Density Residential 0-5 DU/AC

MDR: Medium Density Residential 0-10 DU/AC

HDR: High Density Residential 11-18 DU/AC

LDR-7,500: Min. Avg. Lot Size = 7,500 SF

LDR-10,000: Min. Avg. Lot Size = 10,000 SF

MDR-7,200: Min. Avg. Lot Size = 7,200 SF

(Table 3-2 continued on next two pages)

Table 3-2 (continued)
Butterfield Specific Plan
Planning Areas Statistical Summary

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
56	LDR	22.6		83		3.7
57	MDR	16.3		63		3.9
58	MDR	21.2		122		5.7
59	HDR	17.4		280		16.1
60	LDR-10000	60.8		205		3.4
61	LDR-10000	59.4		207		3.5
	RESIDENTIAL TOTALS	937.4		5,387		5.8
	OPEN SPACE					
	Golf Course/Drainage					
35	Golf Course/Drainage	247.8				
39	Golf Course/Club House	6.1				
	Subtotal	253.9				
	Parks					
21	Neighborhood Recreation PK	3.7				
22	Neighborhood – Mini Park	1.6				
23	Neighborhood – Mini Park	0.5				
24	Neighborhood – Mini Park	0.6				
25	Neighborhood – Mini Park	0.8				
26	Neighborhood – Mini Park	0.5				
27	Neighborhood – Mini Park	0.4				
28	Neighborhood – Mini Park	0.6				
29	Neighborhood – Mini Park	0.8				
30	Neighborhood – Mini Park	0.4				
31	Neighborhood – Mini Park	0.9				
32	Neighborhood – Mini Park	0.7				
33	Neighborhood – Mini Park	0.5				
34	Neighborhood – Mini Park	1.7				
36	Community Park	9.5				
37	Community Park	15.1				
38	Community Park	16.4				
62	Neighborhood – Mini Park	0.7				
63	Neighborhood Recreation PK	4.3				
64	Neighborhood – Mini Park	0.9				
65	Neighborhood – Mini Park	2.0				
66	Neighborhood – Mini Park	1.4				
67	Neighborhood – Mini Park	1.7				
72	Neighborhood – Mini Park	0.8				
	Subtotal	66.5				

(Table 3-2 continued on next page)

Table 3-2 (continued)
Butterfield Specific Plan
Planning Areas Statistical Summary

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
Natural/Landscape/Easement						
69	Open Space/Fuel Mod	4.6				
73	Northerly Open Space	56.3				
74	Landscape Easement	4.4				
75	Open Space/Fuel Mod	4.8				
	Subtotal	70.1				
Drainage/ Open Space						
19	South Channel	7.9				
71	North Basin	30.4				
	Subtotal	38.3				
OPEN SPACE TOTALS			428.8			
SCHOOLS¹						
20	Beaumont U.S.D.	11.7				
68	Banning U. S. D.	11.3				
	Subtotal	23.0				
COMMERCIAL/OFFICE²						
17	Commercial Parcel	13.0				
18	Commercial Parcel	23.0				
	Subtotal	36.0				
70	UTILITY SUBSTATION	4.2				
ROW	BACKBONE ROADS	113.6				
SPECIFIC PLANS TOTAL			1,543.0	5,387		3.5

Notes:

1. Alternate Residential use of School sites at up to 10 DU/AC is provided. The overall dwelling unit total for the Specific Plan shall not exceed 5,387 DU in any case.
2. Alternate Residential use or mixed use of the Commercial sites is provided with PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR). The overall Dwelling Unit total for the Specific Plan shall not exceed 5,387 DU in any case. In addition, Commercial or mixed use Residential and Commercial is allowed as an alternate use for all or a portion of Residential PA's 3, 4 and 5 and Park PA's 26 and 27.

Low Density Residential (0-5 DU/AC)

The Low Density Residential (LDR) land use designation within the Butterfield Specific Plan area is proposed at approximately 539.2 acres (35.0%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas (PAs) 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 50, 52, 55, 56, 60 and 61. A total of 2,222 dwelling units are anticipated in these PAs at an average gross density of 4.1 dwelling units per acre. The minimum lot size in this designation is 5,000 square feet. Planning Areas 50 and 52 designated LDR-7500 shall have a minimum lot size of 5,000 square feet, with a minimum average (or mean average) lot size of 7,500 square feet. Planning Areas 60 and 61 designated LDR-10,000 shall have a minimum lot size of 6,000 square

feet, with a minimum average lot size of 10,000 square feet. The planning areas with a larger minimum or average lot size are located in the north and northeast portions of the Specific Plan area. A potential fire station site (1.6 acres) option has been identified at the southeast corner of PA 60, if the City determines that an additional station is needed and that this location is appropriate. A fire station site is permitted in most of the Specific Plan Planning areas (see section 5.0 for list of permitted uses in the planning areas). Low Density Residential is also allowed in all Medium Density and High Density Residential planning areas. Section 6.1.2 of the Specific Plan sets forth what are considered Minor Adjustments and Modifications that could be made to the Specific Plan and limitations for such minor adjustments.

Medium Density Residential (0-10 DU/AC)

Single family detached homes on individual lots are proposed within the Medium Density Residential (MDR) land use designation of the Butterfield Specific Plan area. The MDR designation is proposed to include approximately 324.4 acres (21%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 51, 53, 54, 57 and 58. A total of 1,960 dwelling units are anticipated in the MDR PAs at an average gross density of 6.0 dwelling units per acre. Minimum lot sizes for most MDR-designated planning areas are indicated below, based on the potential development approach chosen.

Conventional Homes Development: As may be developed under the Medium Density Residential designation, the conventional home development approach would be single family detached homes on their own individual lots that would have private front and side yards completely separated from adjacent lots. These conventionally-sited homes would be oriented toward the street. The minimum lot size proposed for conventional home development in this designation is 3,400 square feet. However, Planning Area 51 designated MDR-7,200 shall have a minimum lot size for conventionally-sited homes of 4,500 square feet, with a minimum average lot size of 7,200 square feet.

Cluster Homes Development: Alternatively, with the exception of Planning Areas 1B, 1C and 51, the single family detached homes developed under the Medium Density Residential designation can be developed in one of several cluster patterns on small individual lots or possibly detached homes held in condominium ownership. Green court, motor court and stub street court clusters are examples of the type of homes envisioned for cluster development. The arrangement of housing and vehicle access with each cluster product would vary. Green court cluster homes would be oriented on a paseo (green court), with vehicular access to garages taken off an alley. Motor court cluster homes would be oriented on a common driveway, while stub street court cluster homes would be oriented on a short alley or stub street. These homes have private yards at sides or rear. The minimum lot size for cluster home development would be 2,000 square feet for homes proposed on individual lots. PA 51 with a required minimum lot size of 4,500 square feet and a minimum average lot size of 7,200 square feet shall not include cluster development.

Between 2 to 5 acres of the south end of Medium Density Residential-designated Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment facility as an alternative for project

wastewater treatment (see Section 3.5, *Water, Recycled Water and Sewer Service Plan*, in this Specific Plan for further description of this alternate use).

Low Density Residential development may be developed in the MDR planning areas. MDR development is also allowed in the High Density Residential planning areas.

High Density Residential (11-18 DU/AC)

Single family or multi-family attached homes are proposed within the High Density Residential (HDR) land use designation of the Butterfield Specific Plan area and approximately 73.8 acres (4.8%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas 15, 16, and 59. A total of 1,205 dwelling units are allowed in these PAs at an average gross density of 16.4 dwelling units per acre. Low Density Residential or Medium Density Residential uses may also be developed within the HDR planning areas.

Age-Restricted Active Adult Residential Alternative

While the base proposal for Butterfield is that housing in all residential planning areas would be open to all age groups, two other alternative proposals would allow an age-restricted eligibility criterion to apply to certain PAs. Alternative A provides for 13 of the proposed residential planning areas (PAs 40–45 and 54–59) in the northwestern part of the Specific Plan area to be designated as exclusively age restricted, “active adult” homes. As shown on the Land Use Plan (See Exhibit 3.1), these age-restricted planning areas would take access off the North Loop Collector Road. Under an age-restricted, “active adult” homes scenario, the North Loop Road could be proposed as a gated, access-controlled private roadway. Alternative B would expand to 18 the number of planning areas designated age-restricted, including PAs 40-49 and 53-59. This alternative would add PAs on the west side of Highland Home Avenue and north of “F” Street which are situated in the northeastern part of the Specific Plan area. In alternative B the additional age restricted PAs may also have private streets and controlled gated access from “F” Street and Highland Home Road.

3.1.1.2 COMMERCIAL

The Butterfield Specific Plan proposes approximately 36 acres (2.3%) of Commercial land use within the Specific Plan area as depicted in Exhibit 3.1. These commercial areas are proposed in Planning Areas 17 and 18, both of which are located on the western edge of the Specific Plan area. Planning Area 17 is a 13.0-acre site situated southeast of the intersection of Highland Springs Avenue and Oak Valley Parkway. Planning Area 18 is a 23.0-acre site positioned at the corner of Wilson Street and Highland Springs Avenue.

If eventual market factors indicate that all or a portion of the commercial designated areas are not needed or viable for commercial use, it is intended that alternate residential uses or mixed use of the commercial sites would be allowed. Under an alternate use scenario, Planning Area 17 could provide up to 4.5 dwelling units per acre within the Low Density Residential land use category and PA 18 could yield up to 10 dwelling units per acre within the Medium Density Residential land use category. This would require an offsetting reduction in dwelling units to be realized elsewhere in the Butterfield project, such that the project total of 5,387 DUs is not exceeded. It is

envisioned potentially that (1) portions of the commercial planning areas could be converted to residential use, or (2) residential use could be mixed with commercial use, or (3) residential use in commercial areas could include uses such as assisted living facilities for the elderly.

In addition, if demand for commercial space increases, the Specific Plan allows Commercial or mixed use Residential and Commercial as an alternate use for all or portions of Residential PAs 3, 4 and 5 (51.4 acres combined) and Park PAs 26 and 27 (0.9 acres combined). If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 5, 26 and 27, approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.

3.1.1.3 GOLF COURSE AND OPEN SPACE

The Butterfield Specific Plan proposes an approximately 254-acre 18-hole public golf course and open space area (Planning Areas 35 and 39) that is located throughout the central portions of the Specific Plan area. The areas designated as golf course and open space on the Land Use Plan may include one 18-hole public golf course as an integral part of the Butterfield Specific Plan community. See Section 3.6, *Recreation and Open Space Plan*, for further description of anticipated uses.

The golf course and open space areas are designed to take both physical and aesthetic advantages of the site terrain. The proposed realignment of Smith Creek will convey drainage via basins, drainage ways, culverts and unique golf course design that will eventually connect to the existing Smith Creek culvert under Wilson Street and the existing channel south of this street. The golf course and open space will accommodate drainage overflows from Smith Creek, contain water quality features to treat project-related urban runoff, and provide areas for groundwater recharge. In addition, besides landscaped project amenities, the golf course and open space will also incorporate native landscaping for biological mitigation purposes which aims to replicate natural conditions. The golf course and open space uses a fault zone identified with the project in the northern areas that is not recommended for residential, but can accommodate portions of the course routing.

Potential uses in addition to the golf course include a public golf course clubhouse facility (Planning Area 39). The clubhouse may include a golf operations and administration area, retail pro shop, food and dining services, meeting rooms, banquet facilities, a driving range, golf cart storage garage and maintenance yard. Separate restaurants with alcohol sales are also to be considered a permitted use within PA 39.

Alternative uses of Planning Areas 35 and 39 may include open space with active and passive recreational uses, such as walking or biking trails, parks and native type vegetation landscaping in lieu of a golf course. The availability of adequate water and a course operator will be determining factors as to if a golf course will be developed in the open space.

3.1.1.4 PARKS

Twenty four park planning areas are proposed within the Butterfield Specific Plan area as depicted on Exhibit 3.1. Ranging in size from 0.4 acres to 15 acres, these parks are allocated within the Butterfield Specific Plan area to provide recreational opportunities for all residential neighborhoods. The gross park acreage is proposed to total approximately 66.5 acres (4.3%) of the Specific Plan area.

Planning Areas 23, 24, 25, 26, 27, 28, 29, 30, and 31 are neighborhood-mini park sites identified to serve Low and Medium Density Residential neighborhoods. Neighborhood-mini parks within Planning Areas 32, 33 and 65 would serve the High Density Residential neighborhoods. These parks are expected to include various combinations of tot lots, play areas, sport courts, picnic areas, benches and other basic related facilities. Larger neighborhood recreation parks of 3-4 acres for residents of the project will be located at park sites designated Planning Areas 21 and 63. These larger park areas could also include buildings for community functions and meetings and community swimming pools. The location of proposed neighborhood parks can be adjusted and remain in substantial conformance with the intent of this Specific Plan. The proposed public golf course and clubhouse within the project (Planning Areas 35 and 39) are also expected to serve recreational needs. Larger community park sites are proposed within portions of the existing central SCE easement. Planning Areas 36, 37 and 38 are intended to be used for active and passive recreational use, including ballfields, sports courts, play areas, jogging trails and parking areas. In addition, joint use of school facilities for recreational needs is also anticipated. PA 38 could contain a variety of recreational and agricultural uses. Land use options for Planning Area 38 are covered more fully within Section 3.6 and within the permitted uses of Section 5.0 of this Specific Plan.

3.1.1.5 OTHER OPEN SPACE

In addition to the golf course/Open Space and park areas, 108.4 acres (7.0%) within the Butterfield Specific Plan area is designated as additional open space. In addition to the golf course/ Open Space and parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities. The far northern and eastern portions of the Specific Plan area (PAs 69, 73 and 75) are designated natural open space area with hiking trail opportunities using the terrain and/or existence of fault areas. Open space will include landscaped areas throughout the project (PA 74), fuel modification setback zone locations (PAs 69 and 75), drainage ways with walking paths and park areas (PA 19) and an open water basin that can be used as an open space recreational lake (PA 71). Golf Course/Open Space, Parks, Natural/Landscape/Easement, and Drainage/Open Space categories considered together are more than 27.8% (428.8 acres) of the Specific Plan area devoted to open space.

3.1.1.6 SCHOOLS

Two elementary school sites have been designated in the Butterfield Specific Plan that comprise an approximate total of 23 acres (1.5%) of the Specific Plan area. Planning Area 20, an 11.7 acre site, is located in the southern portion of the Specific Plan area and within the jurisdiction of the Beaumont Unified School District. Planning Area 68, a 11.3 acre site, is located in the easternmost portion of the Specific Plan area, east of

Highland Home Road. Planning Area 68 is within the Banning Unified School District's jurisdiction. Alternatively, if it is determined that one or both of the School Districts do not require an identified school site, it is intended that residential development of the school site(s) at up to a density of 10 dwelling units per acre would be allowed, as long as the overall dwelling unit total for the Specific Plan does not exceed 5,387 DUs. Additional school sites are permitted elsewhere in the Specific Plan area pursuant to State and District location requirements and shall be designated if requested by the School Districts.

3.1.1.7 UTILITY SUBSTATION AND OTHER POTENTIAL USES

Planning Area 70 is a 4.2 acre site owned by the City of Banning for use as an electrical substation facility. The substation site was acquired by the city in 2008 and they have built a facility on the site. Because this area has been previously designated as a part of the Specific Plan, it has remained in the Specific Plan. This City substation site facilitates interconnection with SCE's transmission lines because of its location just north and adjacent to the east-west easement that runs through the mid-portion of the project site.

Between 2 to 5 acres of the south end of Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment as an alternative for project wastewater treatment (see Section 3.5 in this Specific Plan for further description of this alternate use).

A potential 1.6 acre fire station site is depicted on Exhibit 3.1 in the southeast corner of Planning Area 60 if the City determines it is needed, and that this location is appropriate, otherwise the site may be used for Low Density Residential use. A fire station site is designated as a permitted use in any of the Specific Plan residential, open space commercial or school planning areas, except PA's 36, 37, 38, 69, 73, 74 and 75.

3.1.1.8 BACKBONE ROADWAYS

Exhibit 3.1 shows proposed Specific Plan backbone roadways (collector level or larger), which will comprise an approximate total of 113.6 acres (7.4%) of the Specific Plan area. All roadways shown on the Land Use Plan are expected to be designed at a collector roadway classification or greater pursuant to the recommendations of the project's traffic study. The proposed circulation system will provide direct access to individual residential areas as well as access to parks, schools, golf course and commercial areas within the Butterfield Specific Plan area. Refer to Section 3.2, *Circulation Plan*, of this Specific Plan for a more detailed discussion of the circulation network.

3.1.2 Land Use Plan Development Standards

To ensure the orderly and coordinated development of land uses proposed for the Butterfield Specific Plan, development objectives have been established for implementation of the Specific Plan Land Use Plan, as discussed below. In addition to these general guidelines, specific development standards for each land use are detailed in Section 4, Development Regulations.

1. The Project shall be developed with a range of uses including residential, commercial, parks, potential golf course, and open space pursuant to Exhibit 3.1, *Land Use Plan*.
2. The Project can be developed with a maximum total of 5,387 dwelling units in the residential planning areas covering approximately 937.4 acres designated within the Specific Plan.
3. Under alternative development assumptions for Planning Areas 17, 18, 20 and 68, these planning areas can be developed with a maximum total of 506 dwelling units covering 59 acres. In no case shall the Specific Plan total of 5,387 DUs be exceeded. If residential use is developed on the commercial or school areas, a like amount of residential units must be reduced in the residentially-designated planning areas to avoid exceeding 5,387 DUs.
4. Uses and development standards will be in accordance with this Specific Plan and the City of Banning Zoning Ordinance. Such uses and standards will be applied in future residential subdivision maps, plot plans, and/or conditional use permits.
5. The Project shall provide adequate areas for collection and loading of recyclable materials in accordance with state law. Such areas shall be provided within the residential areas where solid waste is collected and loaded. The proposed Lower Density and Medium Density Residential homes on individual lots will have individual trash pick up. The Medium Density Residential Cluster homes may have central solid waste collection and pick up areas which serve four or more units.
6. The Project shall satisfy applicable criteria within Title 24, Chapter 2-71, of the California Administrative Code ensuring accessibility for persons with disabilities, where applicable.
7. Development activities to entitle, prepare and develop the site shall conform to City of Banning ordinances applicable state laws.
8. Prior to obtaining subsequent development permit approvals from the City of Banning, the applicant shall document that all pertinent conditions relating to the site under development have been satisfied.
9. Common areas identified in the Butterfield Specific Plan shall be owned and maintained as follows:
 - a. Permanent homeowners associations shall be established for the Butterfield Specific Plan area, to assume ownership and maintenance responsibility for all common areas, private streets/drives, recreation areas, open space, and landscaped areas not dedicated to the City/public. Merger with an area-wide or local maintenance district shall be acceptable for any area dedicated to the City for public use provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. Private neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

- b. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organizations upon approval of implementing development applications or upon recordation of any appropriate conveyance subdivision.
 - c. The maintenance organizations shall be established prior to, or concurrent with, recordation of the first land division or issuance of the first building permit for construction within that land division. The ownership and maintenance responsibility shall be identified for each open space lot upon submittal of the tentative map application, which would create the subject open space lot.
- 10. An initial study (i.e. environmental assessment) shall be conducted pursuant to CEQA to determine potential environmental impacts attributable to any land use application required to implement the Butterfield Specific Plan.
 - 11. All project lighting plans shall be in accordance with applicable City of Banning standards.
 - 12. Electric vehicle charging and compressed natural gas vehicle filling facilities or stations shall be considered permitted uses in all residential and commercial use areas of the Specific plan, subject to all applicable State and local regulations for such uses.
 - 13. Roof mounted panels for solar generation of electricity or water heating shall be considered permitted uses in all residential and commercial use areas of the Specific plan, subject to all applicable State and local regulations for such uses.
 - 14. A maintenance easement shall be recorded over areas designated as required fuel modification zones within private lots adjacent to wildland fire hazard areas that would allow the master homeowners association or maintenance district to enter the property to ensure adequate and uniform maintenance of fuel modification zones.
 - 15. No permanent structures shall be permitted within the Southern California Edison (SCE) transmission line easements within the Specific Plan area. The SCE easements are also not appropriate areas for groundwater recharge facilities, storm water retention facilities, or as environmental mitigation areas.
 - 16. Subsequent more detailed development plans when prepared and involving areas in and immediately adjacent to the SCE easements within the Specific Plan area shall be reviewed by SCE as part of the review process with the City.

3.2 CIRCULATION PLAN

The Circulation Plan of the Butterfield Specific Plan establishes the general layout and design standards for vehicular roadways and non-vehicular paths within the project area. The main objectives of the Circulation Plan are to provide direct and convenient access to the residential project area and other areas, and to substantially implement the Circulation Element of the City of Banning General Plan. The Circulation Plan meets these objectives by extending existing circulation and creating efficient new circulation routes throughout the project site.

Exhibit 3.2, *Vehicular Circulation Plan*, identifies the location and classification of roads, which have been organized under the categories of *Arterial Highway (Modified)*, *Major/Arterial Highway (Modified)*, *Major Highway (Modified)*, *Divided Collector Streets*, and *Local Roadways (Modified)*. Roadway cross-sections are provided on Exhibits 3.3A, 3.3B and 3.3C, *Roadway Cross Sections*, which show travel lane dimensions, sidewalk and parkway widths, and other roadway specific details. Exhibit 3.3D, *Secondary Access Drives*, provides typical concepts for secondary access to neighborhoods where routes other than a local roadway might be used. Exhibit 3.4, *Backbone Circulation Plan*, establishes the trail plan with a network of non-vehicular circulation routes.

3.2.1 Street System

The vehicular circulation network for the Butterfield Specific Plan includes the following elements, discussed according to relative roadway classification.

3.2.1.1 ARTERIAL HIGHWAY (MODIFIED)

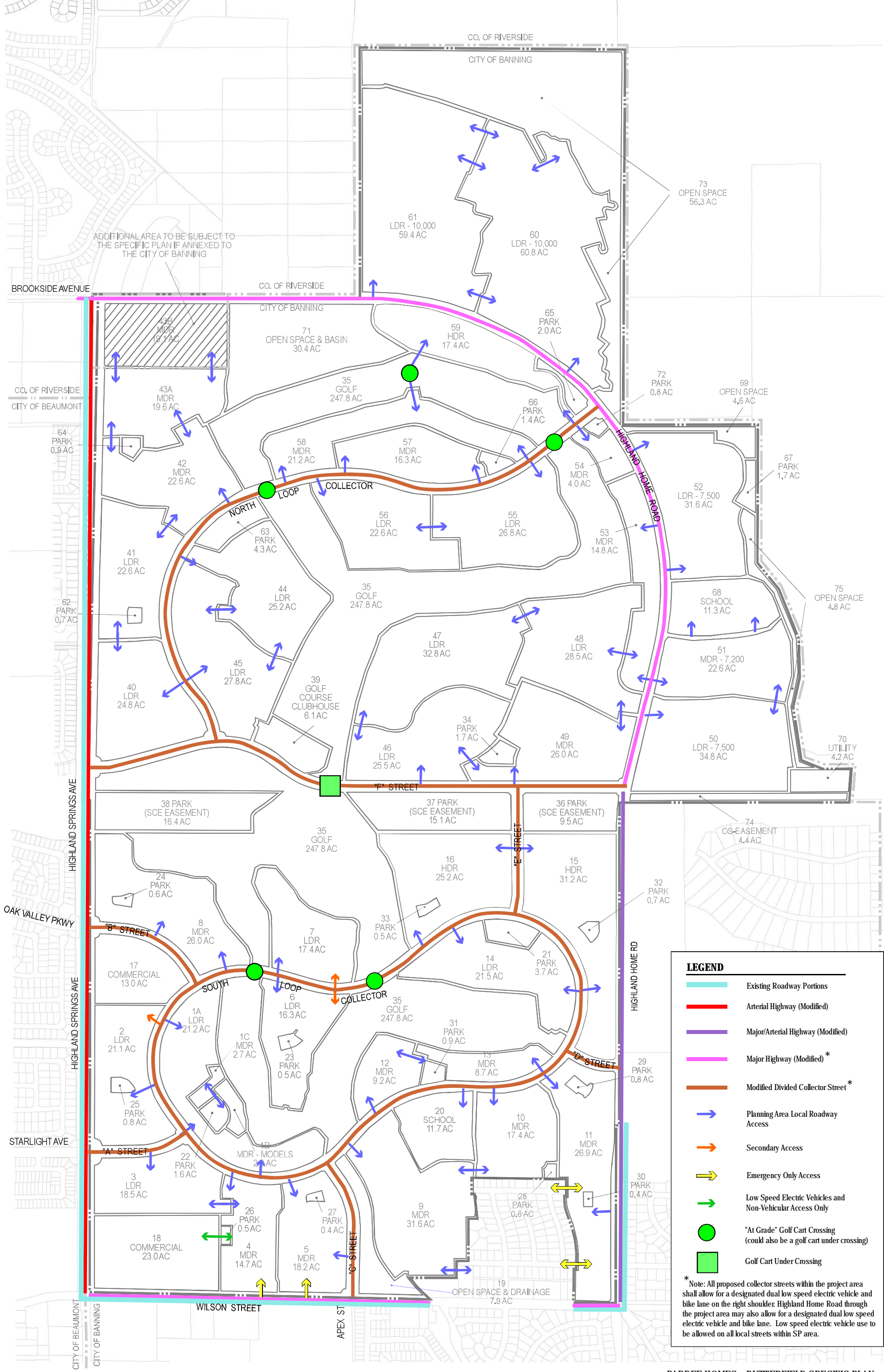
The City of Banning General Plan defines Arterial Highways as those primarily for through traffic with limited access. These roadways are planned for 4 lanes in width at buildout. According to the City, arterials should connect residential, shopping, employment and recreational activities, but should not encroach upon neighborhoods.

Highland Springs Avenue (from Wilson Street to Brookside Avenue)

Highland Springs Avenue is a north/south roadway, providing regional access to the I-10 freeway. The City of Banning General Plan Circulation Element defines Highland Springs Avenue as an Arterial Highway in this segment adjacent to the project.

Along the project's western boundary, the Specific Plan assumes Highland Springs to be improved to accommodate an ultimate right-of-way, which will provide a raised median and two travel lanes in each direction, an outside emergency and bike lane on each side, and parkway improvements. The overall total right-of-way width is anticipated to be at least 102 feet encompassing both the Beaumont and Banning sides of the roadway. Due to the constraints of the existing Riverside County flood control channel and right-of-way on the west side of Highland Springs Avenue, it is anticipated the ultimate right-of-way of this roadway will be offset towards the east side or Banning side. As a perimeter roadway to the Specific Plan, Highland Springs Avenue will have restricted access. Three main east/west connections are proposed at "F" Street, "B" Street, and "A" Street. The western section of Highland Springs is within the City of Beaumont. The ultimate improvement of the western half of the street should precede the Butterfield project improvement.

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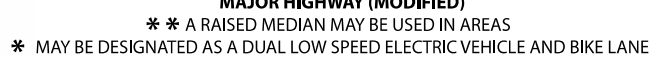
LEGEND

- Existing Roadway Portions
- Arterial Highway (Modified)
- Major/Arterial Highway (Modified)
- Major Highway (Modified) *
- Modified Divided Collector Street *
- Planning Area Local Roadway Access
- Secondary Access
- Emergency Only Access
- Low Speed Electric Vehicles and Non-Vehicular Access Only
- "At Grade" Golf Cart Crossing (could also be a golf cart under crossing)
- Golf Cart Under Crossing

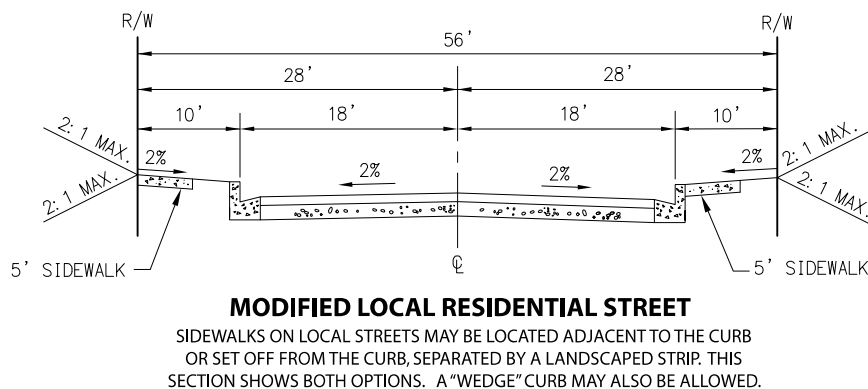
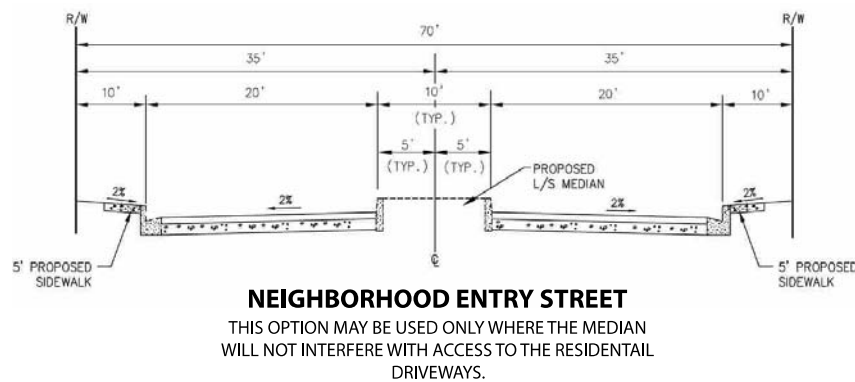
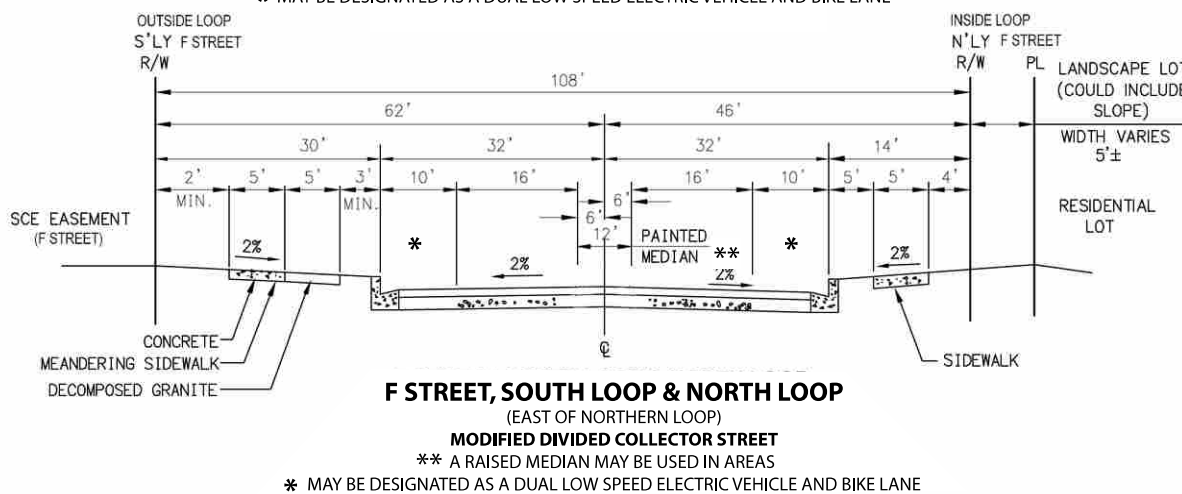
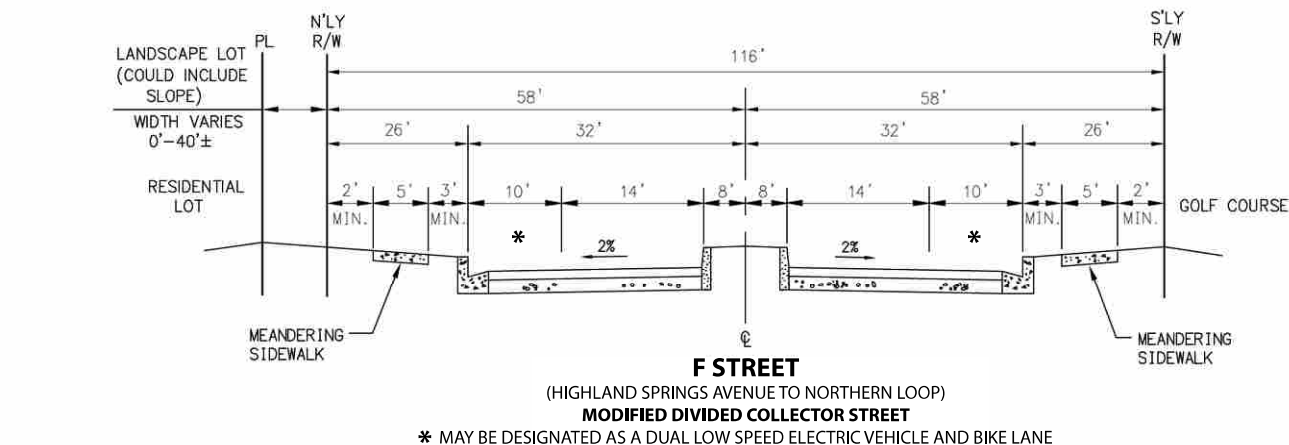
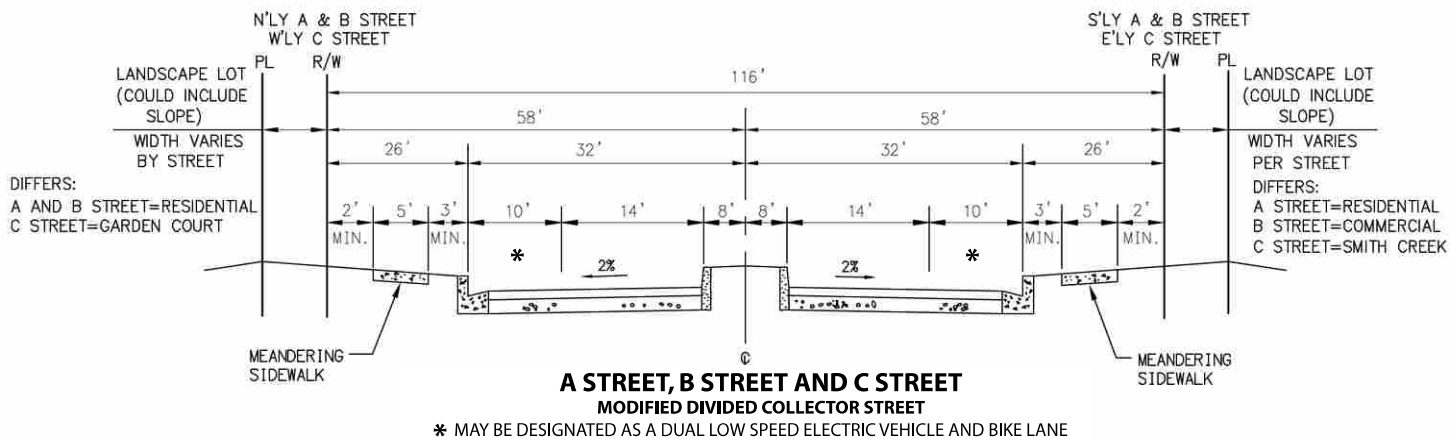
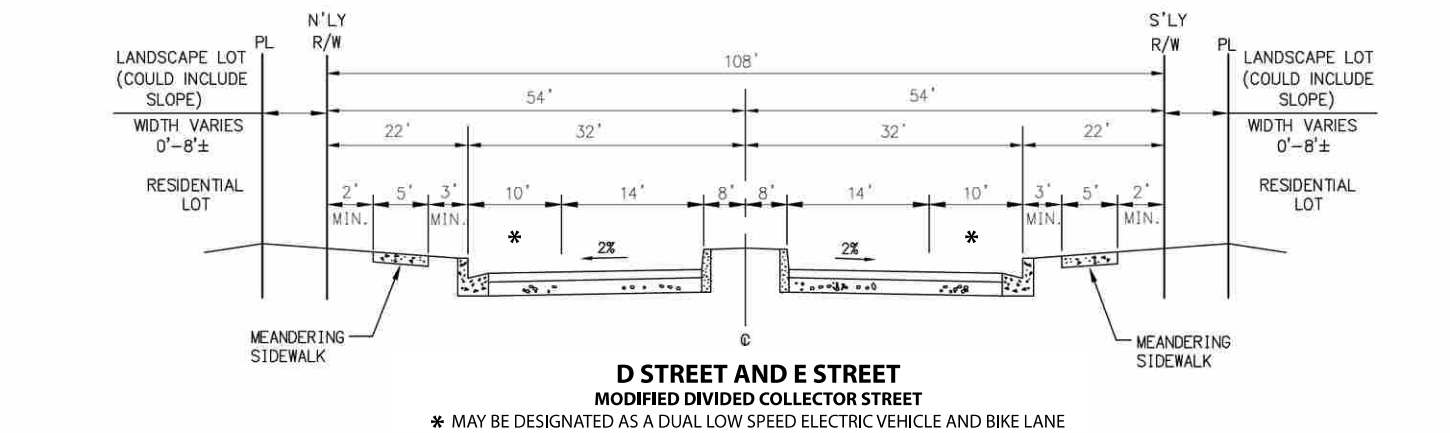
* Note: All proposed collector streets within the project area shall allow for a designated dual low speed electric vehicle and bike lane on the right shoulder. Highland Home Road through the project area may also allow for a designated dual low speed electric vehicle and bike lane. Low speed electric vehicle use to be allowed on all local streets within SP area.

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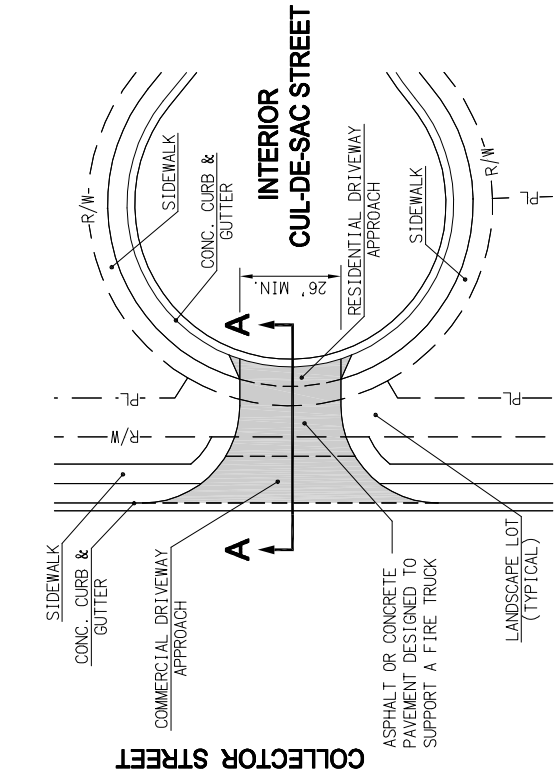
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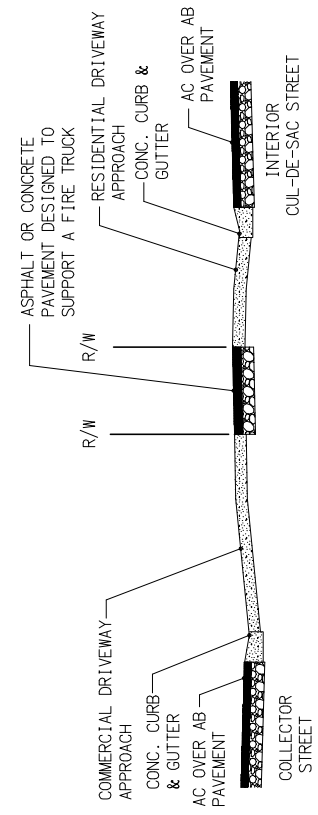
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PLAN VIEW
NOT TO SCALE

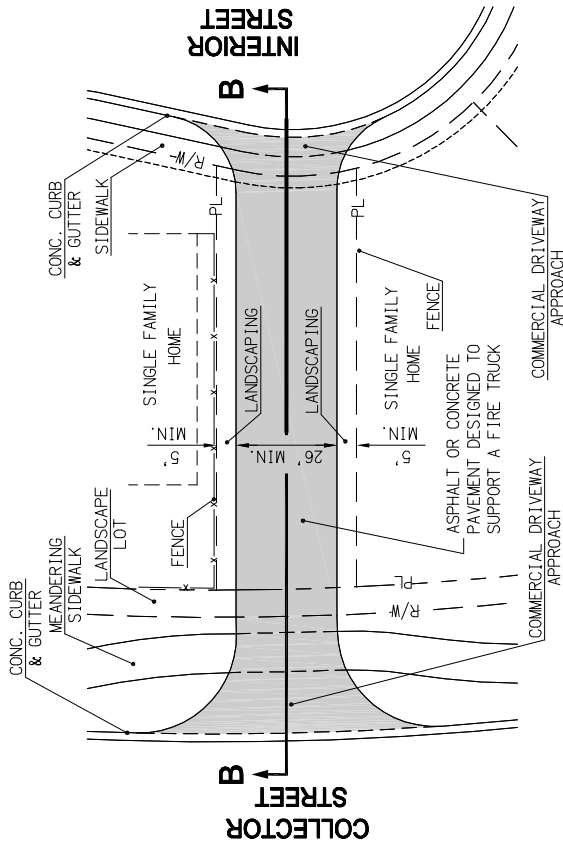


SECTION A-A
NOT TO SCALE

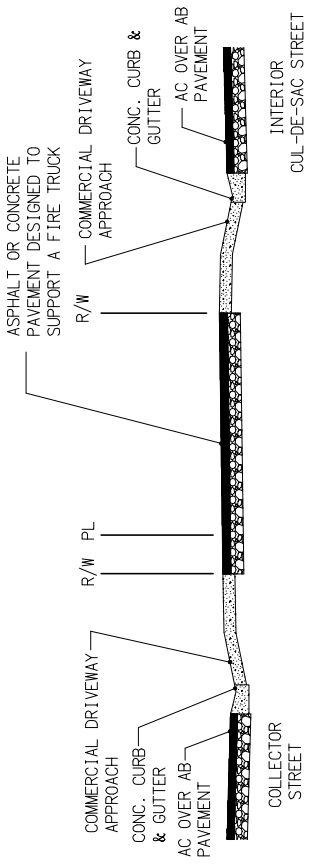
SECONDARY ACCESS DRIVE

TYPE 'A'

HOA MAINTAINED



PLAN VIEW
NOT TO SCALE



SECTION B-B
NOT TO SCALE

SECONDARY ACCESS DRIVE

TYPE 'B'

HOA MAINTAINED

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3.2.1.2 MAJOR/ARTERIAL HIGHWAY (MODIFIED)**Highland Home Road (from “F” Street to Wilson Street)**

The City of Banning General Plan Circulation Element defines Highland Home Avenue in this area as a Major/Arterial Highway.

Highland Home Road is a north/south roadway along the east side of the Butterfield Specific Plan. In the northern part of the project, Highland Home Road is proposed to bend to the west and connect with Brookside Avenue (an east-west street) at Highland Springs Avenue. The width of Highland Home Road is limited pursuant to the existing homes on the east side immediately north of Wilson Street and the existing approved Tract No. 30906 (Fiesta Development) also on the east side further north.

From “F” Street to just south of “D” Street, Highland Home Road is proposed to provide 104’ of right-of-way, to include a 16’ raised median, two travel lanes on each side (13’ travel lane on each side adjacent to the median and 12’ outside travel lanes each side), and a 7’ emergency or bike/NEV lane per side. This street section matches what the section that was approved by the city with Tract No. 30906 located on the east side of this segment of Highland Home Road. From just south of “D” Street to Wilson Street, it is anticipated that the existing Highland Home Road will provide in one potential alternative (Alternative ‘A’ in Exhibit 3.3B) a frontage drive access for existing local homeowners on the east side. To separate this existing paved area, a 4’ parkway median separator between the frontage drive and proposed new Highland Home Road will be provided. In this alternative the existing open Pershing Channel running parallel to Highland Home Road is removed and reconstructed as a buried storm drain under the road. This part of Highland Home Road (from “D” Street to Wilson Street) in this alternative would provide a combined 126’ of right-of-way, to include a 16’ raised median, a 13’ lane on each side adjacent to the median, as well as 12’ outside lanes and a 7’ emergency or bike lane per side. The parkway separator in this alternative would contain shrubs to provide a protective barrier.

A second alternative (Alternative ‘B’ in Exhibit 3.3B) is proposed for this southern portion of Highland Home Road in the instance it is determined that the existing Pershing Channel located parallel to Highland Home Road in this location can not be placed underground or relocated. In this alternative the existing open Pershing Channel is maintained in the proposed median of Highland Home Road. Only limited landscaping, if any, would be allowed in the median in this alternative. The channel would be required to be enclosed in a decorative fence. This alternative would not allow for the separate frontage drive serving the existing residences on the east side.

3.2.1.3 MAJOR HIGHWAY (MODIFIED)**Highland Home Road (from Brookside Ave. to “F” Street)**

From north of the Edison Easement, Highland Home Road is proposed as a Major Highway (Modified). From Brookside Avenue within the City of Banning to “F” Street, Highland Home Road is proposed to provide 100’ of right-of-way, including a median area, two through lanes on each side and a parking lane. If a painted median is implemented, consistent with the relatively lighter traffic projected on this stretch of

Highland Home Road, then a 12' painted median, two 12' through lanes and an 8' emergency or bike/NEV lane will be provided. If a raised median is used, then a 12' raised median, a 13' travel lane adjacent to the median, a 12' outside travel lane and 7' emergency or bike/NEV lanes will be provided. In conformance with the City of Banning and the Riverside County General Plans, Circulation Elements, the proposed northerly extension of Highland Home Road as it enters into the County unincorporated area may be aligned to connect in the future with Cherry Valley Boulevard, or as shown in Exhibit 3.2 of this Specific Plan, with Brookside Avenue, as determined by the County.

Wilson Street (Modified)

Wilson Street, from Highland Springs Avenue to Highland Home Road, is designated a Major Highway in the City of Banning General Plan. Butterfield Specific Plan proposes to implement a modified Major Highway cross section along its northern frontage on Wilson Street. From Highland Springs Avenue to the vicinity of "C" Street the project would expand existing Wilson Street to 57' of right of way half width on the north side for a new total right of way of 105'. This widening of Wilson Street will allow a raised landscaped or painted median and two through lanes and emergency/bike lanes on each side. On Wilson Street just west of Highland Home Road, the project would expand existing Wilson Street to 48' of right-of-way half width on the north side for a new total right-of-way of 105', which will allow for a painted median and two through lanes and emergency/bike lanes on each side. Raised landscaped medians will be used where appropriate with consideration given for existing and future driveways on both the north and south side of Wilson Street, subject to the City Public Works Director final determination.

3.2.1.4 DIVIDED COLLECTOR STREET (MODIFIED)

"A", "B", "C", "D", "E" and "F" (West) Streets

The proposed Specific Plan provides six Project Entry Streets that provide access between the project's interior North and South Loop Collector Streets and Highland Springs Avenue, Wilson Street, and Highland Home Road. Project Entry Streets "A," "B", and "C" and "F" (west) provide a minimum right-of-way of 116', with Streets "D" and "E" providing a minimum right-of-way of 108.' All of the project entry roads accommodate one travel lane in each direction, a 16'-wide raised median, 10' emergency/bike/NEV lanes on each side, and parkways, including meandering sidewalks and landscaping. Total proposed parkway width each side for "A," "B," "C," and "F" Streets is 26'; for "D" and "E" Streets, this width is 22.'

Northern Loop Collector and South Loop Collector

The proposed North and South Loop Collector Streets will provide internal circulation and access within the specific plan area as modified collectors with 108' of right-of-way. The Loop Streets are expected to provide a 12' painted median, although a raised median may be provided at acceptable locations. Next to the median, a maximum 16' lane of travel in each direction, and a 10' bike/NEV lane on each side are proposed.

The parkways on each side of the North and South Loop Streets will vary in width, with one side (30' in width) containing an expanded trail amenity. The northern/western parkway of the North Loop and the outside parkway of the South Loop will contain a

side-by-side 5' meandering sidewalk and 5' decomposed granite meandering trail arrangement. The opposite side parkway will contain a 5' meandering sidewalk.

"F" Street (East of North Loop Intersection)

"F" Street, from east of the North Loop Street to Highland Home Road is also proposed to be constructed within the standards of a modified collector street. This section of "F" Street will be a public modified collector with 108' of right-of-way. Similar to the North and South Loop Streets, asymmetrical parkway widths of 30' and 14' are also proposed for this roadway. This segment of "F" Street is expected to provide a 12' painted median, although a raised median may be provided at acceptable locations. Next to the median, a maximum 16' lane of travel in each direction, and a 10' emergency/bike/NEV lane on each side are proposed. The southern parkway of "F" Street east of the North Loop Street will contain a side-by-side 5' meandering sidewalk and 5' decomposed granite meandering trail arrangement. The opposite side parkway will contain a 5' meandering sidewalk.

3.2.1.5 LOCAL STREETS

Local streets provide direct access to and from residential lots in the residential land use areas. The 56' right-of-way of these local streets accommodates one 10' travel lane in each direction and 8' parking lanes on each side in a 36' curb to curb width. A 5' sidewalk within a 10' parkway will be provided on both sides of all streets where homes occur on both sides of the street. Sidewalks on local streets may be located adjacent to the curbs or may be set off from the curbs, separated by a landscape strip. Additionally, a 3' public utility easement may be on both sides of the road right-of-way. A "wedge" curb may be allowed on Local Streets. Limited local neighborhood entry streets located off of collector streets or larger, may be provided with 70 feet of right-of-way, to accommodate 20' travel lanes in each direction, separated by a minimum 10' landscaped median. The local neighborhood entry option may only be utilized where it will not interfere with access to residential driveways. Cluster development within the Medium Density Residential areas may have alternate local street, private street and common drive standards.

3.2.2 Private Street Options

Significant portions of the Specific Plan area have the potential to be designated as private streets with gated access if proposed by project developers for marketing these areas as restricted access communities. Private streets would be maintained by a homeowners association, which would reduce the city's maintenance responsibilities. Highland Home Road and "F" Street proposed within the Specific Plan should remain public in any case. Individual planning areas in the Butterfield Specific Plan could be designated with private streets and gated, such as in the medium density cluster product areas as may be proposed. Other potential options could include designating whole groups of planning areas with private streets and gates, such as placing gates on either end of the proposed North Loop Collector Street and making this street private, as well as the streets within all planning areas taking access off of the North Loop Collector. Exhibits 4.6A and 4.6B, *Gated Community Entry Concept*, in the Design Guidelines Section 4.0 of the Specific Plan provides alternative typical concept plans for proposed gated access within the Specific Plan if provided. All streets within the Specific Plan

area proposed to be designated private shall be subject to review and approval by the City of Banning for adequacy of circulation, design and gate placement. Public utility easements will be reserved in private streets as necessary.

Secondary vehicle access to some planning areas in the Specific Plan as depicted on Exhibit 3.2, *Vehicular Circulation Plan*, may use a private drive type access depicted in Exhibit 3.3C. These secondary access drives would be maintained by the homeowners association. Daily traffic may be otherwise discouraged on these specific secondary access drives through signage, but they would not be gated in any form and would be open for secondary access when needed. Gated emergency-only access may also be used with some planning areas as depicted in Exhibit 3.2

3.2.3 Low Speed Electric Vehicle Circulation

The intent of the Butterfield Specific Plan is to allow electric Low Speed Vehicles (LSV's) on all internal project streets. Section 385.5 of the California Vehicle Code (CVC) defines a Low Speed Vehicle (LSV) as a motor vehicle that is capable of propelling itself at a minimum speed of 20 miles per hour and a maximum speed of 25 miles per hour. LSV's must meet minimum State safety standards. Drivers of LSV's must possess a valid California Driver License. LSV's must be registered and licensed with the State Dept. of Motor Vehicles. CVC Section 21266(a) allows LSV's to travel in the standard vehicle travel lanes of any street with a posted speed limit of 35 miles per hour or less. Because only electric powered LSV's are predominantly sold in California they are more commonly referred to as Neighborhood Electric Vehicles (NEV's).

All interior streets in the Butterfield Specific Plan are expected to have posted speed limits of 35 miles per hour or less and would therefore allow NEV's. Although NEV's are allowed to travel in the standard vehicle travel lanes, the Butterfield Specific Plan Vehicular Circulation Plan and proposed Roadway Cross Sections allow for striped dual NEV and bike lanes on the right side of all proposed Collector Streets in the SP. Highland Home Road may have a posted speed limit of greater than 35 miles per hour. It may be possible to allow NEV's on Highland Home Road through the SP area in a separate striped lane, which is reflected on the proposed cross sections included in the SP. Highland Springs Avenue and Wilson Street have posted speed limits of greater than 35 miles per hour. NEV's are allowed to cross streets with posted speed limits of greater than 35 miles per hour. NEV use will be allowed in all local streets within the SP area within the standard vehicle travel lanes.

3.2.4 Non-vehicular Circulation

The Circulation Plan also includes a non-vehicular walkway and trail network within the Specific Plan. The pedestrian plan identifies proposed walkways, trails, hiking trails, trail heads, and bike lanes. Please see Exhibit 3.4, *Backbone Non-vehicular Circulation Plan*. The purpose of each trail network feature can be summarized as follows:

- **On-Street Bicycle Lanes:** The Specific Plan proposes on-street bicycle lanes along all project roadways of modified collector classification or higher. These bicycle lanes will assist in providing connections to regional and local facilities, in addition to the residential communities within the project. The on-street bike lanes will be accommodated within the street right-of-way and will

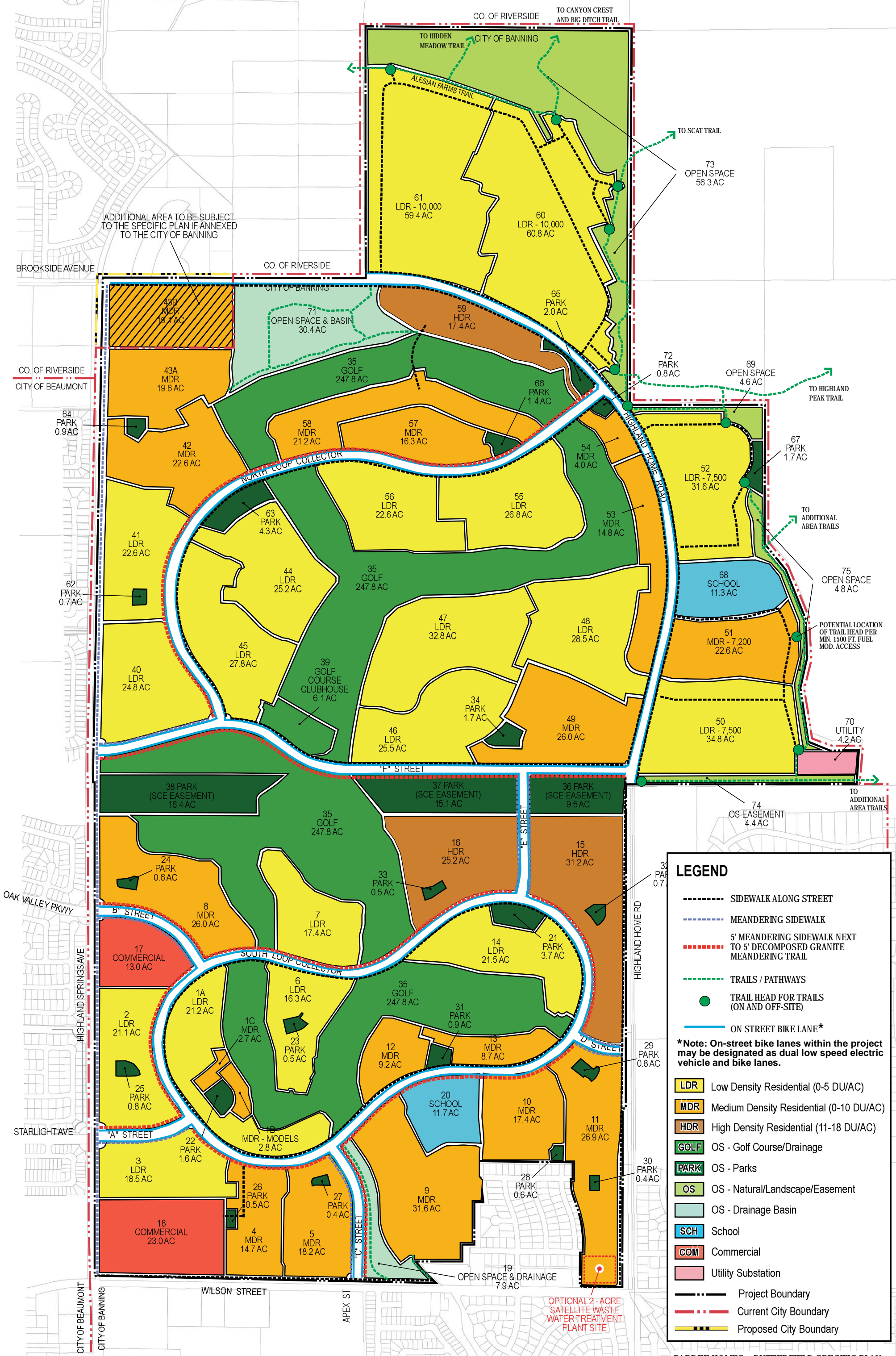
be a minimum 6' wide. On-street bike lanes may be a shared dual use with LSV or NEV vehicles as noted above in Section 3.2.3.

- Trails/Pathways: The Specific Plan proposes trails within and adjacent to Planning Areas 50, 68, 51, 52, 65, 60, 61 and within the natural open space area located on the north eastern portion of the project site. These trails will assist in providing connections from the residential communities to the natural open space within and adjacent to the project.
- Sidewalk: The Specific Plan proposes these aesthetically pleasing pedestrian ways along the project entry roads, accessing external destinations by also running along the western project edge on Highland Springs Avenue.
- Combination Meandering Sidewalk & Meandering Trail: The Specific Plan proposes these minimum 10' wide treatments within enhanced parkway widths to be found on northern/western parkway of the Northern Loop, outside parkway of the Southern Loop, and southern parkway of "F" Street. The sidewalk component provides safe, attractive access to points within the project. The trail component is a decomposed granite multi-purpose path for exercise by project residents.

3.2.5 Circulation Plan Development Standards

1. The proposed Butterfield circulation development standards are to be further defined based on the project traffic report. On-site roadway improvements, as illustrated in the cross-sections, will be developed in accordance with this plan. Signalized intersections, stop-controlled intersections and intersection geometry will be identified and modified as warranted within the traffic study.
2. If necessary, additional traffic analyses shall be undertaken as required by the City of Banning, as more detailed development plans are completed to identify specific design parameters, phasing details, and additional mitigation strategies.
3. Improvement Phasing Plans shall be developed and implemented based on the Butterfield Specific Plan Traffic Study to ensure the circulation improvements are completed consistent with the Specific Plan standards and EIR mitigation requirements.
4. For streets designated as either a Major or Secondary Highway, adequate provision must be made for safe and convenient pedestrian crossings. Special consideration shall be made to accommodate pedestrian traffic to and from schools and parks.
5. Roadway improvements may be implemented through an assessment district or similar financing mechanism.
6. On-street parking shall be prohibited within areas identified for on-street bike or NEV/LSV lanes.
7. City of Banning Pass Transit system and Riverside County Transit Agencies shall be consulted with in conjunction with project development to coordinate with existing and expand scheduled bus service, to implement long-term public transportation projects and to develop vanpools and subscription bus service.
8. Traffic synchronization will be provided where appropriate.

9. County TUMF fees (or other substitute funding mechanism adopted by the City) will be paid where appropriate to fund off-site regional improvements.
10. All streets shall have a maximum grade of 15 percent or less. Wherever feasible, street grades should be kept to 10 percent or less.
11. Street Lights designed and located pursuant to accepted dark sky principals may be given consideration subject to the review and approval of the City Public Works Director or City Engineer and the City's code regulations.



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3.3 GRADING PLAN

This section describes the proposed overall mass grading concept for the Butterfield Specific Plan. The Specific Plan mass grading plan is designed to provide for the proposed development and to take into account the existing topography of the project site.

3.3.1 Grading Plan Description

Mass grading of the Specific Plan area will be executed with an emphasis on establishing building envelopes to site the golf course, roadways, drainage ways/basins, future housing tracts, development pads, park areas, school sites, commercial sites, and water reservoirs. The site grading is not expected to significantly raise or lower the overall elevation of the site from current conditions. The estimated volume of basic grading for the entire Butterfield project is anticipated to be approximately 6.2 million cubic yards of cut earthwork and approximately 6.2 million cubic yards of fill earthwork. The grading will also include over excavation as anticipated, and remedial grading (alluvium and colluvium removal and recompaction). The basic grading of the site, including the remedial grading, is anticipated to balance on site (equal cut and fill) without need for import or export. There will be a relatively limited amount of import of special material (sands, gravels, clays) to the site for construction of portions of the golf course, drainage/recharge basins, lakes and road beds.

The Butterfield land use plan incorporates open space planning areas in the far northern and eastern edges of the project site. These open spaces include areas where fuel modification will take place (i.e. control of combustible vegetation within 100 to 150 feet of structures). The fuel modification zones provide a fire protection and transition area to provide a buffer for protection against wildfires and a setback from the more wildland areas. The mass grading activity accounts for the presence of potentially active seismic faults on the Butterfield site, approximately located along the southern edge of PA 59 and along the northern edge of PAs 60 and 61. Development area does not extend into northern potential fault area and the golf course has been located in the potential fault area between Planning Areas 58 and 59.

The design of the plan reflects sensitivity to onsite natural landforms and the implementation of grading and drainage Best Management Practices (BMP's). Refer to Exhibit 3.5, *Conceptual Mass Grading Plan*. The grading plan was also developed to be consistent with the existing topography and grading concepts proposed for neighboring properties. The site will be graded to allow the current surface drainage pattern to continue. The majority of the Butterfield Specific Plan area contributes drainage flows to Smith Creek; this will still be true of the realigned Smith Creek within the project's proposed golf course open space. Only portions of the project area in the proposed graded condition, along the eastern edge of the Specific Plan area, consisting of approximately 140 acres, will drain to Pershing Channel located along Highland Home Road north and south of Wilson Street.

Within Planning Area 71, a large basin is proposed at the north end of the Specific Plan area where Smith Creek enters the site. This basin will be designed to detain upstream drainage flows to the extent that drainage flows leaving the project area at the south end (via Wilson Street), in the developed condition, will be equal to or less than existing

conditions. (For more information on the north detention basin and other drainage improvements for the Butterfield Specific Plan site, please refer to Section 3.4, *Drainage Plan*, of this Specific Plan.)

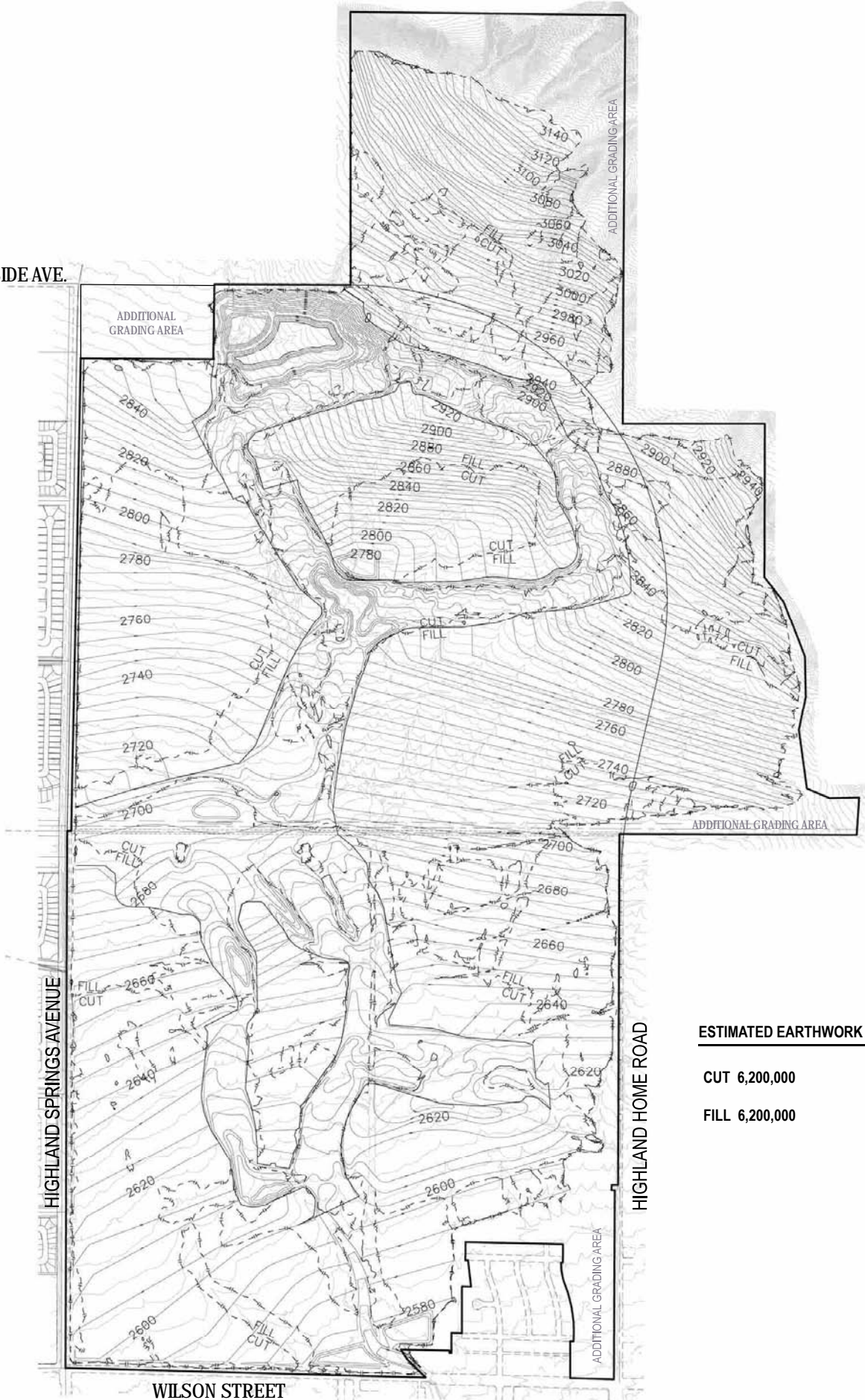
The grading of the Specific Plan area will be phased to the extent practical to keep impacts from grading to a minimum at any one time. Mass grading is proposed to be done generally from south to north. However, the initial phase of the mass grading should include the entire golf course open space area, realignment of Smith Creek, including all proposed drainage facilities associated with the realigned creek, and the golf course, areas immediately adjacent to all sides of the golf course open space, and the south half of the Specific Plan area, south of "F" Street. Rough grading and fine grading of areas will occur as development takes place in those areas.

Smith Creek and Golf Course Open Space

Smith Creek through the Specific Plan area is proposed to be realigned to flow through the golf course open space. The grading of the realigned creek through the project will be done to reflect a vegetated earthen natural channel. The proposed golf course open space area within PA 35 will be lower in elevation than nearby home sites. This will enhance the open space's value in providing a channel for Smith Creek flood control. Lowering the golf course open space will also provide more vertical separation, articulation and aesthetic treatments at the interface between homes and the proposed golf course. See Exhibits 3.6A and 3.6B for the *Golf Course Grading Concept* and *Golf Course Grading Section Concepts*.

All necessary permits will be obtained from appropriate resource agencies for impacts to jurisdictional waterways. Basic grading, including remedial grading, of the Specific Plan Area is anticipated to balance on site, without need for import or export of dirt.

BROOKSIDE AVE.

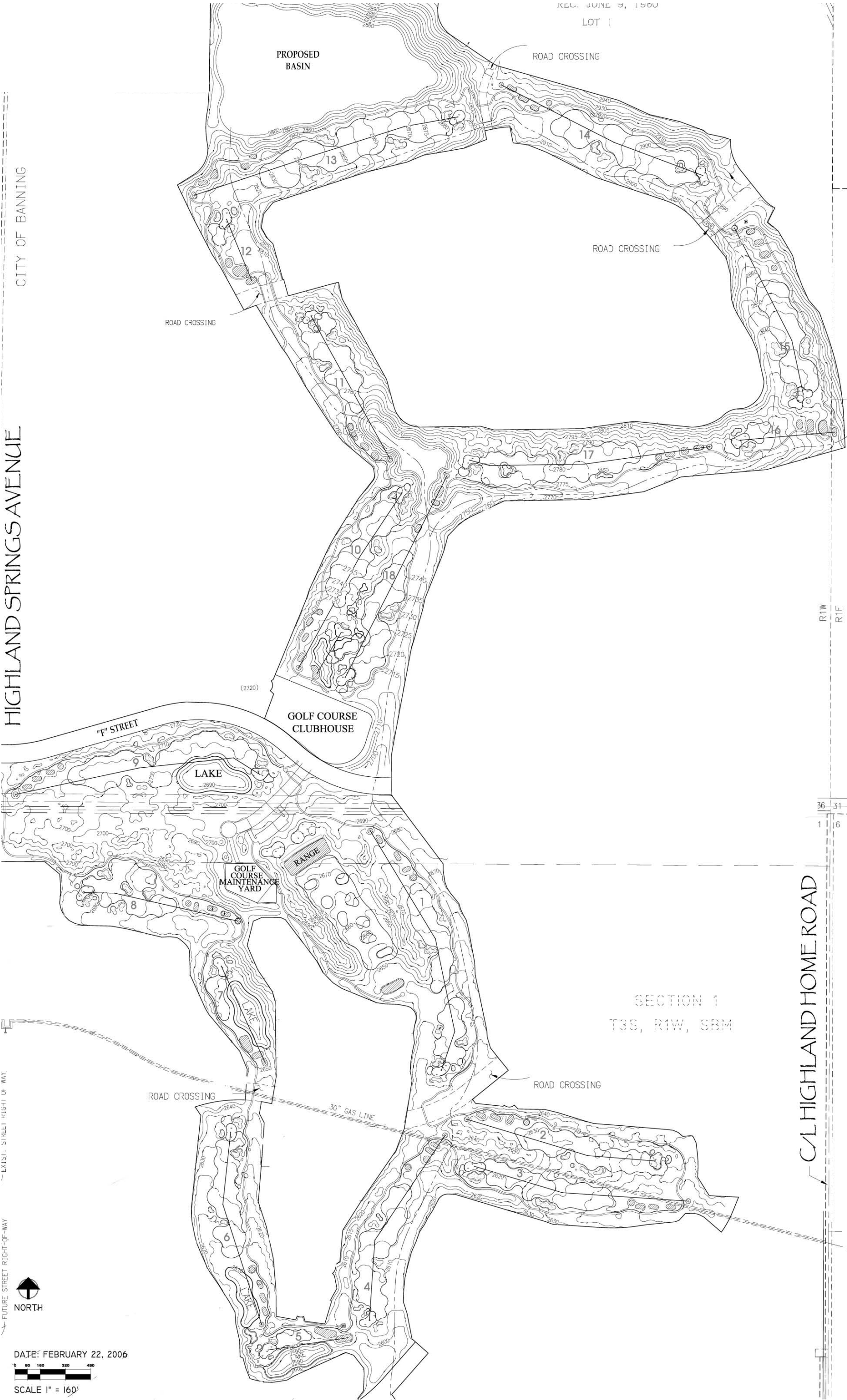


ESTIMATED EARTHWORK QUANTITIES

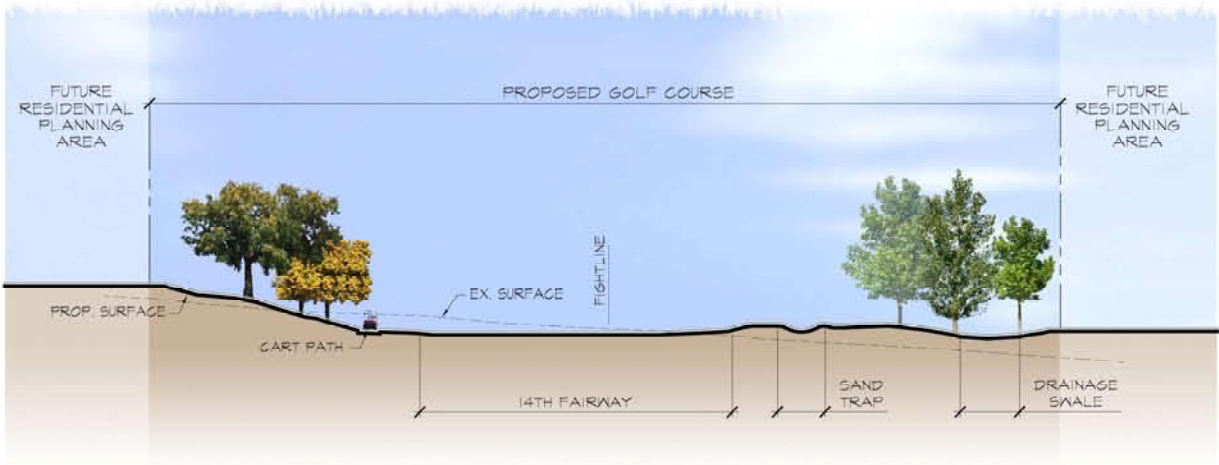
CUT 6,200,000

FILL 6,200,000

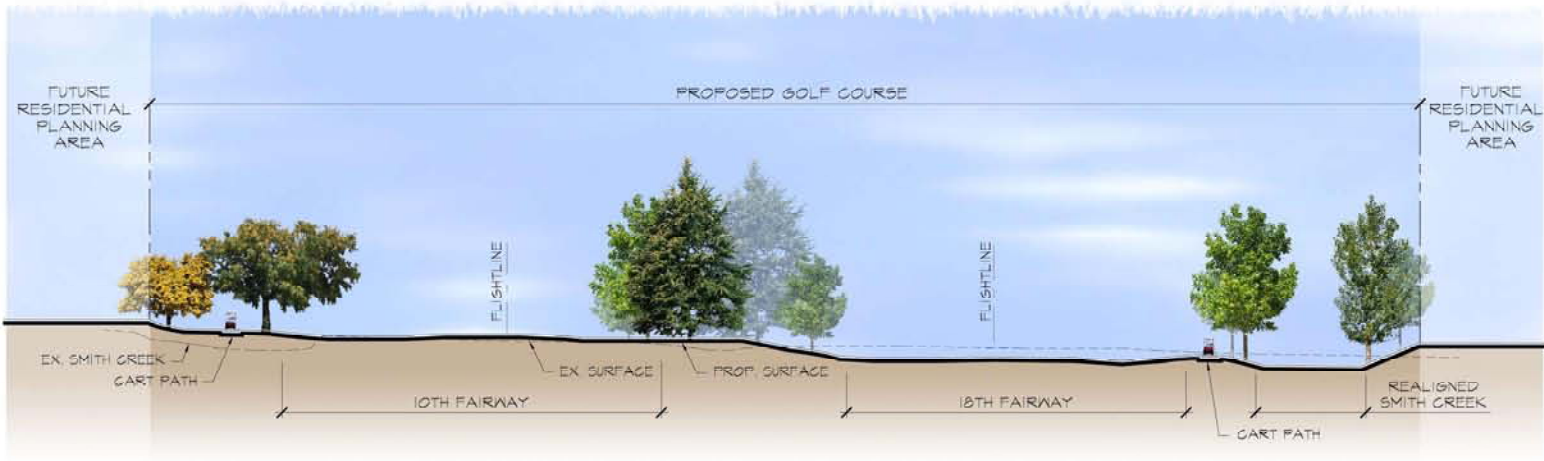
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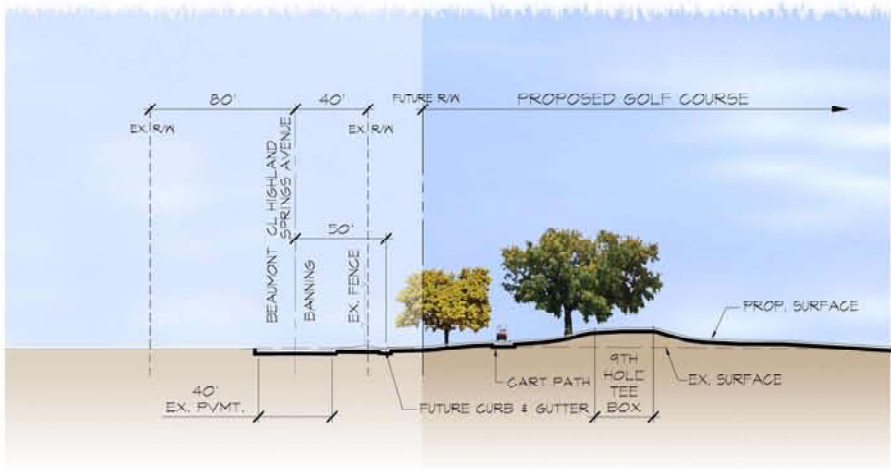
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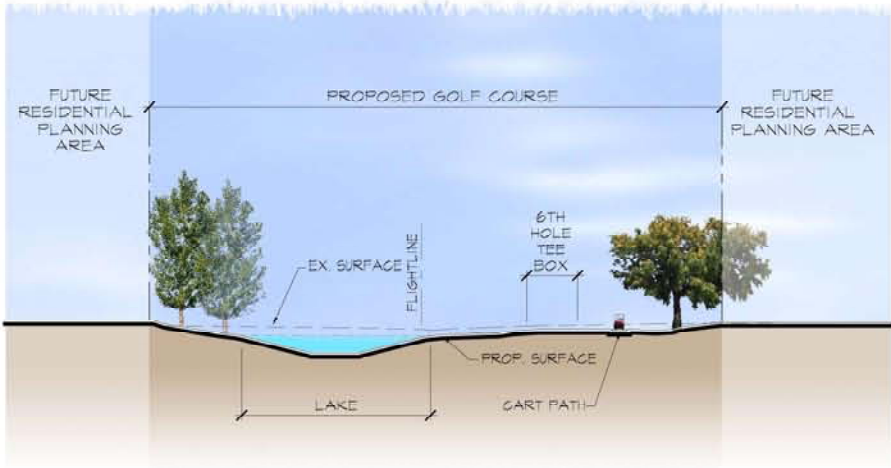
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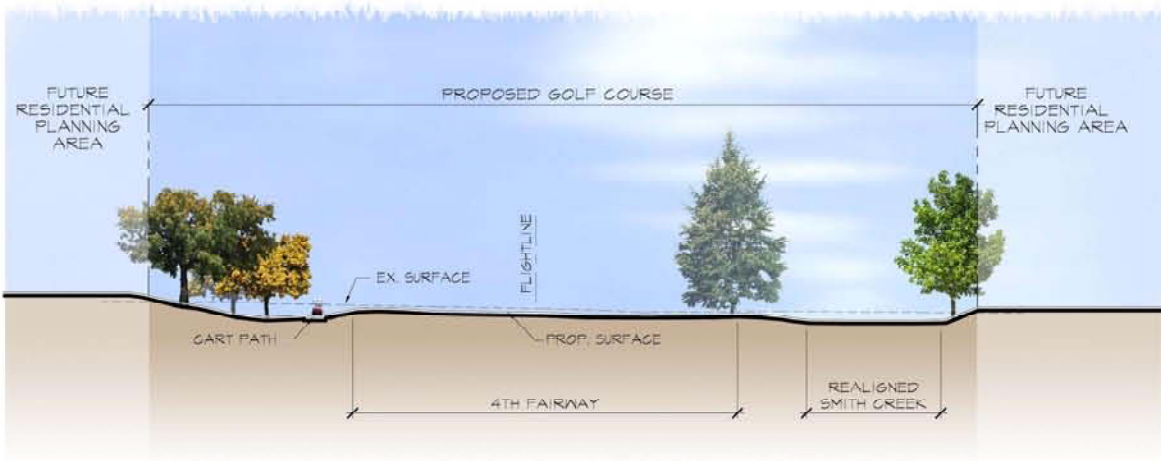
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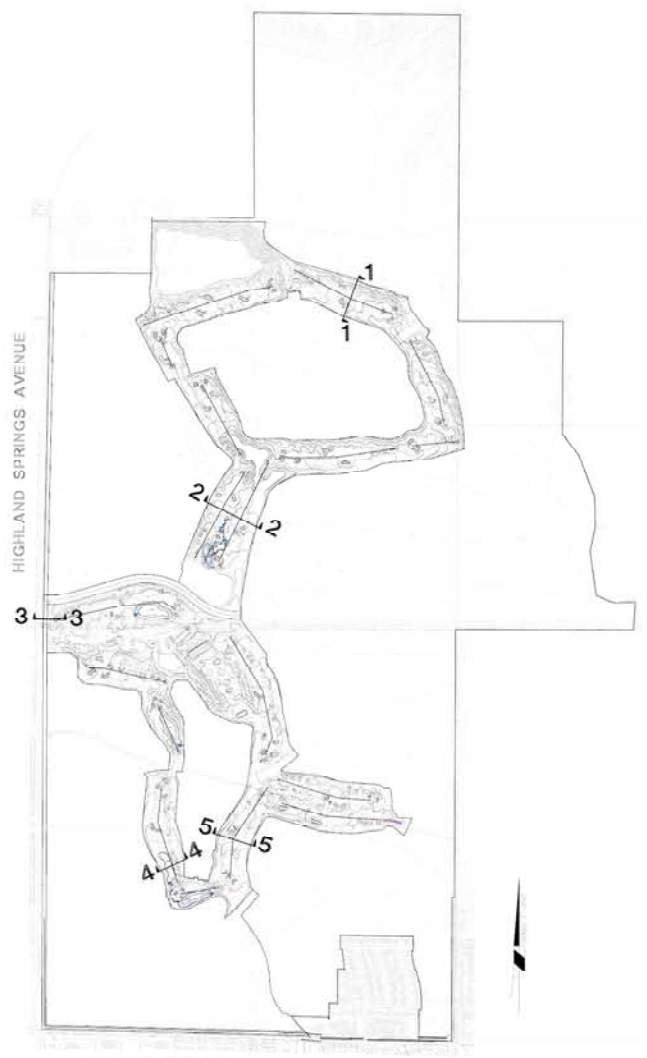
SECTION 3-3



SECTION 4-4



SECTION 5-5



LOCATION MAP

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3.3.2 Grading Plan Development Standards

1. All other provisions of this Specific Plan notwithstanding, all grading shall conform to the California Building Code and all other relevant laws, rules and regulations governing grading in the City of Banning.
2. All grading activities shall be in substantial conformance with the Conceptual Grading Plan as determined by the City Engineer and Community Development Director, and shall implement any grading-related mitigation measures outlined in the CEQA documentation.
3. All streets shall have a maximum grade of 15 percent or less. Wherever feasible street grades should be kept to 10 percent or less.
4. Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
5. The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
6. The toes and tops of all slopes higher than ten feet should be rounded, where possible, with curve radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
7. Cut or fill slopes exceeding 100 feet in horizontal length, if any shall be graded to meander at the toe and top of the slope.
8. Slopes exceeding three feet in vertical height shall be protected per City standards prior to the beginning of the wet season (October to March), or as otherwise provided per the approved Erosion Control Plan.
9. Prior to initial grading activities, a soils report and geotechnical study shall be performed with further analyses of on-site soil conditions and appropriate measures to control erosion and dust.
10. Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
11. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of individual homeowners or the homeowners association.
12. Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible and shall be reviewed by the City Engineer.
13. Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
14. Grading work shall be balanced on-site, wherever possible. If export is required as a result of the final grading plan, then measures will be taken to be in compliance with

- the applicable City of Banning Ordinances at time of final grading plan approval. Export of graded material from the site will not be permitted for commercial purposes.
15. Graded, but undeveloped, land shall be maintained weed-free and planted or protected with acceptable plant material and interim erosion control measures within 45 days of completion of grading, unless building permits are obtained. All graded slopes, pad areas and road beds shall be continuously maintained by the Developer or the homeowners association.
 16. A grading permit shall be obtained from the City of Banning, as required by the City grading ordinance, prior to grading.
 17. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist and paleontologist shall be consulted to ascertain their significance.
 18. If human remains are encountered during grading and other construction excavation, work in the immediate vicinity shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5. The city of Banning Planning Department shall also be contacted.
 19. In the event that Native American cultural resources are discovered during project development/construction, all work in the immediate vicinity of the find shall cease and a qualified archaeologist meeting Secretary of the Interior standards, and approved by the City of Banning, shall be hired to assess the find. Work on the overall project may continue during this assessment period.
 20. If significant Native American cultural resources are discovered, and a Treatment Plan is recommended by the archaeologist, the developer or the archaeologist shall contact the Morongo Band of Mission Indians ("Tribe"). If requested by the Tribe, the developer or the project archaeologist shall, in good faith, consult on the discovery and its disposition (e.g. avoidance, preservation, return of artifacts to tribe, etc). The results of the consultation and disposition shall be forwarded to the City of Banning for retention in the project file.
 21. Soil stabilizers and other best management practices shall be used to control dust as required by current SCAQMD and City requirements.
 22. Property lines shall be located at the tops of slopes, in rear and sideyard areas when feasible.
 23. Maintain moderate grades at a gradient not exceeding 2:1 on new slopes to reduce risk of erosion.
 24. Appropriate erosion control measures shall be considered, as determined by the City Engineer as part of the comprehensive grading and drainage plan to reduce erosion.
 25. Adequate provisions shall be determined by the City Engineer to prevent surface waters from damaging or interfering with construction activities, public or private property, and cut and fill slopes during and after construction.

26. All project sites shall meet NPDES requirements for urban runoff and erosion control. All sites shall employ Best Management Practices (BMP's) and meet City of Banning and County of Riverside Standards.
27. Concrete terrace drains, v-ditches, and brow ditches shall use colored concrete that is intended to blend with their surroundings. The design of these facilities shall consider minimization of their view impacts.
28. The height of grading dirt stockpiles shall be minimized and promptly removed as grading allows. Such stockpiles shall be setback from Highland Springs Avenue, Wilson Street and Highland Home Road a minimum of 150 feet.
29. Slope easements, including for maintenance purposes, shall be shown on tentative tract maps.

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3.4 DRAINAGE PLAN

This section describes the existing onsite drainage characteristics and improvements proposed within this Specific Plan. Following this description, drainage plan development standards have been created to address drainage improvements proposed by this Specific Plan and to ensure conformance with the City of Banning, County of Riverside, NPDES, and other responsible agency requirements.

3.4.1 Characteristics of Existing Drainages

Smith Creek, the most significant drainage feature in the project vicinity, currently exists as a natural earthen channel that conveys drainage down the center of the site, where it connects to an existing culvert under Wilson Street and the further existing channel south of Wilson Street. The channel's width on the site averages approximately 30 feet; its depth ranges from three to five feet and consists of a sandy bottom with soil sidewalls. Pershing Channel connects with the project site along its southeastern edge. The channel passes along side of Highland Home Road, travels under Wilson Street via a culvert, and empties into an existing channel south of the street.

Historically the Butterfield site has received surface drainage flows from north to south within the two separate watersheds, Smith Creek and Pershing Channel. Approximately 1,220 acres, an estimated 79% of the project site acreage in the existing condition lies within the larger watershed affecting the Specific Plan area which drains to Smith Creek through the center of the site. An estimated 323 acres, constituting 21% of the project site acreage in the existing condition drains to the Pershing Channel along Highland Home Road just north of Wilson Street.

Southerly portions of the Specific Plan area are currently in a designated 100-year flood zone (Zone A) pursuant to the National Flood Insurance Rate Map. These areas can be removed from this zone, except in the proposed golf course open space and realigned Smith Creek area, with the improvements described below.

3.4.2 Master Drainage System

The Butterfield Specific Plan proposes a backbone system of drainage improvements which will utilize the capacity of both Smith Creek and Pershing Channel to transport surface flows from and through the project site in its developed condition. The backbone system will also direct first-flush or nuisance flows toward water quality features that will treat the runoff before it enters these major drainages. Basin and channel features at Smith Creek's site entry and exit points and in the golf course open space are integrated with the realigned Smith Creek and will help regulate the volume and velocity of flows for the Smith Creek-drained portion of the site. This integrated system would protect the Butterfield development from inundation and help regulate dispersal of flows throughout the project site and exiting the site. Controls are also included for drainage entering Pershing Channel. The following provides a further description of the proposed Specific Plan backbone drainage features.

North Basin

A realignment of Smith Creek is anticipated by this drainage plan. The project drainage to Smith Creek will drain to the proposed realigned creek in the golf course. A large detention basin is proposed within Planning Area 71 at the north end of the Specific Plan area where Smith Creek enters the site. This basin will be designed to detain upstream drainage flows to the extent that drainage flows leaving the project area at the south end (via the existing culvert under Wilson Street), including in the developed condition, will be equal to or less than existing conditions.

The north basin is planned to have the main functions of detaining flows from expected 100 year storm events flowing in from Smith Creek and release this storm water in an acceptable controlled manner; and to detain sediment from off-site upstream flows of Smith Creek. Additionally the City could potentially elect to use the basin for storing State Water Project (SWP) water for use in groundwater recharge on the project site, if the City was to choose to acquire such water for this purpose via a pipeline extension connecting the existing SWP pipeline with PA 71 in the Specific Plan area. See Section 3.5.3, *Groundwater Recharge Plan Description*, in this Specific Plan for a further description of this. The City could also potentially elect to store recycled water (generated either at the City of Banning's main wastewater treatment plant or at onsite satellite wastewater treatment plant) that could be blended with other sources of water in the basin and which could be piped and pumped throughout Butterfield Specific Plan area for irrigation of the golf course and the common landscaped areas of the project, as well as potentially for groundwater recharge if pursued and approved. See Section 3.5.2, *Recycled Water Service Plan Description*, as well as Section 3.5.3 of this Specific Plan for a further description of this. See Exhibit 3.7B, *PA 71 North Basin Schematic Section* for an indication of approximate potential water storage volumes proposed in the basin for these purposes. Portions of area surrounding the basin will be suitable for planting native vegetation to create potential native habitat restoration areas. The basin may also be used to establish a recreational area, suitable for potential fishing, operation of non-motorized boats, picnicking and hiking.

The north basin in Planning Area 71 will contain three subparts, a desilting basin to desilt upstream flows, a weir which helps to contain any accumulated materials, and a connected larger part of the basin which receives stormwater overflow from the desilting basin. A much smaller (3+ acres) proposed lake basin in the north central part of the golf course will provide additional limited drainage detention. Please refer to Exhibit 3.7A, *Master Drainage Plan*, for the overall project drainage concept and location of the PA 71 basin. Please refer to Exhibit 3.7B, *PA 71 North Basin Schematic Section* for an indication of approximate potential water storage volumes proposed in the basin. A concept landscape plan of the Planning Area 71 north basin can be seen in Section 4.0, *Development Design Guidelines*, of this Specific Plan as Exhibit 4.8J, *PA 71 North Basin Landscape Concept Plan*.

Golf Course Open Space Drainage System

The main backbone drainage facility for this Specific Plan consists of a large open channel section that will run from north to south for the most part in the golf course open space realigned as Smith Creek. During significant storm events, the channel will spread over its top of channel and spread onto the fairways and open space. By spreading the flows, the wetted perimeter is increased resulting in slower velocities.

Where necessary, some limited detention along Smith Creek may be designed to further control release of onsite stormwater.

The proposed main channel will be lined in areas with turf reinforcing mat (TRM), which will be covered in soil and vegetated. The result is a natural, vegetated channel. Where the velocities are significant, drop structures will be utilized to dissipate energy and slow down the flows. These drop structures, constructed to fit within restored natural conditions to the greatest extent possible, will protect the channel from erosion. Culverts will be placed at the proposed street crossings.

Drainage from development areas within the Specific Plan will flow in streets and into storm drains to be taken to either the Smith Creek drainage in the golf course open space or the Pershing Channel. Before low flow drainage or first flush storm runoff enters either Smith Creek or Pershing Channel, the flows will pass through water quality treatment facilities. These water quality treatment facilities will likely consist of vegetated detention basins or vegetated flow through swales, which will be located in the golf course open space areas or other open space areas, or may be in the residential areas.

Drainage flows exiting the golf course open space will flow under the South Loop Road and into the south channel, located within Planning Area 19. This is proposed as an earthen channel, vegetated with native plant materials. All flows from the south channel will pass offsite to the south, through an existing culvert under Wilson Street. Please refer to Exhibit 3.7A, *Master Drainage Plan*. Refer to Exhibit 3.7C, *Conceptual Golf Course Drainage Plan*, for a more detailed depiction of this concept, including potential water quality feature locations and groundwater recharge areas (discussed in Section 3.5). A conceptual landscape plan of the Planning Area 19 south channel can be seen in Section 4.0, *Development Design Guidelines*, of this Specific Plan as Exhibit 4.8I, *PA 19 South Channel Landscape Concept Plan*.

The proposed drainage facilities were designed to replace the systems identified in the County and City Master Plan of Drainage. The proposed drainage system provides the same function as those facilities previously master planned, and could potentially reduce the master planned flow rates at the project boundaries.

3.4.3 Drainage Plan Development Standards

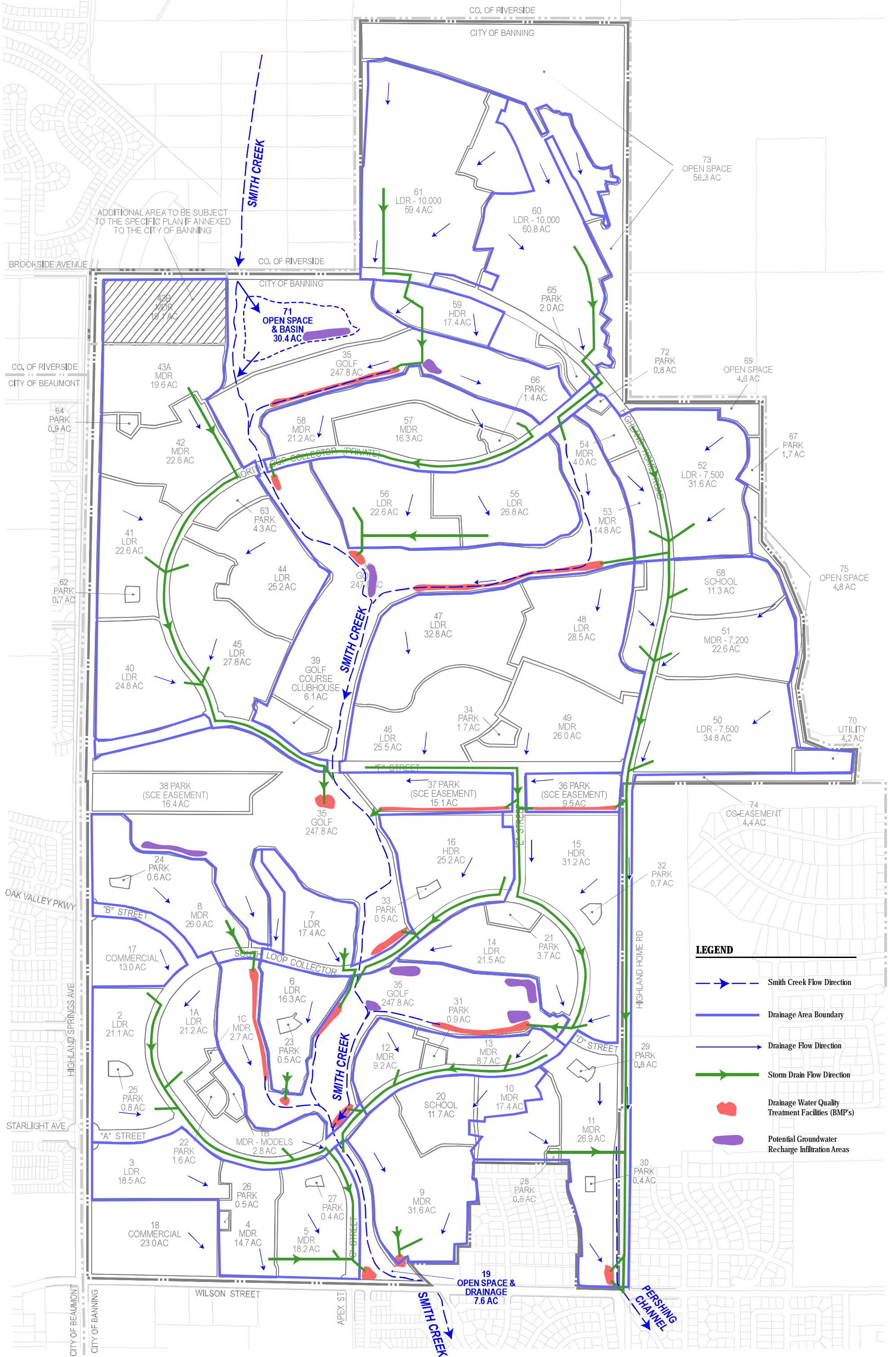
In order to ensure orderly development, the Drainage Plan described above shall be subject to general principles and standards as follows:

1. The Project shall be subject to the requirements indicated in the Riverside County Flood Control District and Water Conservation District Hydrology Manual and the City of Banning flood control standards, including the following provisions:
 - a) All building pads shall be free from flood hazard for the 100-year frequency storm by elevating finished floor elevations one foot above the 100-year level of flood protection; and
 - b) Depths of flow in the streets shall not exceed top of curb elevations for the 10-year frequency.

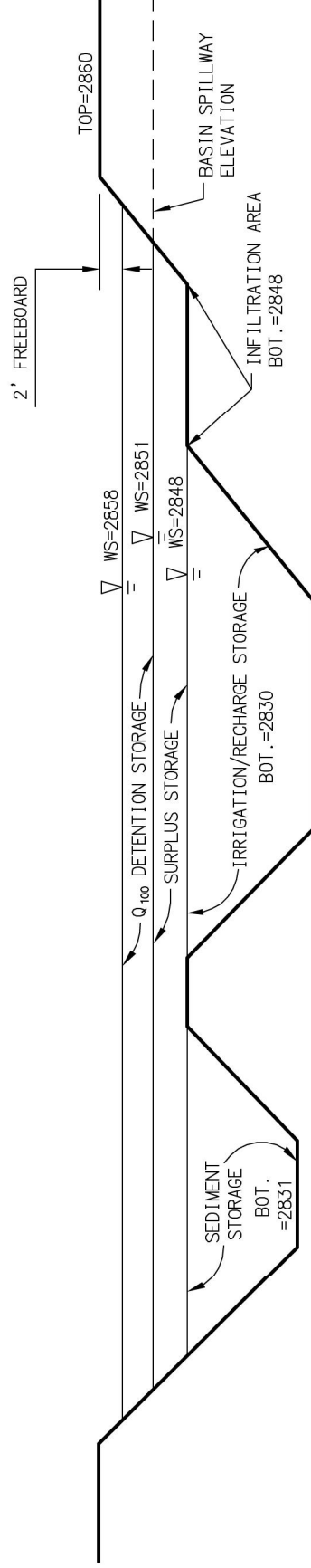
2. The potential for the conveyance of debris from off-site watersheds shall be taken into account into the design of the proposed facilities.
3. Prior to site development, the proposed interior road infrastructure and grading design shall be coordinated to ensure that there is not any major diversion of drainage areas between watersheds.
4. The design of all interior storm drain conveyances and local storm drain facilities shall be in accordance with the criteria RCFCWCD guidelines. Flood flows used in the design of waterways, channels, and closed conduits shall have minimum average recurrence intervals as follows:
 - a) Storm drain systems shall be designed and based on a minimum 10-year frequency.
 - b) For sump conditions, a 25-year frequency shall be applied, and a connected system shall be designed to completely convey 100-year runoff, with a secondary outlet to assure the water surface is one foot below the proposed pad elevations.
5. On-site public drainage facilities located outside of the road right-of-way shall be contained in drainage easements.
6. Streets shall be oriented to maximum potential conveyance of regional flooding during significant storms to expedite the flow through the development.
7. The Specific Plan shall be phased such that 100-year flood protection is ensured in all areas of the development. Interim improvements shall be provided as phasing of the development progresses.
8. New development shall be required to prepare a master flood utility plan for storm drainage conveyance.
9. All projects shall be required to retain any increased drainage onsite until such time as a viable drainage plan is implemented. Development proposed following implementation of such a drainage plan shall be implemented in accordance with the approved drainage master plan.
10. Best Management Practices (BMPs) shall be implemented to enhance pollutant removal during storms and to improve the quality of stormwater runoff.
11. Prior to development of upstream areas, the potential for the conveyance of debris by the offsite watershed shall be accounted for in design of onsite drainage facilities in order to avoid abrasive erosion in certain drainage facilities and maintenance problems for facilities located within the floodplain.
12. Inspection and maintenance of public storm drain systems shall be performed by City of Banning.
13. Construction of each phase shall include an assessment of the size and flow patterns of the adjacent undeveloped areas on the Specific Plan area.

14. Each phase shall prepare an erosion control plan that provides the developed phases with the required flood protection. Flood protection shall be determined by the size of the undeveloped areas and the flow patterns.
15. Temporary basins shall be constructed to meet detention requirements and earthen channels/berms shall be used to divert and convey flows during construction phases.

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BASIN/LAKE STORAGE

STORAGE REQUIREMENT

Q₁₀₀ DETENTION
 SEDIMENT STORAGE
 IRRIGATION STORAGE
 RECHARGE STORAGE (=TO MAX. PEAK DOMESTIC DEMAND)
 SURPLUS STORAGE

SOURCE

STORM RUN-OFF
 STORM RUN-OFF
 RECYCLED OR SWP WATER (POTENTIAL)
 RECYCLED OR SWP WATER (POTENTIAL)
 RECHARGE OR STORM RUN-OFF

VOLUME (APPROXIMATE)

100 AC-FT
 45 AC-FT
 80 AC-FT
 25 AC-FT
 40 AC-FT

TOTAL 290 AC-FT (190 AC-FT DEAD STORAGE)

Notes:

SWP = Potential State Water Project or other imported water
 Potential use of recycled water or other sources of water for
 recharge will require appropriate approvals and permits, including
 the acceptable levels of blending with other water sources.

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BROOKSIDE AVENUE

HIGHLAND HOME ROAD

HIGHLAND SPRINGS AVENUE

ROAD CROSSING

ROAD CROSSING

TYPICAL CREEK DROP STRUCTURE LOCATIONS

ROAD CROSSING

TYPICAL CREEK DROP STRUCTURE LOCATIONS

"F" STREET

GOLF COURSE CLUBHOUSE

GOLF COURSE MAINTENANCE YARD

RANGE

ROAD CROSSING

ROAD CROSSING

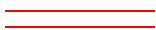
TYPICAL CREEK DROP STRUCTURE LOCATIONS

ROAD CROSSING

HIGHLAND HOME ROAD

WILSON STREET

LEGEND



SMITH CREEK REALIGNMENT



DRAINAGE WATER QUALITY TREATMENT FACILITY - VOLUME (BASIN) BASED BMP



DRAINAGE WATER QUALITY TREATMENT FACILITY - FLOW BASED BMP



DRAINAGE LOW FLOW INLET TO BMP



POTENTIAL GROUNDWATER RECHARGE INFILTRATION AREAS

PARDEE HOMES . BUTTERFIELD SPECIFIC PLAN

Conceptual Golf Course Drainage Plan

EXHIBIT 3.7C

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3.5 WATER, RECYCLED WATER AND SEWER SERVICES PLAN

This section outlines domestic water, recycled water, and sewer (wastewater) service provisions to adequately meet future development demands of the Butterfield Specific Plan area. This plan addresses demands of the uses proposed within the Specific Plan as required by the applicable City master plans and the Butterfield Specific Plan Water Supply Assessment and develops standards for the development of water, recycled water, and sewer services.

3.5.1 Water Service Plan Description

Butterfield Specific Plan's projected potable water demand for non-irrigation purposes in the project at buildout is estimated at approximately 1,783 acre feet/year with estimated future water conservation reductions. These figures assume a development of 5,387 dwelling units, and in which PAs 17, 18, 20 and 68 are developed according to their primary development designation, commercial and schools. These potable water quantities would be expected to decrease if ultimately fewer dwelling units are built or active-adult dwelling units were part of the product mix constructed, based on an expected lower number of persons/residents per dwelling unit.

The proposed project site is within the City of Banning's Water Utility Department service area that provides water services to the City. Groundwater basins within the San Geronio Pass area, including the Banning, Beaumont and Cabazon areas, serve as the main domestic or potable water sources for the City. The City owns and operates wells, reservoirs and water distribution lines that deliver water to the City as well as to limited unincorporated Riverside County lands outside the City limits. Available water from the State Water Project (SWP) system is used to help replenish groundwater supplies.

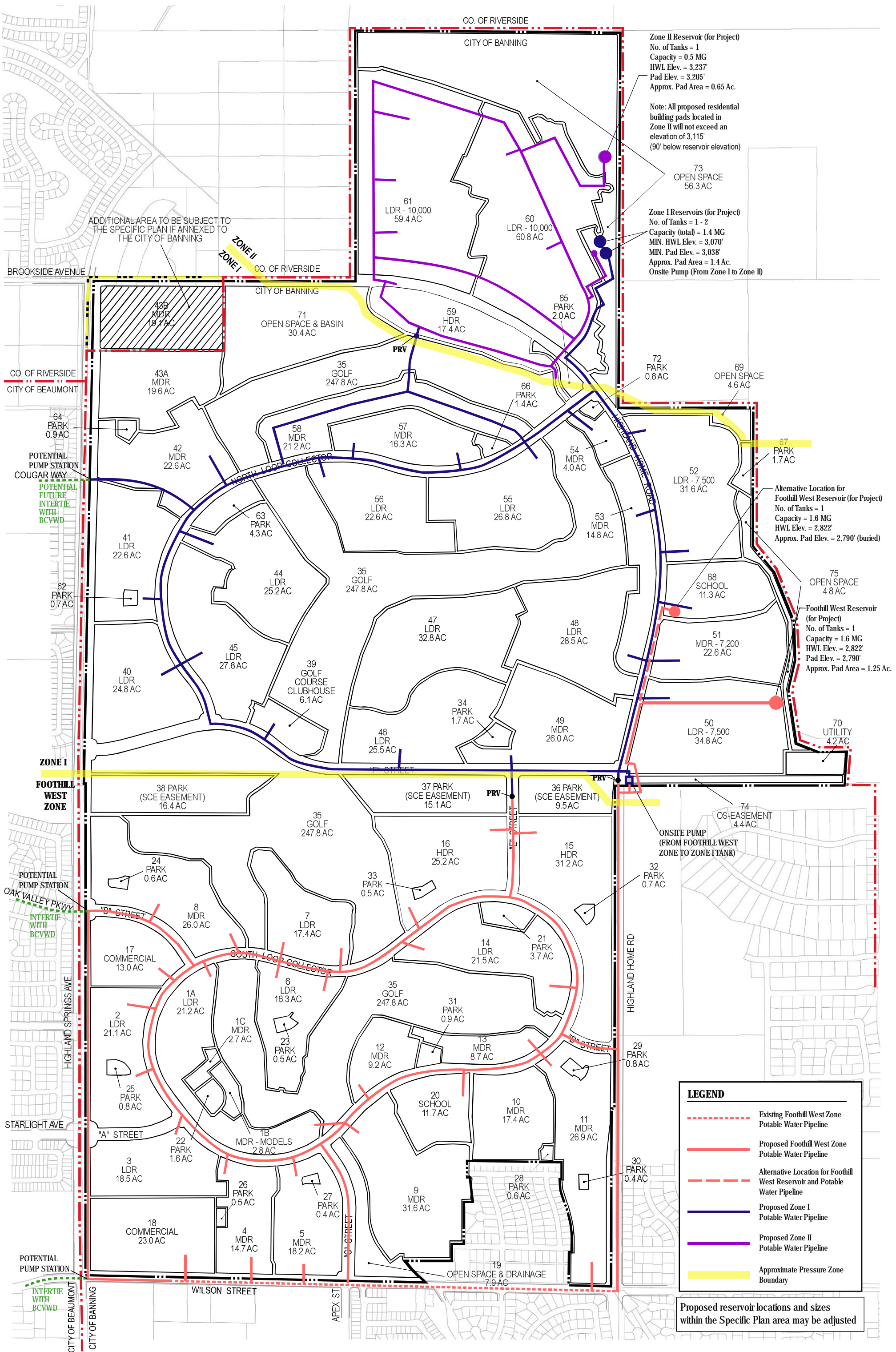
The City of Banning requires developments to provide two points for water main connection tie-ins. The Butterfield Specific Plan area proposes these connection points at minimum at the intersection of Highland Home Road and Wilson Street as well as proposed "C" Street and Wilson Street. Exhibit 3.8 *Conceptual Potable Water Plan* depicts the proposed main on-site water transmission lines. Looping of water lines throughout the major portions of the Butterfield site as well as within individual planning areas will occur to distribute potable water to the project. Local on-site (in-tract) water transmission lines of 8 inches minimum diameter within project internal streets are proposed to directly serve Butterfield's residential uses.

Approximate potential tank and pump locations for potable water supply are indicated on Exhibit 3.8, *Conceptual Potable Water Plan*, and assumed to be onsite within the development area of the site. References to elevations indicated on the exhibit should be interpreted as approximate minimums affecting appropriate service pressure zones and may be subject to adjustment within the proposed development areas. The Project proposes three to four above-ground steel water storage tanks for potable water (with a total potential storage capacity of approximately 3.5 million gallons [MG]), to serve Butterfield residents in the Specific Plan's lower Foothill West Zone, Zone I, and Zone II. The proposed Foothill West reservoir for the SP is proposed to be located on the east side of PA 50 at a pad elevation of 2,790 feet. A potential alternate location for this reservoir could be buried under the play fields in the PA 68 school site. Both the Zone I and Zone II reservoirs proposed to serve these respective zones in the SP will be located within the east side of PA 73, and at minimum pad elevations of 3,038 feet for

Zone I and 3,205 feet for Zone II. The proposed Zone I reservoir could be built as a single tank or two side by side tanks. All residential lots in proposed pressure Zone II will be at elevation 3,115 feet or below, allowing them to be served from the proposed Zone II reservoir. The Project proposes three potential pump station locations and in-tract water pipelines, which will connect to the City's existing system at Highland Home Road and Wilson Street as well as "C" Street and Wilson Street.

Proposed interconnection points between the proposed Banning system serving the Butterfield Specific Plan area and that of the Beaumont-Cherry Valley Water District (BCVWD) are also depicted in Exhibit 3.8. Banning and BCVWD have agreements in place for joint use of certain wells in the BCVWD area. Within the project's part of City of Banning's Foothill West Zone, a BCVWD line running along 8th Street from west of Highland Springs Avenue could be tied into the City of Banning's existing potable water pipeline within Wilson Street. BCVWD's system also provides an existing line running within Oak Valley Parkway. As a second currently-available interconnect point to the project's part of the Banning Foothill West Zone, the Oak Valley Parkway line could connect via proposed "B" Street to the Butterfield system. A supporting pipeline could also be implemented within Highland Springs Avenue to connect these two current interconnect points. In the future, potential interconnects to the Specific Plan's Zone 1 system (Banning system) could be made with a planned BCVWD facility to be constructed within Cougar Way, west of Highland Springs Avenue from Butterfield Planning Areas 41 and 42. For each interconnect opportunity, a potential pump station may be provided.

The treatment of State Water Project water to acceptable potable use standards might also be a potential option with this project. This treatment might be provided by a treatment facility which receives SWP water via a feed line from a potential SWP pipeline extension before it would enter the proposed north basin in PA 71. See discussion in Section 3.5.3 of this Specific Plan for a further description of this potential pipeline extension and facility.



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3.5.2 Recycled Water Service Plan Description

The City of Banning Wastewater Treatment Plant (WWTP) is located in the southeast section of the City and currently has the capacity to treat 3.6 mgd of wastewater to secondary standards. The wastewater is treated and the effluent is discharged to percolation ponds that overlie the Cabazon groundwater storage unit. The Wastewater Treatment Plant currently has headworks designed for an ultimate capacity of 7.8 mgd.

The City has completed plans for expansion and upgrade (Phase I Upgrade) of the main Wastewater Treatment Plant (WWTP). The upgrade would provide treatment of up to 1.5 mgd of wastewater to tertiary standards, which would allow for the production of approximately 1,680 acre-ft/yr of recycled water. In addition, pursuant to a September 2006 draft *Recycled Water Master Plan* prepared for the City of Banning by Carollo Engineers, the City owned R-1 well located near to the WWTP can be another direct source of water suitable for use in the City's recycled water system. The Phase I WWTP upgrade project includes potential retrofitting the R-1 well and proposed recycled water distribution pipelines south of the I-10 Freeway. Environmental review (CEQA compliance) has been completed on the City's Phase I project. The Banning 2006 *Recycled Water Master Plan* also projects recycled water demands in the City could total approximately 5.0 mgd in the future, requiring further expansions of the City's wastewater treatment capabilities.

Butterfield Specific Plan area's projected total irrigation water demand to serve the project's common landscaped areas as well as the golf course and open space is estimated at 1,321 acre feet/year at project buildout. Recycled water, as it is available, is the ultimate required source to meet this demand.

The City of Banning has yet to construct a distribution system to deliver recycled water to irrigation customers. As such, the City requires dry recycled water lines to be constructed concurrently with potable water lines for future use with a recycled water source when available, for irrigation use. Recycled (non-potable) water lines will follow the same alignments as those for potable domestic water as appropriate, connected to storage facilities proposed in the project area. Pump locations are possible along "F" Street or elsewhere within the project as appropriate. See Exhibit 3.9A, *Conceptual On-site Recycled Water Plan*.

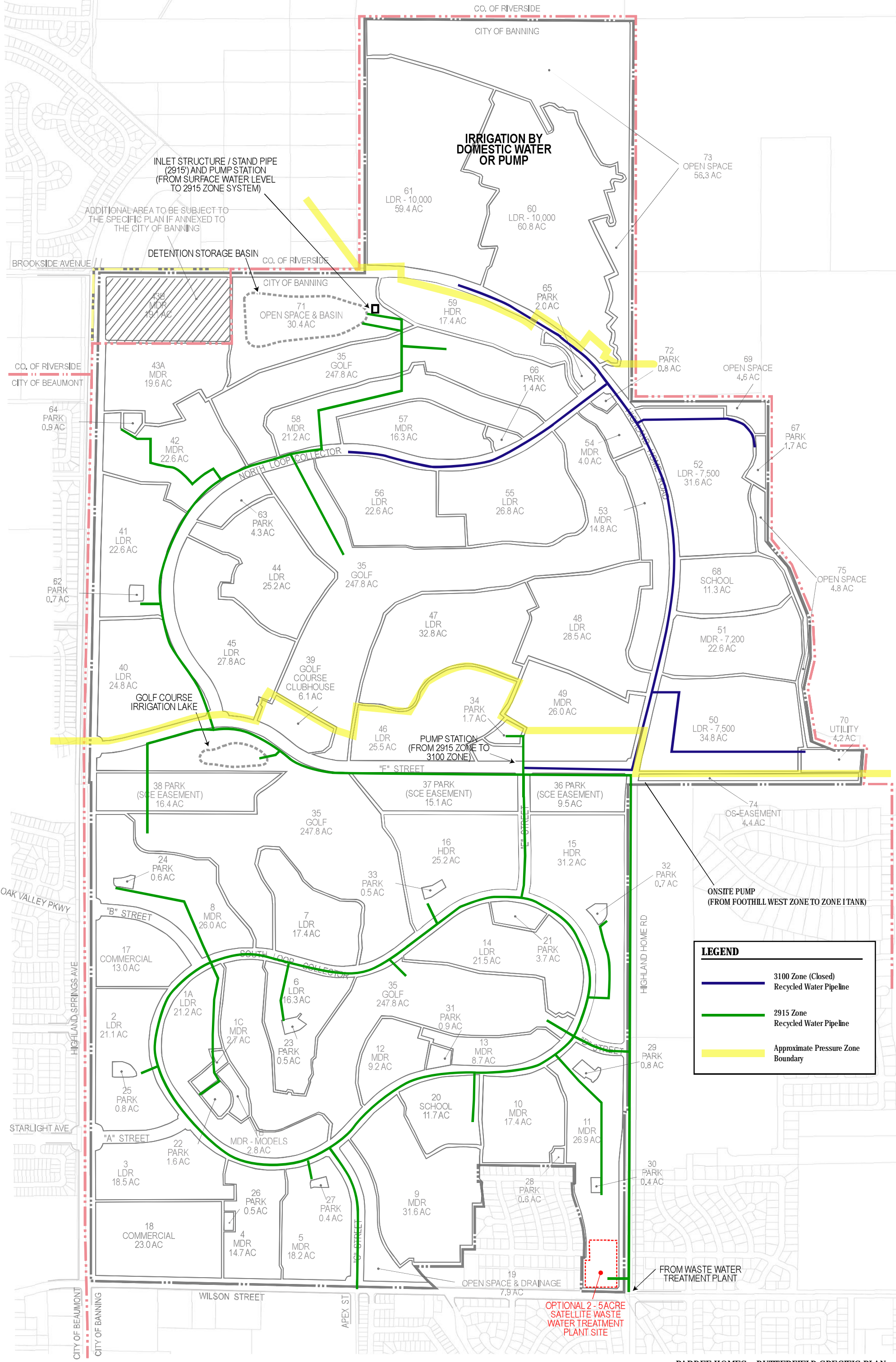
In order to supply the Butterfield Specific Plan area with recycled water from the City's main plant, when made available by the City, off-site recycled water transmission pipelines will need to be constructed from Highland Home Road/Wilson Street intersection eastward along Wilson Street, south on Sunset Avenue, eastward on Lincoln Street, south on Hathaway Street, and eastward on Charles Street to the City's main wastewater treatment plant. The Banning Wastewater Treatment Plant with the planned upgrades would then send recycled water through the pipeline to the point of connection with the Butterfield site's onsite distribution system. Pumps would be needed at points along the off-site line to get recycled water to the site. See Exhibit 3.9B, *Off-site Recycled Water Transmission*.

The project proponent would pay a fair share contribution towards construction or would construct the entire offsite improvement in return for cost reimbursement or project fee credits. In support of this Butterfield service option, improvements to the City's main wastewater treatment plant both to expand treatment capacity as well as to upgrade to tertiary treatment of wastewater would be necessary by the City. At this writing, these

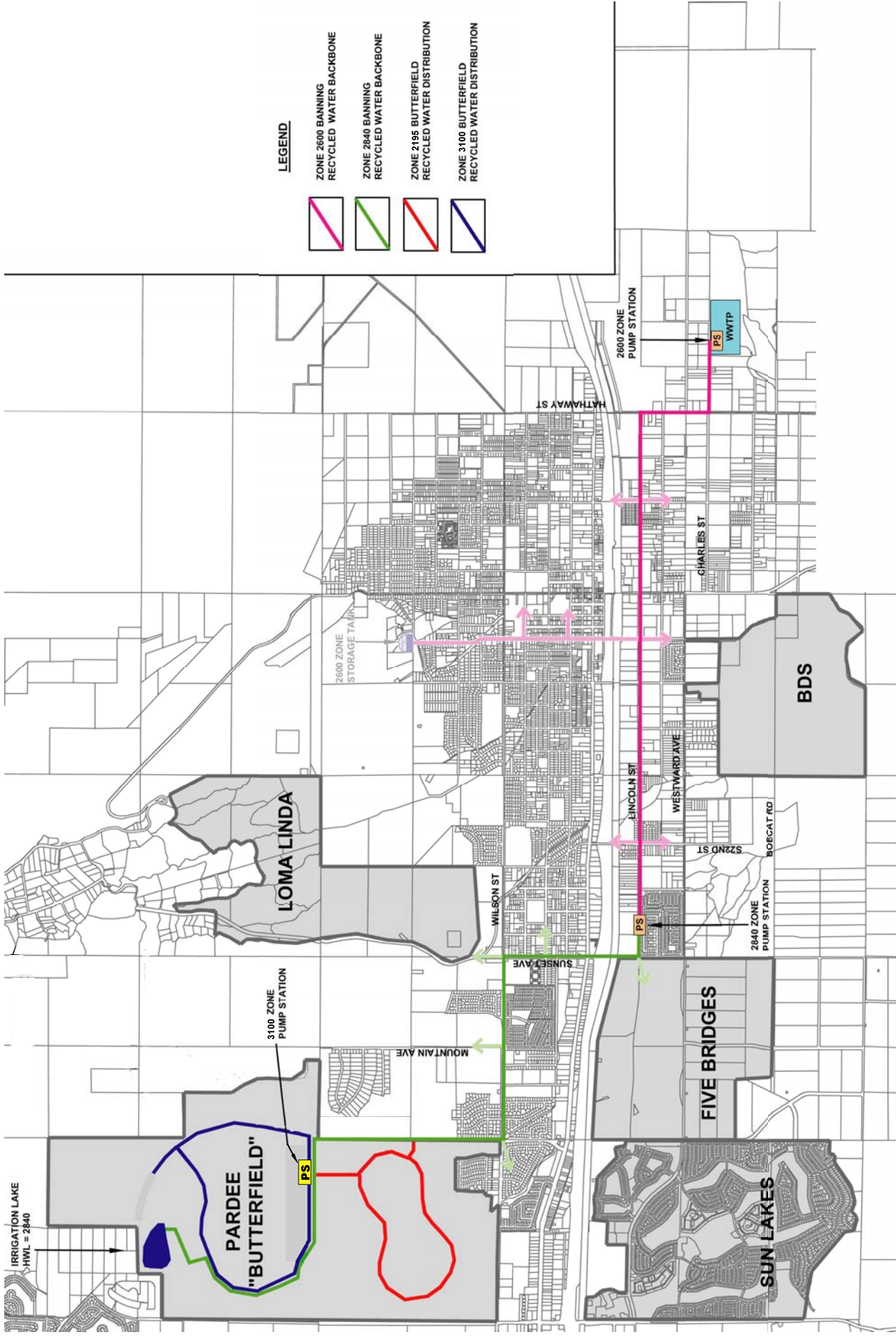
plant improvements have been included as part of the City's capital improvements program.

As a potential alternative option for generating recycled water for the project, the City could elect to have a satellite wastewater treatment plant sited and constructed within the Butterfield Specific Plan area. To accommodate this alternative, the Specific Plan designates an approximately 2 to 5 acres at the southern end of Planning Area 11 for a satellite treatment plant. At this location, the satellite plant could receive wastewater gravity flow from the project, treat the wastewater and pump back recycled water through Butterfield's onsite distribution system to be stored in the golf course irrigation lake to be located north of PA 38 or in the north basin in Planning Area 71. Exhibit 3.9A shows the location of this potential satellite treatment plant on the Butterfield project. The potential satellite plant would be owned and operated by the City of Banning.

The City could also elect to potentially have existing wastewater flows from existing homes and businesses south of the project and north of the I-10 Freeway and potentially in a limited area to the east be diverted to the proposed satellite plant to provide essential flows necessary to commence its operation and to generate recycled water for irrigation (i.e. to the golf course) prior to on-site uses in the Butterfield project coming online. Diversion may only be temporary, until such time as development of uses on the Butterfield site would generate sufficient flows on its own for operation. A proposed potential sewer lift station would be located at the corner of Ramsey Street and Omar Street for this alternative. New off-site force main sewers within Omar and Wilson Streets or within Ramsey Street and Highland Home Road would also be potentially be provided to transport diverted wastewater flows to the satellite plant for treatment with this alternative.



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3.5.3 Groundwater Recharge Plan Description

The Butterfield project proposes, as an option, an onsite groundwater recharge system, as described below, to provide a potential partial offset to the additional demand for domestic water posed by the development and as replenishment to groundwater supplies.

Butterfield's potential groundwater recharge system would propose to use a portion of the State Water Project (SWP) water allocation made available to the City of Banning by the San Geronio Pass Water Agency (SGPWA), if the City elected to pursue a pipeline connection between the existing SWP pipeline and the Specific Plan site. The City might also elect to pursue use of potential surplus recycled water, if available and when it can be acceptably blended with other available water sources, for groundwater recharge within the Specific Plan. Use of recycled water for groundwater recharge in the Butterfield Specific Plan area would require the approval and permits from the Regional Water Quality Control Board, Santa Ana Region, because it overlies the Beaumont (groundwater basin) Management Zone, as well complying with California Department of Public Health Title 22 regulations. Partial groundwater recharge requirements are further discussed below.

The City if it pursues this option could potentially bring the available supply of SWP water for the recharge system by a proposed pipeline extension from the existing termination of the State Water Project pipeline at the existing San Geronio Pass Water Agency spreading grounds on Little San Geronio Creek near Orchard Street. This pipeline extension would proceed eastward near Orchard Street, and cross Oak Glen Road and Noble Creek, turning southward along Noble Street for approximately one-half mile. From Noble Street near the intersection of High Street, the SWP line could follow either of three potential alignments to reach Brookside Avenue near its intersection with Bellflower Avenue. See Exhibit 3.10A, *Potential SWP Water Pipeline Extension*. One option (Alternative A in Exhibit 3.10A) would continue the SWP line southward along Noble Street and eastward along Brookside Avenue. Alternative B represents a Cherry Avenue/Brookside Avenue alignment. Finally, Alternative C documents a potential High Street/Bellflower Avenue alignment. From the Brookside Avenue/ Bellflower Avenue intersection, each alternative would conclude the SWP pipeline extension by continuing easterly along Brookside Avenue to connect with Butterfield's north basin in Planning Area 71. The City of Banning has had plans for this pipeline extension from the existing SWP line termination to the Banning City limits at the Butterfield project site prepared and could move forward with this as a separate city project, subject to additional environmental review and approval.

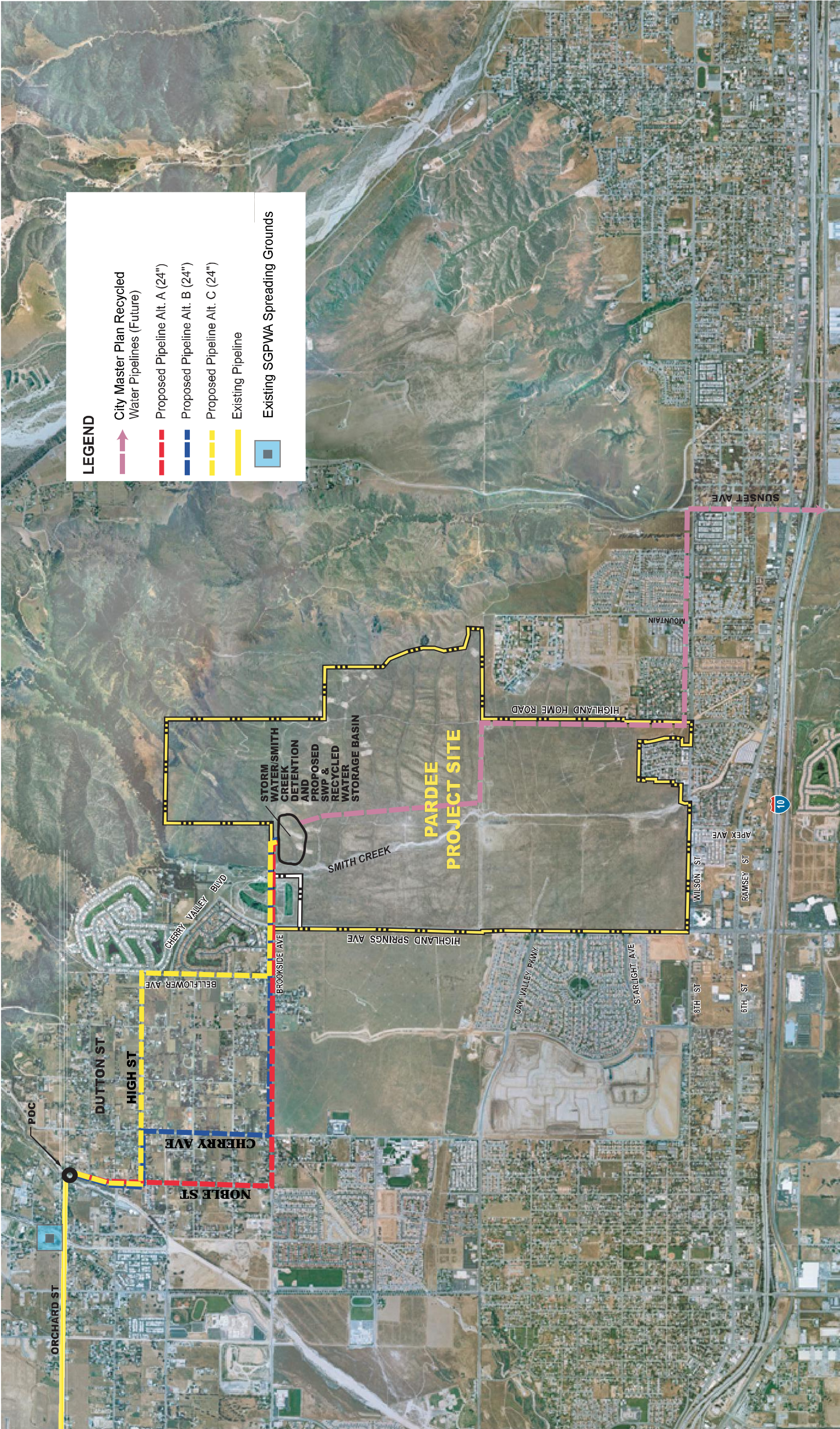
The feed line extension from the SWP proposed pipeline would carry SWP water to Planning Area 71 to be stored in the proposed north basin there. As the SWP's raw water source line feeds into Planning Area 71, a potential SWP turnout facility may provide incidental storage and some degree of treatment. A proposed pipeline system would then be used for distribution of the SWP water to the groundwater recharge infiltration areas within the project. The SWP pipeline extension turnout facility could direct flows as needed to store in PA 71's north basin, or the facility could direct flows straight into the distribution pipeline system as necessary. The Specific Plan's groundwater recharge areas would typically be located within Butterfield's golf course open space planning areas. See Exhibit 3.10B, *Conceptual Groundwater Recharge Plan*.

The project's onsite groundwater recharge system could provide recharge to the Beaumont Basin. For a detailed discussion of water available for extraction from the Beaumont Basin, please consult the Water Supply Assessment, located in the Appendices to this project's Environmental Impact Report. The City of Banning has currently been recharging SWP water at BCVWD's existing recharge basins under an agreement with BCVWD.

The Water Quality Control Plans designate beneficial uses for each receiving water body and establish water quality objectives to ensure reasonable protection of the beneficial uses. All recharge operations must be conducted in accordance with applicable recharge standards and recycled water reuse standards. All State Water Project water used to recharge the Beaumont Basin must meet the water quality objectives (for the recharge of water) included in the Santa Ana Region, Region 8 Basin Plan. Recharged water must also be blended on a volume-weighted basis with other sources of recharge to ensure water quality levels achieve 5-year running average concentrations less than or equal to the "maximum benefit" objectives for the affected groundwater management zone (Region 8 Basin Plan, at 5-77).

DWR analyzes water quality samples from the SWP for dissolved solids, nutrients, chloride, sulfate, sodium, trace metals, and other constituents. (See Department of Water Resources, SWP Water Data Library.) Chapter 4 of the Region 8 Basin Plan sets water quality objectives for recharge of groundwater to the Beaumont Basin. Recharge of SWP water must meet the Management Zone TDS and Nitrate-nitrogen Water Quality Objectives (Amended by Resolution No. R8-2004-0001, January 22, 2004). Chapter 5 of the Basin Plan, which includes implementation measures, contains controls on salt loadings from all water uses. The plans include measures to improve water supply quality, including the import of high quality water from the State Water Project and recharge projects.

The Region 8 Basin Plan, at 5-18, supports importation of State Water Project water for recharge. It states, "The use of State Water Project water allows maximum reuse of water supplies without aggravating the mineralization problem. It is also used for recharge and replenishment to improve the quality of local water supply sources, which might otherwise be unusable. Thus, the use of high quality State Water Project water in the Region has water supply benefits that extend far beyond the actual quantity imported.



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3.5.4 Sewer Service Plan Description

Butterfield Specific Plan's projected total average wastewater (sewer) flow generation as estimated could be approximately 0.84 million gallons/day at project buildout. This figure assumes a development of 5,387 dwelling units in which PAs 17, 18, 20 and 68 are developed according to their primary development designation, commercial and schools. These wastewater flows would be expected to decrease if ultimately fewer dwelling units are built or active-adult dwelling unitss were part of the product mix constructed.

The site will be served by the City of Banning's Wastewater Utility Division. The Wastewater Division provides sanitary wastewater services to the City. The City of Banning's Wastewater Treatment Plant is located at 2242 East Charles Street and currently has a secondary treatment capacity of 3.6 million gallons per day and has headworks designed to accommodate a future capacity of 7.8 million gallons per day. Currently, the wastewater treatment plant's average daily flow is approximately 2.5 million gallons per day. Improvements to the City's main wastewater treatment plant, both to expand treatment capacity by 1.5 mgd as well as to upgrade to tertiary treatment of wastewater, are planned by the City. These plant improvements have been designed by the City and are part of their capital improvement programing. The City has completed plans for an upgrade (Phase I Upgrade) of the main Wastewater Treatment Plant (WWTP). The upgrade would provide treatment of up to 1.5 mgd of wastewater to tertiary standards, which would allow for the production of approximately 1,680 acre-ft/yr of recycled water. Environmental review (CEQA compliance) has been completed on the City's Phase I project. The City of Banning's November 2006 *Sewer System Study* prepared by Carollo Engineers indicates future expansion of the Wastewater Treatment Plant to 5.0 mgd of capacity.

Exhibit 3.11A, *Conceptual On-site Sewer Plan*, depicts on-site backbone sewer transmission lines. Exhibit 3.11A does not show every potential segment of sewer pipeline service for the Butterfield project. Extensions of sewer lines throughout the major portions of the Butterfield site as well as within individual planning areas will occur to capture and distribute gravity flows of wastewater most effectively towards the project's southeastern corner. Some low points in the system will have to cross between lots or the golf course to provide connections to other gravity flow points in the onsite system.

The infrastructure required for wastewater collection in the Specific Plan area includes new off-site transmission pipelines for connection to the existing main treatment plant as one option. To provide sewer service to the Butterfield Specific Plan area from the main treatment plant, wastewater trunk lines would need to be extended from Highland Home Road/Wilson Street intersection eastward along Wilson Street, south on Omar Street, and eastward on Ramsey Street to Sunset Avenue.

From Sunset Avenue, at least two different alignments for the connecting wastewater trunk line could be pursued. One option would require the project proponent to extend the wastewater line down Sunset Avenue to the vicinity of Bobcat Road, where the Five Bridges and BDS Developments would potentially complete the line extension in Bobcat Road eastward to existing pipelines at South San Gorgonio Avenue, pursuant to the City of Banning's November 2006 *Sewer System Study*. The completion of this sewer transmission main by the aforementioned developments would have to happen prior to or concurrent with the Butterfield project. If the Butterfield Specific Plan is first to be

developed, the project could be obligated to complete this entire alignment. See Exhibit 3.11B, *Off-site Sewer Plan*. The project proponent would pay a fair share contribution towards construction or would construct the entire offsite improvement in return for cost reimbursement or project fee credits.

Five Bridges and BDS developments may not proceed in advance of or concurrently with the Butterfield project. In that case, as another option for an off-site wastewater trunk line extension to the City's main treatment plant, the connection to the wastewater treatment plant could proceed eastward on Lincoln Street and southward on South San Geronio Avenue. This option would provide a fairly direct, efficient route to serve the Butterfield Specific Plan area, but the resulting pipeline extension would not be able to serve the Five Bridges and BDS Developments. The City of Banning would make a determination on which option is preferred.

As a potential alternative option for providing wastewater treatment to the Butterfield project, the City could elect to have a satellite wastewater treatment plant sited and constructed within the Specific Plan area. To accommodate this alternative, the Specific Plan designates an approximately 2 to 5 acres at the southern end of Planning Area 11 in the Specific Plan for a satellite treatment plant. At this location, the satellite plant could receive wastewater gravity flows from the project, treat them to required levels and pump back recycled water into the project's recycled water system (see Section 3.5.2 above). This would not require the extension of wastewater or recycled water pipelines to or from the City's main treatment plan to serve the project. The potential satellite plant would be owned and operated by the City of Banning.

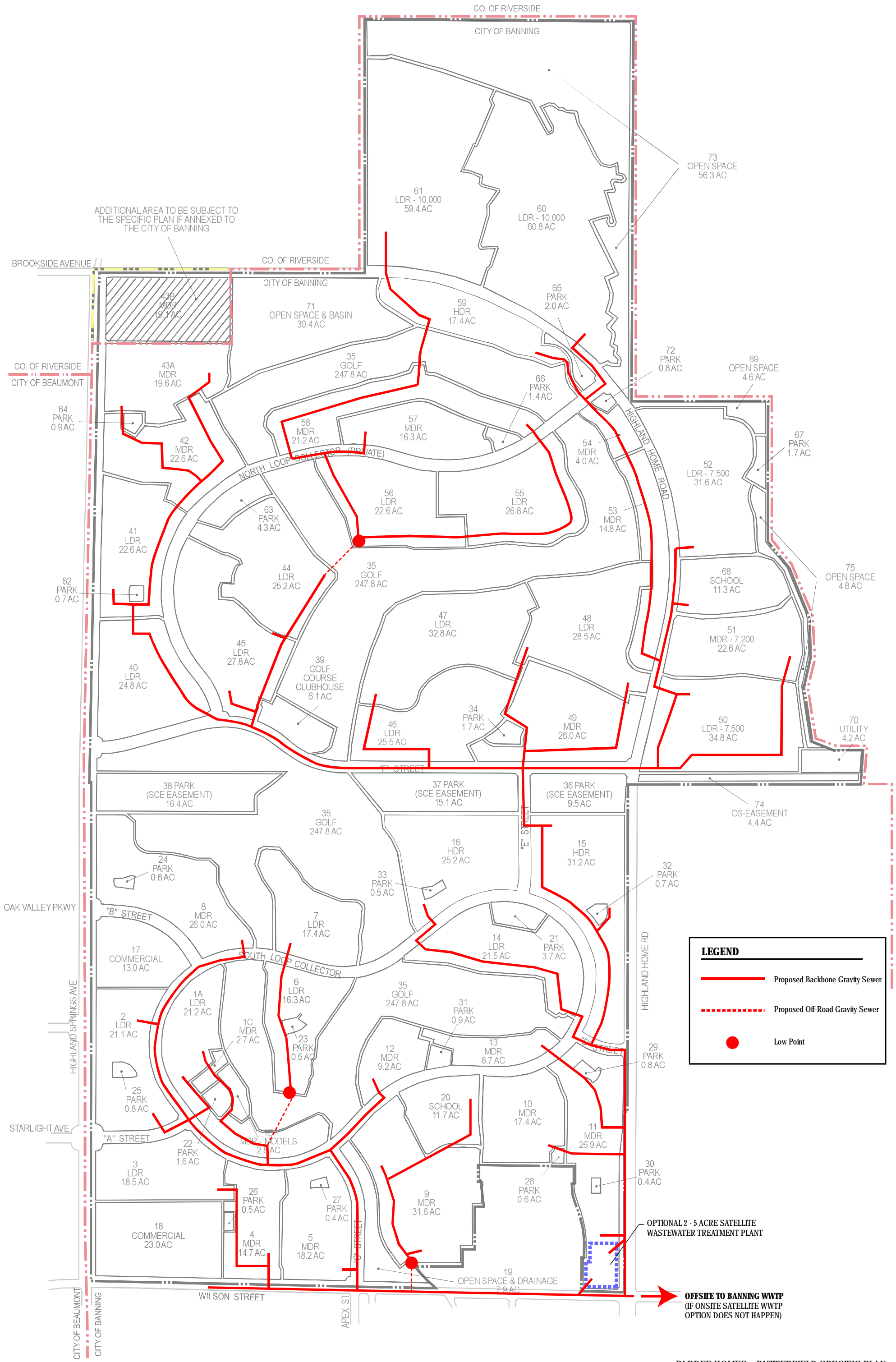
The potential plant would use a membrane bioreactor (MMR) process to treat up to approximately 1.5 to 2.0 million gallons per day on average of wastewater to acceptable recycled water levels. All aspects of the treatment operation would take place in fully enclosed buildings. There would not be any outside ponds or storage facilities. All wastewater not turned into recycled water would be diverted into a proposed off-site sewer that will take these flows to existing city sewers at Ramsey and Omar Streets (see Exhibit 3.11B) where it would flow to the City's main wastewater treatment plant at the southeast end of the City. All buildings on the Project satellite treatment plant site would be fully enclosed, constructed of decorative masonry with residential in appearance roofs. The site would be enclosed by a decorative masonry wall a minimum 6-ft in height with landscaping for screening purposes on the outside perimeter of the wall. All operations and maintenance vehicle parking would be located inside the walled area.

The City could also elect to potentially have existing wastewater flows from existing homes and businesses south of the project and north of the I-10 Freeway and potentially in a limited area to the east be diverted to the plant to provide essential flows necessary to commence its operation and to generate recycled water for irrigation (i.e. to the golf course) prior to on-site uses in the Butterfield project coming online. Diversion may only be temporary, until such time as development of uses on the Butterfield site would generate sufficient flows on its own for operation. A proposed potential sewer lift station would be located at the corner of Ramsey Street and Omar Street for this alternative. New off-site force main sewers within Omar and Wilson Streets or within Ramsey Street and Highland Home Road would also be provided to transport diverted wastewater flows to the satellite plant for treatment. (Refer to Exhibit 3.11B).

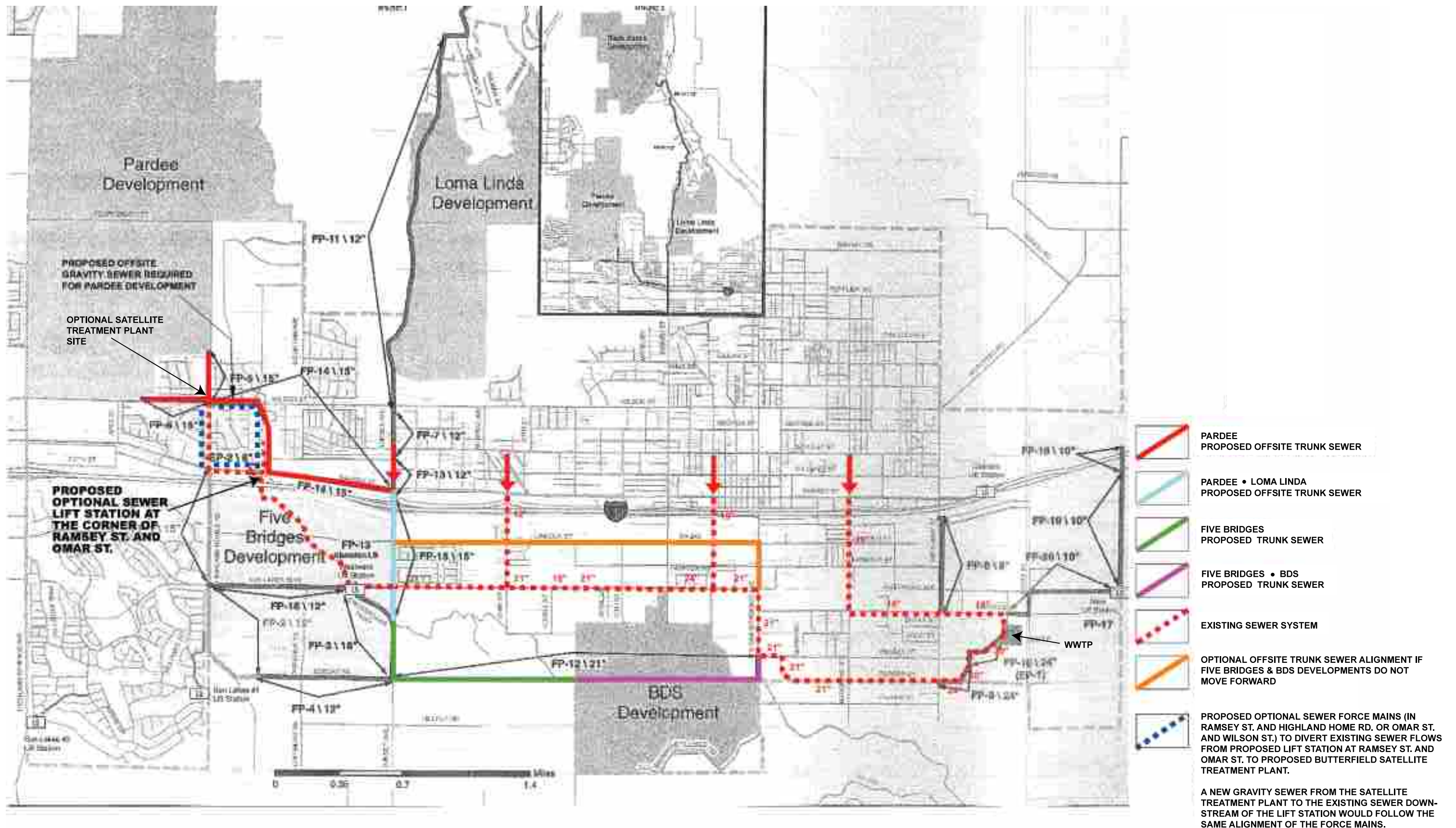
3.5.5 Water and Sewer Standards

1. All water and sewer lines shall be placed underground.
2. Design and installation of water and sewer disposal facilities shall be in accordance with the requirements and specifications of the State Department of Health Services, Riverside County Environmental Health, and the City of Banning.
3. An assessment district or other similar financing mechanism may be developed to manage the development of required infrastructure.
4. Recycled water will be used for irrigation within project parks, common open space areas and within the golf course as it is available from the City.
5. Above ground water tanks/reservoirs shall be buffered from view and nearby residences by berms and/or landscaping. The tanks will be finished with a colored, matte finish intended to allow the tanks to blend into the surrounding hillsides and environment. Access to the tanks will be provided by easements extending from local roads.
6. In addition to potable water infrastructure, the City requires a recycled water system for irrigation purposes. Recycled (non-potable) water lines will follow the same alignments as those for potable water as appropriate.
7. The potential optional onsite satellite wastewater treatment plant site alternative shall be adequately screened on all sides using an appropriate combination of landscape screening and decorative masonry walls. All treatment processes would be contained within an enclosed structure(s) that incorporates residential design features, including roofing materials. The storage reservoir on the treatment plant site would not exceed 26 feet in height and would have a matte, earth-tone exterior finish to allow the reservoir to blend in more into the surrounding neighborhood. All other structures on the site shall not exceed 35 feet in height, similar to the maximum height allowed for residential structures. The City Public Works Director and Community Development Director shall approve all final plans.
8. The potential optional offsite sewer lift station site alternative shall be adequately screened on all sides using an appropriate combination of landscape screening and decorative masonry walls. The City Public Works Director and Community Development Director shall approve all final plans.

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3.6 RECREATION AND OPEN SPACE

This section of the Specific Plan summarizes the recreational assets and opportunities that will be available to Butterfield residents with development of the Specific Plan. Butterfield Specific Plan's community character echoes the active lifestyle represented in its design elements and the natural beauty of the site's surrounding foothills. This environment promises a variety of recreational opportunities, which the Butterfield project will provide.

Recreation is a key lifestyle and design component of the Butterfield Specific Plan. The outdoor lifestyle is an important design concept, one that is supported by residential plan types, the proposed golf course, parks and pedestrian linkages between Butterfield's neighborhoods and by the community's immediate adjacency to the San Bernardino National Forest. This location provides the ideal context for an active outdoor lifestyle and opportunities for residents to enjoy access to trails and close-up mountain views as their backdrop.

The Butterfield Specific Plan incorporates a functional system of recreational land uses that reinforce the area-wide recreation plans of the City of Banning. The basic project-wide components of the proposed Recreation Plan are the proposed golf course, neighborhood-mini parks, neighborhood recreation parks, community parks, natural and landscaped open space, and the basin/lake area in the north part of the project.

3.6.1 Parks Description

Twenty-four (24) park planning areas are proposed within the Butterfield Specific Plan area. These parks are carefully placed within the Butterfield Specific Plan area to serve various residential neighborhood groups. They are tailored to serve the needs of these neighborhoods, and the community at large. The parks within the project site range in size from 0.4 acres to 16.4 acres in area. Mid-sized park of approximately 3-4 acres for residents of the project will be located on Planning Areas 21 and 63. These mid-sized parks are designated as neighborhood recreation parks and could provide specialized facilities such as community swimming pools, buildings for meetings or community functions, restroom facilities, and on-site parking. In addition, if the northwestern portion of the Specific Plan site was used for active-adult use, Planning Area 63 could serve the surrounding residential neighborhood and this specific age group with a community center. Parks and recreation facilities locations are presented in Exhibit 3.12, *Recreation and Open Space Plan*. For a summary of parks and recreation facilities, please refer to Table 3-3, *Recreation and Open Space Plan Summary*. The location of the proposed neighborhood parks can be adjusted and remain in substantial conformance with the intent of this Specific Plan.

**Table 3-3
Recreation and Open Space Plan Summary**

Planning Area	Land Use	Acres	Open Space %
Parks			
21	Neighborhood Recreation Park	3.7	
63	Neighborhood Recreation Park	4.3	
	Subtotal	8.0	1.9%
36	Community Park	9.5	
37	Community Park	15.1	
38	Community Park	16.4	
	Subtotal	41.0	9.6%
22	Neighborhood - Mini Park	1.6	
23	Neighborhood - Mini Park	0.5	
24	Neighborhood - Mini Park	0.6	
25	Neighborhood - Mini Park	0.8	
26	Neighborhood - Mini Park	0.5	
27	Neighborhood - Mini Park	0.4	
28	Neighborhood - Mini Park	0.6	
29	Neighborhood - Mini Park	0.8	
30	Neighborhood - Mini Park	0.4	
31	Neighborhood - Mini Park	0.9	
32	Neighborhood - Mini Park	0.7	
33	Neighborhood - Mini Park	0.5	
34	Neighborhood - Mini Park	1.7	
62	Neighborhood - Mini Park	0.7	
64	Neighborhood - Mini Park	0.9	
65	Neighborhood - Mini Park	2.0	
66	Neighborhood - Mini Park	1.4	
67	Neighborhood - Mini Park	1.7	
72	Neighborhood - Mini Park	0.8	
	Subtotal	17.5	4.1%
	PARKS Subtotal	66.5	15.5%
Golf Course/Drainage/Open Space			
35	Golf Course/Drainage	247.8	
39	Golf Course/Clubhouse	6.1	
	Subtotal	253.9	59.2%
Natural/Landscape/Easement			
69	Open Space/Fuel Mod	4.6	
73	Northerly Open Space	56.3	
74	Landscape Easement	4.4	
75	Open Space/Fuel Mod	4.8	
	Subtotal	70.1	16.3%
Drainage/Open Space			
19	South Channel	7.9	
71	North Basin	30.4	
	Subtotal	38.3	8.9%
	PARKS AND OPEN SPACE Total	428.8	100.0%

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3.6.1.1 NEIGHBORHOOD-MINI PARKS

Planning Areas 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 62, 64, 65, 66, 67 and 72 are neighborhood mini park sites, which will serve residential neighborhoods. These parks are expected to include in various combinations: tot lots with play equipment, play areas, sport courts, shade structures, picnic areas, passive turf play areas, sandboxes, benches and basic related amenities. On the northeastern edge of the project site, Planning Area 67 will contain passive or active park space and could serve as a connection point for wilderness trails. Facilities vary depending on the location, surrounding uses and function of the park. *Typical Neighborhood-Mini Park Concepts*, in Section 4.0, *Development Design Guidelines*, Exhibits 4.8A, 4.8B, 4.8C and 4.8D present concepts typical of how neighborhood mini parks will be implemented. Park Planning Areas 26 and 27 could be eliminated if the surrounding planning areas are developed as the commercial alternative land use as described in Section 3.1.1.

3.6.1.2 NEIGHBORHOOD RECREATION PARKS

Two neighborhood recreation parks are proposed within Planning Areas 21 and 63, on sites of 3.7 and 4.3 acres respectively. They are intended to serve the active and passive recreation needs of nearby residents, serving as a social focus of the neighborhood. These parks will be located within reasonable walking and bicycling distance of Butterfield residents. The proposed neighborhood parks potentially could include features such as half-size basketball courts, volleyball courts, tennis courts, swimming pools, turf play areas, buildings for meeting areas, and other basic related amenities. Restrooms or off-street parking could also be made available. The neighborhood recreation parks will be located on collector roads to facilitate convenient access. In Section 4.0, Exhibit 4.8E *Neighborhood Recreation Park Concepts*, presents a concept typical of how neighborhood recreation parks will be implemented.

3.6.1.3 COMMUNITY PARKS

Larger park sites ranging from 9-16.4 acres in area are proposed in portions of the existing approximately 430-foot-wide SCE easement, including Planning Areas 36, 37 and 38. This property is owned by Pardee Homes and the existing SCE easement does not prohibit park use. The community parks will include uses that can be accommodated without constructing buildings, structures or facilities that would conflict with SCE's use of the easement. The uses proposed within these community parks may include ball fields, sports courts, open play or "tot" lots, parking areas, picnic and barbeque areas, and access or exercise trails (parcourse). Plantings could be concentrated along trails and around utility towers. PA 38 could be developed as a public junior golf course, or there are several other recreational uses that could be implemented. In addition to the uses listed in Section 3.6.1.3 for Community Parks, additional options for PA 38 could include a BMX park, skate park, disc golf, pitch and putt, or even dog parks. Other community agricultural uses have been reserved as development options for PA 38. Please see Section 5.6, *Development Regulations-Active Open Space*, of the Specific Plan for further details.

The design intent of a community park is to serve a wider population and area than the neighborhood parks. In Section 4.0, Exhibit 4.8F, *Community Park Concept*, presents a concept typical of how community easement parks will be implemented.

3.6.1.4 OPEN SPACE

Open space within the Butterfield Specific Plan, in addition to the proposed golf course and parks, includes natural areas, landscaped areas, easements and drainage open spaces. The intent of these areas is to provide improvements to allow for walking, hiking, biking and jogging, as well as visual open space.

The far northern part of the Specific Plan area (Planning Area 73) is designated natural open space area due to rugged terrain and the existence of potential fault hazard areas. A vista point connected to residential areas to the south by a looping trail system could be included within PA 73. The golf course, Planning Area 35, will include landscaped areas woven throughout the project which provide a mixture of landscape themes and materials. Other open space areas will provide in part for fuel modification setbacks (PAs 69 and 75) or for natural or native plant-revegetation and the inclusion of walking paths (PAs 19, 74).

A large multi-purpose basin is proposed at PA 71, where Smith Creek enters the site. This basin will be designed to detain upstream drainage flows and water storage for irrigation and other needs, as well as serve as a passive recreational 8 to 10-acre lake potentially for viewing walking around, fishing or picnicking. An approximate gross total of 428.8 acres (27.8% of the Specific Plan area) is designated as open space, including the golf course and park areas. In Section 4.0, Exhibit 4.8G, *Typical Trail Head at Open Space Edge*, depicts in plan view and section how a typical trailhead might be implemented. Also in Section 4, Exhibits 4.8H and 4.8I, *South Channel and Northern Basin Concept Plans*, provide potential concepts for incorporating recreational areas within PAs 19 and 71.

In addition, the Butterfield project intends to incorporate joint-use of the two school's recreational facilities (PAs 20 and 68) into its recreation plan. Contained within these sites are expected facilities such as ball fields, and playgrounds.

3.6.2 Golf Course and Open Space

3.6.2.1 GOLF COURSE DESCRIPTION

The Butterfield Specific Plan proposes a potential approximate 254-acre golf course open space (PAs 35, & 39) that is located throughout the central portions of the Specific Plan area. The areas designated as golf course and open space on the Specific Plan Land Use Plan may include an 18-hole public golf course as an integral part of the Butterfield Specific Plan community. The golf course areas are designed to take both physical and aesthetic advantages of the site terrain with the re-alignment of Smith Creek that will convey drainage via basins, natural drainage ways, small culverts and unique golf course design. The golf course and open space, in addition to accommodating Smith Creek area drainage, flood control and landscaped project amenities, will also incorporate a potential fault hazard located in northern portions of the golf course open space area.

Exhibit 3.13, *Golf Course Concept Plan*, provides a concept of the golf course's potential implementation. The golf course would help serve the recreational needs of the community. The golf course would include a clubhouse to be located in Planning Area

39. The golf driving range associated with the course is proposed to be located on south side of "F" Street, in and south of a portion of the SCE easement. The driving range would have its own small auto and golf cart parking areas and will have vehicle access off of "F" Street. A golf cart under crossing (tunnel) is to be placed under "F" Street to allow cart access between parts of the course north and south of this street. Depending on future circumstances, other golf cart crossings with project roadways may be at-grade or under crossings. A golf course maintenance yard and building would be located adjacent to the driving range (south of the SCE easement). The maintenance yard shall be enclosed with a decorative masonry wall and cap to screen activities and materials storage within the yard.

Alternative uses of Planning Areas 35 and 39 would include open space with active and passive recreational uses, such as walking or biking trails, parks and native type vegetation landscaping in lieu of a golf course. The availability of adequate water and a course operator will be determining factors as to if a golf course will be developed in the open space and the timing of such.

3.6.2.2 CLUBHOUSE

As a support facility for the public 18-hole golf course, the proposed clubhouse facility on PA 39 (approximately 6 acres) located and accessed off the north side of "F" Street would include a golf operations and administration area, retail pro shop, food and dining services, meeting rooms, banquet facilities, a driving range, and golf cart storage garage. Exhibit 3.14, *Golf Course Clubhouse Concept*, provides a concept of what the golf course's clubhouse would look like. Portions of the clubhouse site are to be devoted to parking. The clubhouse site is also anticipated to include additional enclosed building space for special events, parties and rental purposes. Additional separate full service restaurants and hotels are also considered a permitted use of the clubhouse site, PA 39.

3.6.3 Park Requirements

The Butterfield Specific Plan proposes dedication and development of approximately 428.8 acres of open space to provide active, semi-active and passive uses for various levels of recreational activities for residents and visitors of the project area.

The City of Banning's General Plan requires that residential developers provide a minimum of 5.0 net acres of usable local park area for each prospective 1,000 residents.¹ Furthermore, the City currently uses a factor of 2.7 persons per average dwelling unit.² Based on these assumptions and using the proposed maximum number of dwelling units allowed in the Butterfield project area, the project could be required to provide a minimum of 73 acres of park area.

$$5,387 \text{ DU's} \times 2.7 \text{ persons/household} = 14,545 \div 1,000 = 14.55 \times 5 \text{ acres} = 73 \text{ acres}$$

All proposed recreational and park facilities are subject to review and acceptance by the City for credit towards City park requirements for new development, as addressed in the Project Development Agreement, as amended.

¹ Source: City of Banning General Plan, p. III-95. January, 2006.

² Source: City of Banning Draft Housing Element (Update) of the General Plan, Table III-33, PG. III-12.5, December 2008.

3.6.4 Recreation and Open Space Development Standards

1. Credit against park facility fees shall be granted by the City for all public park land and improvements provided by the developer. These fees shall be paid or facilities provided in lieu of fees for each dwelling unit constructed within the Specific Plan.
2. In order to discharge maintenance responsibilities for the parks, trails, and open space areas within the Butterfield Specific Plan pursuant to Section 3.7.3 of this Specific Plan, maintenance services, private parks and open spaces shall be provided through a Homeowner's Association to be established that will contract with a qualified maintenance services provider.
3. The Butterfield development shall comply with City of Banning Parks and Recreation Master Plan and other related regulations and ordinances regarding local parks facilities. An amended Development Agreement with the City shall establish the fees to be paid and developed park lands to be dedicated in lieu of fees within the Specific Plan.
4. Landscaping of parks and open space areas within Butterfield shall comply with the general standards of Section 4.0, *Development Design Guidelines*, and Section 5.0, *Development Regulations*, of this Butterfield Specific Plan document.
5. A public city community center is permitted or conditionally permitted use in all Specific Plan planning areas with the exception of PA's 19, 36, 37, 38, 69, 71, 73, 74 and 75 pursuant to the regulations set forth in Section 5.0 of this Specific Plan. The provision and development of a city public community center in this Specific Plan is also subject to the provisions of the project Development Agreement, as amended.
6. No permanent structures shall be permitted within the Southern California Edison (SCE) transmission line easements within the Specific Plan area. The SCE easements are also not appropriate areas for groundwater recharge facilities, storm water retention facilities, or as environmental mitigation areas.
7. Subsequent more detailed development plans when prepared and involving areas in and immediately adjacent to the SCE easements within the Specific Plan area shall be reviewed by SCE as part of the review process with the City.

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LEGEND

- ① PARKING LOT
- ② CLUB HOUSE
- ③ CART BARN
- ④ CART PATH



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3.7 PUBLIC SERVICES AND PROJECT PHASING PLAN

3.7.1 Public Services and Utilities

Various public and municipal services and utilities will be associated with the development of the planning areas composing the Butterfield Specific Plan area. Below are descriptions of these services and utilities.

Fire Protection Services. Fire protection services are provided to the City through a contractual agreement with the Riverside County Fire Department, which in turn contracts with the California Department of Forestry. The contract provides various fire related services, including emergency medical services, fire prevention, disaster preparedness, fire safety inspections, hazardous materials business plan programs and plan reviews. A potential 1.6 acre fire station site has been identified at the southeast corner of PA 60 in the Specific Plan area and will be reserved for that use if the City determines that an additional station is needed and this location is appropriate. A fire station site is designated as a permitted use in other planning areas of the Specific Plan. See Section 5.0 for fire Station listings as a permitted use in other planning areas.

Law Enforcement Services. Policy protection services within City limits are provided by the Banning Police Department. The City has historically maintained a goal of 1.8 police officers per 1,000 residents. Currently, the City maintains a ratio of 1.4 sworn officers for every 1,000 residents. The Riverside County Sheriff's Department provides police protection services to the City's Sphere of Influence and Planning area.

School Services. The majority of the site is in the Beaumont Unified School District (Beaumont USD), a kindergarten through 12th grade public education district. The Beaumont USD has just recently built two new elementary schools just east of Highland Springs Avenue in the Sundance development. One additional elementary school sites and a middle school site have also been set aside and reserved in the Sundance development. The portion of the Butterfield Specific Plan area east of the northerly extension of Highland Home Road is in the Banning Unified School District.

The Banning Unified School District (Banning USD) provides kindergarten through 12th grade public education services to most of the City of Banning. In 2004, Banning USD schools enrolled an average of 4,700 students in eight schools and an independent study home schooling program. There are four elementary schools, two middle schools, one high school, and one continuation school in the District. The District has been averaging an approximately 5 percent annual growth rate in enrollment, and has maintained a student-teacher ratio of 20-1 in Kindergarten through 3rd grade levels. All of the District's schools are operating at or beyond capacity, and many use temporary, portable buildings for additional classroom space.

A school site for Beaumont USD is proposed within Planning Area 20 of the Butterfield Specific Plan. A school site for Banning USD is proposed within Planning Area 68. Additional school sites are permitted in the Specific Plan area pursuant to State and District location requirements and shall be designated if requested by the School Districts.

Library Services. The main 9,573 square-foot Banning Public Library, located at 21 W. Nicolet Street, together with its 1,300 sq. ft. Cabazon branch, own approximately 76,000 volumes of books. The library participates in the Inland Library System, an-eighteen

member cooperative of independent public libraries in Riverside, San Bernardino and Inyo Counties. The library provides internet access, ESL and adult literary classes, and a range of children's services and materials. The main branch has an extensive collection of historical documents and photographs.

Health Services. San Gorgonio Memorial Hospital, located at 600 North Highland Springs Avenue, provides medical services to the City of Banning. The 85,000 sq. ft. hospital, which opened in 1951, is licensed for 70 beds. The hospital started as a state district hospital, funded by a percentage of property tax from local residents within the hospital district. It is one of the only four non-profit hospitals in Riverside County. It provides general medical-surgical case, intensive care, emergency care, obstetrics, in and outpatient surgery, and a range of ambulatory services including physical therapy and cardiac rehabilitation. Staffing includes the only round-the-clock board certified emergency physicians in the Banning area. The single-story hospital acute care facilities currently meet State-mandated hospital seismic safety requirements.

The hospital recently (2004) opened a 1,500 sq. ft. state-of-the-art Women's Center that provides birthing, diagnostic, surgical and preventative medicine services. The hospital has also launched a \$6 million capital campaign to fund expansion of the Intensive Care Unit (ICU). The expanded ICU is expected to be operational within three years.

Waste Disposal. The waste hauler currently serving the City of Banning is Waste Management of the Inland Empire through a contract with the City of Banning. Waste Management of the Inland Empire will collect and transport the waste from the project to a County landfill. The Lamb Canyon Landfill is located between the City of Beaumont and City of San Jacinto at 16411 Lamb Canyon Road (State Route 79), south of Interstate 10 and north of Highway 74. The landfill is owned and operated by Riverside County. The landfill encompasses approximately 1,088 acres, of which 144.6 acres are permitted for waste disposal. The landfill is currently permitted to receive 3,000 tons of refuse per day and has a remaining disposal capacity of approximately 13.330 million tons, as of November 6, 2002. As of January 1, 2006, the landfill had a total remaining capacity of 12.338 million tons. The current landfill remaining disposal capacity is estimated to last, at a minimum, until approximately 2016. Landfill expansion potential exists at the Lamb Canyon Landfill site. Development within the Specific Plan must comply with City requirements for recycling waste.

Water Service. The City of Banning Water Utility Department provides domestic water services to the City. The various storage units of the San Gorgonio Pass groundwater basins serve as the main water source for the City of Banning. The City owns and operates wells, reservoirs, and a distribution line system to deliver domestic water in the service area. The City of Banning also has plans to upgrade their treatment at their wastewater treatment plant in order to provide recycled water for irrigation purposes. See Section 3.5 of the Specific Plan for a further discussion on water services.

Sewer Service. Sanitary wastewater (sewer) services are provided by the City of Banning Wastewater Utility. The City contracts with United Waters Services for the operation and maintenance of the water reclamation plant. The plant receives an average flow of approximately 2.5 million gallons-per-day. The plant has secondary treatment capacity design to 3.6 million gallons-per-day, including the plant headworks, which could accommodate future capacity to approximately 7.8 million gallons-per-day.

Collected wastewater is transported by sewer main lines of 8, 10, 15, and 18 inches in diameter, which are connected to trunk lines. The trunk lines, ranging from 18 to 30 inches in diameter, convey wastewater to the plant. Trunk lines are located within the City major public right-of-ways. See Section 3.5, *Water, Recycled Water and Sewer Services Plan*, of the Specific Plan for a further discussion of wastewater services.

Sewer services are provided to the City and also to the unincorporated Riverside County lands surrounding the southeastern portion of the City of Banning.

Electricity. The City of Banning Electric Utility Department provides electric services and facilities to the City. SCE maintains two easements totaling 430-feet in width running east/west through the middle of the project site, which contains up to 220kV power utility lines and towers. The City of Banning Electric Utility Department procures the majority of its electricity through contracts with the Southern California Public Power Authority. The Department has a combined total of 26 megawatts of capacity, which covers the bulk of its power requirements.

The Butterfield Specific Plan sets aside Planning Area 70 on the east side of the project area as a 4.2 acre electrical substation site for use by the City of Banning's Electrical Utility Department. The substation site is located immediately north of the existing Edison transmission lines (easement), which will allow the City to pull power from these lines and distribute to the Butterfield Specific Plan and other parts of the City. Electrical lines serving the Specific Plan area, including lines coming from the substation to serve the Specific Plan area, shall be placed underground, when feasible as required by the City.

Natural Gas. Natural gas services and facilities are supplied to the City by the Southern California Gas Company. Natural gas supplies originate from out of state, imported from Texas, and transported by two major east-west trending gas lines, including a line across the Butterfield Specific Plan site.

Telephone. The project area is within the service area of Verizon. Verizon maintains telephone service to the north, south and west of the Butterfield Specific Plan area. No service is currently provided to the site in its current undeveloped condition.

Cable. Time Warner Cable serves the project area for cable television services.

3.7.2 Project Phasing

Five main phases of the Butterfield project have been identified in Exhibit 3.15, *Conceptual Phasing Plan*. Each major phase is anticipated to correspond to a stage of development within the Specific Plan area. Construction of the Butterfield Specific Plan in its entirety is expected to occur over a thirty year period, with potentially 180 dwelling units on average to be developed per year. The numbering of the major phases do not necessarily indicate the order of their development. The sequences in which each major part will be developed is influenced by market conditions, as well as when appropriate levels of infrastructure and required improvements related to the project are provided. Individual stages of development may overlap or occur concurrently. A detailed summary of the components of each major project area is provided in Table 3-4, and is depicted graphically in Exhibit 3.15.

Project Phase I

Major Project Phase 1 consists of potential subparts for the purpose of sequencing project improvements or of further staging development. Improvements will include Planning Area 71's north basin for flood control and SWP/recycled water storage, the grading and realignment of Smith Creek to provide for flood control.

Within Project Phase I, the Specific Plan site will be mass graded, including the golf course open space and planning areas within the southwestern corner of the Specific Plan will be developed. These planning areas include PAs 1A, 1B, 1C, 2 through 8, 17 through 19, 22 through 27, 38, and 71. A detention basin will be constructed in Planning Area 71 where Smith Creek enters the Specific Plan area, and the creek's course will be realigned in the golf course. Drainage improvements within PA 19 will be built to safely transmit accumulated upstream- and project-originated drainage flows to the existing Smith Creek Channel south of Butterfield Specific Plan and south of Wilson Street.

Alternative uses of Planning Areas 35 and 39 may include open space with active and passive recreational uses, such as walking or biking trails, parks and native type vegetation landscaping in lieu of a golf course. The availability of adequate water and a course operator will be determining factors as to if a golf course will be developed in the open space and the timing of such. The satellite wastewater treatment plant proposed as an alternative could be constructed in this phase.

Those project entry roadways extending from the South Loop Road to the west and south will be constructed. Also, "F" Street adjacent to the golf course, as well as the project adjacent portions of Highland Springs Avenue (south of "F" Street) and Wilson Street west of "C" Street will be built.

Project Phase II

Within Project Phase II, the planning areas within the southeastern corner of the Specific Plan will be developed. These planning areas include PAs 9 through 16, 20, 21, 28 through 33, 36 and 37.

The South Loop Collector Road's eastern half will be completed as needed with this phase. The project entry roadways extending northward and eastward from the South Loop Road will be constructed. Also, the remaining extent of "F" Street from the golf course edge to Highland Home Avenue as well as the project adjacent portion of Highland Home Avenue south of "F" Street will be built.

Project Phase III

Within Project Phase III, the remaining planning areas between Brookside Avenue / Highland Home Avenue and "F" Street (within the northwestern corner of the Specific Plan) will be developed. These planning areas include PAs 34, 40 through 42, 43A, 43B, 44 through 49, 53 through 59, 62 through 66, and 72.

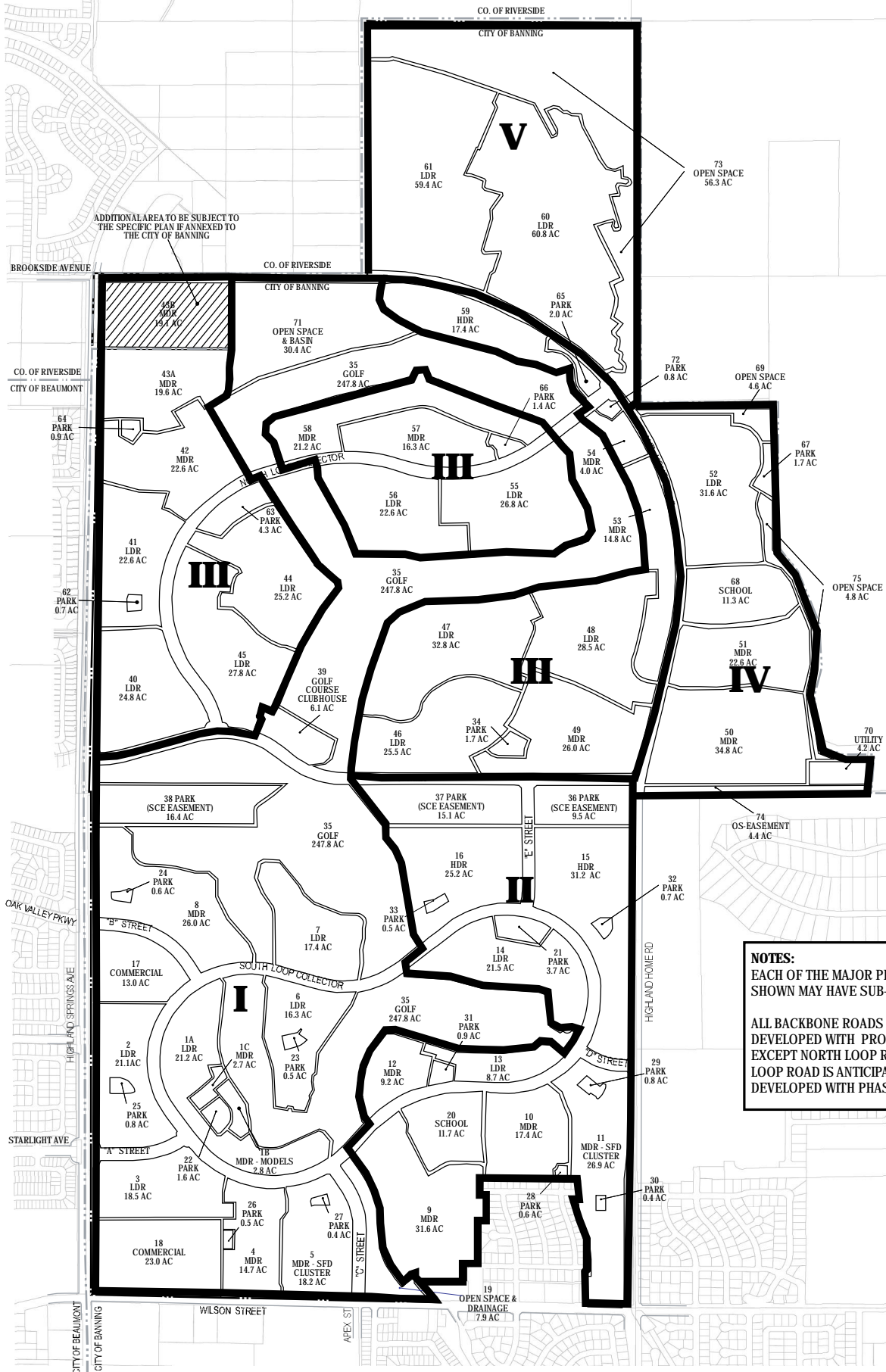
The entirety of the North Loop Road will be built; this roadway could be private with an entry gate at each end. The project adjacent portions of Highland Springs Avenue (north of "F" Street) and of Brookside Avenue / Highland Home Avenue (north of "F" Street and east of Highland Springs Avenue) will also be constructed.

**Table 3-4
Butterfield Specific Plan Summary of Major Project Phases**

Planning Areas	Land Use	Gross Acres	Dwelling Units	Average Gross Density (DU/AC)
PROJECT PHASE I				
1A	LDR	21.2	91	4.3
1B	MDR (Model Site)	2.8	10	3.6
1C	MDR	2.7	13	4.8
2	LDR	21.1	86	4.1
3	LDR	18.5	78	4.2
4	MDR	14.7	78	5.3
5	MDR	18.2	183	10.0
6	LDR	16.3	81	5.0
7	LDR	17.4	77	4.4
8	MDR	26.0	133	5.1
17	Commercial Parcel	13.0		
18	Commercial Parcel	23.0		
19	South Channel	7.9		
22	Neighborhood-Mini Park	1.6		
23	Neighborhood-Mini Park	0.5		
24	Neighborhood-Mini Park	0.6		
25	Neighborhood-Mini Park	0.8		
26	Neighborhood-Mini Park	0.5		
27	Neighborhood-Mini Park	0.4		
35	Golf Course/OS/ Drainage-Grading	247.8		
38	Park Site/Easement	16.4		
39	Golf Course/OS-Grading	6.1		
71	North Basin	30.4		
ROW	Backbone Roads	93.9		
Subtotal		601.8	830	
PROJECT PHASE II				
9	MDR	31.6	185	5.9
10	MDR	17.4	139	8.0
11	MDR	26.9	252	9.4
12	MDR	9.2	49	5.3
13	MDR	8.7	69	7.9
14	LDR	21.5	94	4.4
15	HDR	31.2	512	16.4
16	HDR	25.2	413	16.4
20	Beaumont U.S.D. School Site	11.7		
21	Neighborhood Recreation Park	3.7		
28	Neighborhood-Mini Park	0.6		
29	Neighborhood-Mini Park	0.8		
30	Neighborhood-Mini Park	0.4		
31	Neighborhood-Mini Park	0.9		
32	Neighborhood-Mini Park	0.7		
33	Neighborhood-Mini Park	0.5		
36	Community Park	9.5		
37	Community Park	15.1		
Subtotal		215.6	1,713	

Table 3-4 (continued)
Butterfield Specific Plan Summary of Major Project Phases

PROJECT PHASE III				
34	Neighborhood-Mini Park	1.7		
40	LDR	24.8	98	4.0
41	LDR	22.6	100	4.4
42	MDR	22.6	116	5.1
43A	MDR	19.6	104	5.3
43B	MDR	19.1	113	5.9
44	LDR	25.2	122	4.8
45	LDR	27.8	113	4.1
46	LDR	25.5	105	4.1
47	LDR	32.8	160	4.9
48	LDR	28.5	108	3.8
49	MDR	26.0	129	5.0
53	MDR	14.8	80	5.4
54	MDR	4.0	20	5.0
55	LDR	26.8	126	4.7
56	LDR	22.6	83	3.7
57	MDR	16.3	63	3.9
58	MDR	21.2	122	5.8
59	HDR	17.4	280	16.1
62	Neighborhood-Mini Park	0.7		
63	Neighborhood Recreation Park	4.3		
64	Neighborhood-Mini Park	0.9		
65	Neighborhood-Mini Park	2.0		
66	Neighborhood-Mini Park	1.4		
72	Neighborhood-Mini Park	0.8		
ROW	N Loop Backbone Roads	19.7		
Subtotal		429	2,042	
PROJECT PHASE IV				
50	LDR -7500	34.8	159	4.6
51	MDR - 7200	22.6	102	4.5
52	LDR - 7500	31.6	129	4.1
67	Neighborhood-Mini Park	1.7		
68	Banning U.S.D. School Site	11.3		
69	Open Space/Fuel Mod	4.6		
70	Utility Substation	4.2		
74	Landscape Easement	4.4		
75	Open Space/Fuel Mod	4.8		
Subtotal		120	390	
PROJECT PHASE V				
60	LDR - 10000	60.8	205	3.4
61	LDR - 10000	59.4	207	3.5
73	Northerly Open Space	56.3		
Subtotal		177	412	
Total		1,543	5,387	



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Project Phase IV

Within Project Phase IV, the planning areas to the east of Highland Home Avenue will be developed. These planning areas include PAs 50 through 52, 67 through 70, and 74.

Project Phase V

Within Project Phase V's area of development, the planning areas north of Brookside Avenue (within the northernmost extent of the Specific Plan) will be developed. These planning areas include PAs 60, 61 and 73.

3.7.3 Community Facilities Financing and Maintenance

The financing and maintenance of improvements for the Butterfield Specific Plan includes both public and private sources. Table 3-5, *Financing & Maintenance*, outlines the anticipated responsibilities for financing and maintenance of improvements within the Butterfield Specific Plan.

**Table 3-5
Butterfield Specific Plan
Financing and Maintenance Responsible Parties**

IMPROVEMENT	FINANCING	LONG TERM MAINTENANCE
Water System	Developer / CFD	City of Banning
Sewer System	Developer / CFD	City of Banning
Drainage System	Developer / CFD	Homeowners Association (HOA), Golf Course operator, with City of Banning oversight
Public Street Improvements – Brookside Avenue / Highland Home Avenue Highland Springs Avenue Wilson Street Public Collector Streets Public Local Streets	Developer / CFD	City of Banning
Trails (including proposed decomposed granite trails within or adjacent to public street right of ways)	Developer	HOA
Private Internal Streets and Drives	Developer	HOA
Landscaping Public Right-of-Way	Developer	City of Banning oversight Landscape Lighting and Maintenance Dist. (LLMD) / HOA
Private slopes	Developer	HOA
Open Space-Golf Course/Drainage	Developer	HOA/Golf Course Operator
Open Space-Natural/Landscape/Easement	Developer	HOA
Open Space-Drainage	Developer	HOA/City of Banning oversight
Fuel Modification Zones	Developer	HOA
Parks	Developer	Public Parks: City of Banning; Private Parks: HOA
Smith Creek Drainage in Golf Course	Developer	Golf Course Operator

The City of Banning shall maintain improvements that are publicly dedicated and accepted for maintenance, including street improvements to Highland Springs Avenue, Brookside Avenue / Highland Home Avenue, Wilson Street and other streets within the Specific Plan area, also water, sewer and certain storm drain improvements. Landscape improvements on publicly dedicated streets and creek/resource open space areas may be annexed or otherwise included in a City of Banning Lighting and Landscape Maintenance District (LLMD). Construction financing of major infrastructure improvements is intended to include as an option the use of Community Facilities District(s) (CFD), Assessment Districts, or Road and Bridge Benefit Districts (RBBD) as formed through the City of Banning.

A Homeowners Association (HOA) shall maintain improvements that will not to be publicly dedicated, including private project roadways, street lighting improvements along private project roadways, active and passive private open space areas, private drainage facilities and utilities, as well as some landscaping improvements within public right of ways.

3.7.4 Public Services and Project Phasing Standards

1. Prior to approval of grading plans and final subdivision map, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract shall be submitted to the City of Banning's Community Development Department for approval as may be required. The improvement plans may include:
 - Final Grading Plan
 - Irrigation Plans (certified by a landscape architect)
 - Fence Treatment Plans
 - Special Treatment/buffer Area Treatment Plans
 - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
2. Each Planning Area, if applicable, shall include development of adjacent common open space area, landscape development zones, and applicable infrastructure.
3. Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages in any order of the major project phases, provided vehicular access, public facilities, and infrastructure are constructed to adequately service the development or as needed for public health and safety in each part of the development and further provided that such part of the development conforms substantially with the intent and purpose of the Specific Plan.
4. Major project phases as identified within this Specific Plan may be further divided into sub-parts as appropriate to provide for coordination of infrastructure improvements and development of the Butterfield project. The numbering of development project phases herein does not denote any specific sequence of development progression. Major project phases or sub-parts consistent with Exhibit 3.15 or Table 3-4 may be developed out of the numbering sequence, provided that the required infrastructure and services are available at the time of development.
5. The development of community parks shall include such uses and activities that are not restricted by the Southern California Edison utility easements. The community

- parks shall be completed in conjunction with development of Project Phases 1 and 2, pursuant to the phasing and Development Standards set forth in Sections 3.7 and 4.0 of this Specific Plan for Planning Areas 36, 37 and 38.
6. The development of neighborhood-mini parks and neighborhood recreation parks adjacent to residential planning areas to be served by such parks shall be completed in conjunction with the project phase of the development within which the park is to be located, and pursuant to the Development Standards and timing set forth in Section 3.7 and 4.0 of this Specific Plan.
 7. The circulation system shall be implemented concurrently with each associated project phase of the development.
 8. The school sites designated in the Butterfield Specific Plan will be dedicated after final tract map recordation in each project phase of the development pursuant to executed agreements with the applicable school districts. The construction of the school facilities will be governed by the appropriate school district.
 9. Should the appropriate school district elect not to acquire and use Planning Areas 20 or 68 for public school purposes, single-family residential development may be substituted with a density of up to 10 dwelling units per acre as long as a total of 5,387 dwelling units are not exceeded within the Specific Plan area.
 10. Electrical lines serving the Specific Plan area, including lines coming from the substation to serve the Specific Plan area, shall be placed underground, when feasible as required by the City.
 11. A maintenance easement shall be recorded over areas designated as required fuel modification zones within private lots adjacent to wildland fire hazard areas that would allow the master homeowners association or maintenance district to enter the property to ensure adequate and uniform maintenance of fuel modification zones.

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4.0 DEVELOPMENT DESIGN GUIDELINES

4.1 INTRODUCTION

4.1.1 Purpose of the Guidelines

The purpose of the Design Guidelines is to provide guidance to implement the vision of the Butterfield Specific Plan. They are intended to provide an overall framework for future development and to achieve a sense of community identity, character, scale, and sensitivity. These guidelines are intended to provide the means to protect and maintain the long-term quality and value of the community. Accordingly, the Design Guidelines apply to all residential, commercial, and landscape construction within Butterfield.

4.1.2 Organization

These Design Guidelines are organized to blend architecture and landscape themes together for an overview of community vision and character. A portion of these Design Guidelines emphasize architectural guidelines and criteria to which all residential builders must comply in order to build within Butterfield. This includes builder requirements for each architectural style as well as design guidelines specific to non-residential development. Other portions of these Design Guidelines focus on guidelines for landscape architecture with requirements for all aspects of the community.

4.1.3 Other Controlling Criteria

These Design Guidelines supplement rather than supersede any Specific Plan requirements, applicable codes and standards from the City of Banning, Riverside County and the State of California and all applicable Building and Safety Codes.

The design criteria are subject to interpretation by the Master Developer and the City of Banning. To be consistent with the overall vision for Butterfield, the Design Guidelines may be amended or expanded to meet specific site or functional requirements of the property within the community.

4.1.4 Responsibility of Review

Neither the Master Developer nor the Butterfield Design Review Committee (DRC), as may be established by the Master Developer, assumes responsibility for plan review of local codes or ordinances. The Master Developer's Design Review is not for jurisdictional processing, but to ensure that each project meets the vision of Butterfield and complies with the requirements of these Design Guidelines. All projects within Butterfield require review and approval by the Master Developer prior to submittal to the applicable public agencies.

The City of Banning requires design review of all development proposals pursuant to the requirements of the Banning zoning ordinance (see Section 6.2 *Administration and Implementation*, of this Specific Plan). City of Banning design review will be conducted through the Planning and Building Divisions.

4.2 COMMUNITY CHARACTER

The new community of Butterfield is to be predominately residential, comprised of architecturally designed single-family, detached homes. Neighborhood parks, public golf course with club house facilities, community parks, schools, open spaces, retail and commercial parcels are also integrated into the community. The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment.

The land itself offers a dynamic setting that transitions from flatland to foothill to the San Bernardino Mountains – all within view of Butterfield residents. The golf course plan neatly encompasses natural drainage paths and provides a central organization of open spaces within the community. Community landscapes, parks and open spaces include the golf course, with waving grasses and wildflowers edging community areas and select specimen trees providing landmark entries to the community.

The community landscape concept combines the existing natural character of the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls and other similar features and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species. Butterfield's high profile areas such as monumentation, parks, golf course facilities and other community facilities will be highlighted and reinforce the California ranch theme.

The outdoor lifestyle is an important design concept, supported by residential plan types, the golf course, parks and pedestrian connections linking Butterfield's neighborhoods and by the community's immediate adjacency to the San Bernardino Mountains. This location provides the ideal setting for an active outdoor lifestyle and opportunities for residents to enjoy access to trails and close-up mountain views as their backdrop.

4.3 COMMUNITY DESIGN

The Design Guidelines for Butterfield are intended to facilitate the creation of diverse and varied streetscapes while also maintaining a cohesive sense of place. The architecture and landscapes within Butterfield are intended to be compatible with the surrounding environmental character. Design elements and landscape will consist of harmonious styles, forms, massing, color, materials, orientation and rooflines. This section contains requirements for architecture and landscapes within the overall Butterfield community.

4.3.1 Community Color and Materials

Colors and materials help to enhance visual variety in the community by providing texture, richness and relief in all elements of design. Thoughtful selection can often highlight and enhance even the simplest elements. An appropriate color palette for the Butterfield community includes natural, earthy tones that have a strong compatibility with the California ranch theme. In addition, the following guidelines should be followed:

- Colors and materials should support the overall community character and the style of the architecture

- Building wall and roof colors and materials should be coordinated.
- Style appropriate color and materials' palettes are encouraged.

4.3.2 Community Landscape

The following landscape elements shall be provided and installed in each neighborhood by the developer/builder:

- Street trees
- Interior slope landscaping & irrigation
- Block-end walls
- Side yard, rear yard and return fences
- Tubular steel fences

Landscape/irrigation plans for entry treatments, streetscape, interior slopes, parks, recreation areas, and detention basins shall be approved by the City of Banning.

All plantings within the Butterfield Community shall be selected from the Butterfield Plant Palette in this document as provided in Section 4.6.2, *Neighborhood Plant List*, the proposed plant palette on Exhibit 4.9A, *Specific Plan Golf Course Conceptual Landscape Plan*, the street trees on Exhibit 4.10, *Street Tree Master Plan*, and any additional mitigation area plant palette that may be determined by a federal or state resource agency. In addition, the use of quality artificial turf is considered acceptable as a water conservation design consideration.

Street tree size should be a minimum 15-gallon and at least 50 percent of all street trees should be a minimum 24-inch box size. Species and variety to conform to an approved street tree plan.

Prior to Tentative Tract Map approval, a Conceptual Landscape Plan shall be prepared by a licensed landscape architect that demonstrates the following to the satisfaction of the City of Banning Community Development Director (final landscape improvement plans will be submitted as part of the building permit and/or infrastructure improvement plan review and approval process):

- Landscaping that complies with the General Plan, Specific Plan, and other relevant City of Banning regulations, ordinances, policies and procedures.
- The use of native or drought-tolerant species where practical, proposed plants and palette, size and placement of plants, and irrigation requirements and the landscape guidelines contained in the proposed Specific Plan.
- Development edges are to be landscaped so as to minimize aesthetic impacts by providing appropriate landscaping where possible to screen the views of structures when viewed from lower elevations and adjacent properties; landscape materials may be used in conjunction with berming to accomplish this objective; and in transition areas where native undisturbed vegetation meets a development area, only those species similar to existing native vegetation must be used.
- Landscaping must consider applicable fuel modification zone requirements, including provision for interim and/or permanent irrigation where warranted.

- The density of landscape screening shall be varied, depending upon the visual character of a proposed development; low-density residential projects that convey a rural character shall be featured and views to these areas from streets shall be maintained; landscape shall be subject to review and approval of the City Fire Chief and the Community Development Director.

4.3.3 Community Entries and Monumentation

A main community identification monument, including landscaping and low, stone walls, is planned for the project corner at Highland Springs Avenue and Wilson Avenue. See Exhibit 4.2, *Corner Monument Concept Plan View and Elevation, Highland Springs Avenue and Wilson Street*.

A landscape theme of water features, stone walls, and shade trees flows throughout the community of Butterfield as one enters the project through numerous entry streets that range in prominence from a primary entry and secondary entries, to neighborhood and other various entries encountered throughout Butterfield. These entries and monumentation unify the Butterfield landscape theme. See Exhibit 4.1, *Community Entry Monumentation Locations*.

The primary community entry will be located internally on 'A' Street and the Southern Loop Collector Street. This entry is to include further enhanced landscaping, water feature(s), monumentation, architectural features and community identification signage. See Exhibit 4.3, *Primary Entry Landscape Concept Elevation*.

Secondary community entries are to be located on 'B', 'C', 'D' and 'F' Streets. These secondary entries will also include enhanced landscaping, monumentation and community identification signage. Refer to Exhibit 4.4, *Secondary Entry Landscape Concept Elevation*.

Several neighborhood entries are proposed throughout the entire Butterfield community. The neighborhood entries will include a low stone wall with an area for signage that is consistent with elements and landscape theme in the primary and secondary entries. Also, enhanced landscaping will be provided in areas surrounding the stone wall monumentation. See Exhibits 4.5A – 4.5D, *Neighborhood Entry Landscape Concepts*.

This Specific Plan allows for a private gated community as a use within the Butterfield Specific Plan area. If it is decided that a private gated community will be provided within the Butterfield Specific Plan area, the entry to the gated community will be themed and landscaped to be consistent with the other entries throughout the Butterfield community. The gated entry may include water features, stone wall monumentation, enhanced landscaping and a raised landscaped median. See Exhibits 4.6A and 4.6B, *Typical Gated Community Entry Concepts*.

Any commercial entries within the Butterfield community will be consistent with the landscape theme that is proposed throughout the Butterfield Specific Plan area. See Exhibit 4.7, *Commercial Site Entry Concepts*.

4.3.4 Parks and Open Space

4.3.4.1 NEIGHBORHOOD MINI PARKS

Parks within the Butterfield community are to serve as community gathering areas and provide active and passive recreational opportunities for residents. Programming for neighborhood mini parks may include a varied combination of, tot lots with play equipment, picnic areas, open lawns and turf, shade structures, bbq pits, drinking fountains, shade trees, landscaping and extended pathways from sidewalks into play areas. See Exhibits 4.8A – 4.8D, *Typical Neighborhood Mini Park Concepts*.

4.3.4.2 NEIGHBORHOOD RECREATION PARKS

Community recreation parks are planned for the Butterfield community. The facilities are centrally located and are accessible through a pedestrian system of walkways and paths as well as the local vehicular circulation. The program for the facility could allow for a larger neighborhood park or a recreation facility that may include off street parking, pool, spa, restroom building, picnic facilities, enhanced landscaping, open turf areas, and buildings for community meetings areas. See Exhibit 4.8E, *Neighborhood Recreation Park Concept*.

4.3.4.3 COMMUNITY PARK

Community parks with sports facilities are proposed to be located within the SCE easement along the southern portion of 'F' Street. The community parks are located within the center of the Butterfield Specific Plan area and can be accessed via pedestrian walkways as well as local vehicular circulation. The program for the community parks may include soccer fields, ball courts, shade structures and seating areas. Off-street parking will be provided within the community parks area that could also accommodate overflow parking for a nearby recreation center. See Exhibit 4.8F, *Community Park Concept*.

4.3.5 Golf Course

A public golf course is proposed as a central recreation and open space element in the Butterfield Specific Plan. Landscaping within the golf course will contain various elements including typical ornamental golf course landscaping and native, natural re-vegetated landscaping near drainage areas and at other appropriate locations. A detailed golf course landscape plan concept is provided on Exhibit 4.9A, *Specific Plan Golf Course Conceptual Landscape Plan*. See Exhibits 4.9B and 4.9C for conceptual illustrated views of portions of the proposed golf course and surrounding development.

The golf course will include a club house facility and off street parking areas that will have a landscaped entry with a raised landscaped median and enhanced landscaping to screen parking areas as well as compliment the club house facility building. The entry to the club house will be consistent with the Butterfield entry landscaping and monumentation throughout the Specific Plan area. See Exhibit 3.14, *Golf Course Club House Concept Plan View and Elevation*.

4.3.6 Other Open Space and Recreational Activities

Other open spaces within the Butterfield community include a lake or storage basin, trails, natural areas, landscaped areas, easements and drainage open spaces.

There is an existing hiking trail system in the foothills north of the Butterfield Specific Plan area. Access to this trail system will be provided at trail head locations throughout the Butterfield Specific Plan area. Low stone wall monumentation, canopy trees and a way finding station will be provided at the trail head locations. See Exhibit 4.8G, *Typical Trail Head at Open Space Edge*. Also, see Exhibit 3.4, *Backbone Pedestrian Circulation Plan* for trail head locations.

Planning Area 19 is the Smith Creek Channel continuation at the south end of the specific plan area and will include a trail that will provide access to the Butterfield community and Wilson Street. The majority of the plant materials surrounding the drainage feature and trail are to be native vegetation. Street trees, small shrubs and turf may be planted within the landscape parkway areas of 'C' Street, adjacent to PA 19. See Exhibit 4.8H, *Planning Area 19 South Channel Landscape Concept Plan*.

Planning Area 71 with a water storage basin is proposed to be used for some recreational uses. The majority of the plant materials surrounding the basin area are to be native vegetation. There may be some ornamental landscaping (canopy trees and small accent shrubs) in parking and seating areas located around the lake. See Exhibit 4.8I, *Planning Area 71 North Basin Landscape Concept Plan*.

4.3.7 Community Streets

4.3.7.1 PROJECT ENTRY STREETS

- The project entry streets connect the primary and secondary entries off of Highland Springs Avenue, Wilson Avenue, and Highland Home Road with the loop streets in the project interior.
- Landscaped parkways are to be provided on each side of the street. A 5-foot-wide meandering sidewalk will also be provided on one side of the street, along with a combination 5-foot-wide concrete and 5-foot-wide decomposed granite path on the other side. The decomposed granite paths will specifically be maintained by the community HOA.
- Landscaped raised medians will be included in all project entry streets except "E" Street, for which a landscaped median is an implementation option.
- Landscape lots, typically located between the pedestrian walkways or right-of-ways and project perimeter walls, will contain evergreen screen and background trees along with an occasional accent tree grouping.

Refer to Exhibit 4.10, *Street Tree Master Plan*, for guidance on street trees. Refer to Exhibits 4.11, *Streetscape Concept Plan View and Section of "A" Street*; Exhibits 4.12, *Typical Streetscape Concept Plan View and Section of "B" Street, "C" Street, and "F" Street (west of the North Loop intersection)*; and Exhibit 4.13, *Typical Streetscape Concept Plan View and Section of "D" and "E" Streets* for the project entry street concepts.

4.3.7.2 LOOP STREETS

- These streets, (South Loop, North Loop and “F” Street), incorporate a collector street that makes a loop through the project area, connecting the Project Entry Streets and Local Streets into individual Planning Areas.
- The minimum overall right-of-way width for these streets is 108 feet. Landscaped parkways will be provided on the Loop Streets. These parkways will include a 5-foot-wide meandering sidewalk on one side, and a meandering combination 5-foot-wide concrete and 5-foot-wide decomposed granite path on the other. The decomposed granite paths will specifically be maintained by the community HOA.
- Additional landscaping will be installed between the back of sidewalk and the perimeter wall.

Refer to Exhibits 4.14, *Typical Streetscape Concept Plan View and Section of North Loop, South Loop, and “F” Street (east of North Loop intersection)*.

4.3.7.3 NEIGHBORHOOD LOCAL STREETS

- Neighborhood local streets will be tree-lined avenues, and will continue the landscape theme in the residential neighborhoods.
- Landscaped parkway areas will be planted by the developer/builder and be maintained by the Homeowner. Sidewalks on local streets may be located adjacent to the curbs or set off from the curbs, separated by a landscape strip.
- Refer to Exhibits 4.15 and 4.16, *Typical Streetscape Concept Plan View and Section of the Local Streets*, including for Residential Block End Conditions.

4.3.7.4 PERIMETER ROADWAYS

Perimeter roadways providing access to the Butterfield Specific Plan area include Highland Springs Avenue, Wilson Street and Highland Home Road. Landscaping Concepts proposed for the perimeter roadways are as follows:

Highland Springs Avenue

Landscaping on the east side of Highland Springs Avenue, adjacent to the Butterfield Specific Plan frontage on the City of Banning side, shall be similar to the proposed entry landscaping within the Butterfield Specific Plan area and shall include canopy trees, small shrubs and turf or ground cover plantings located in the parkway area that also includes a meandering sidewalk. A raised, landscaped median may be provided if there is sufficient room within the right-of-way of Highland Springs Avenue. See Exhibits 4.17, *Typical Streetscape Concept Plan View and Section - Highland Springs Avenue*.

Highland Home Road

In one proposed alternative for the southern portion of Highland Home Road from Wilson Street to near proposed “D” Street, a 16’ raised, landscaped median with canopy trees and ground cover is proposed. In this alternative the existing open Pershing Channel

running parallel to Highland Home Road is removed and reconstructed as a buried storm drain under the road. In this alternative a 20' wide frontage drive is maintained on the east side providing separate access to the existing residences along the east side of this portion of Highland Home Road. A 4' wide planting area with a hedge is proposed between what will be the new Highland Home Road and this proposed access drive along the existing residential. See Exhibit 4.18, *Typical Streetscape Concept Plan View and Section* for the southern portion of Highland Home Road.

A second alternative is proposed for the southern portion of Highland Home Road in the instance it is determined that the existing Pershing channel can not be placed underground or relocated. In this alternative the existing open Pershing Channel is maintained in the proposed median of Highland Home Road. Only limited landscaping, if any, would be allowed in the median in this alternative. The channel would be required to be enclosed in a decorative fence. This alternative would not allow for the separate frontage drive serving the existing residences on the east side. See Exhibit 3.3B – *Roadway Cross Sections*, for a depiction of this second alternative.

The proposed landscape and streetscape concepts for that portion of Highland Home Road between “D” Street and “F” Street, adjacent to approved Tract 30906, located on the east side, are depicted in Exhibits 4.19, *Typical Streetscape Concept Plan View and Section - Highland Home Road (Tract 30906)*.

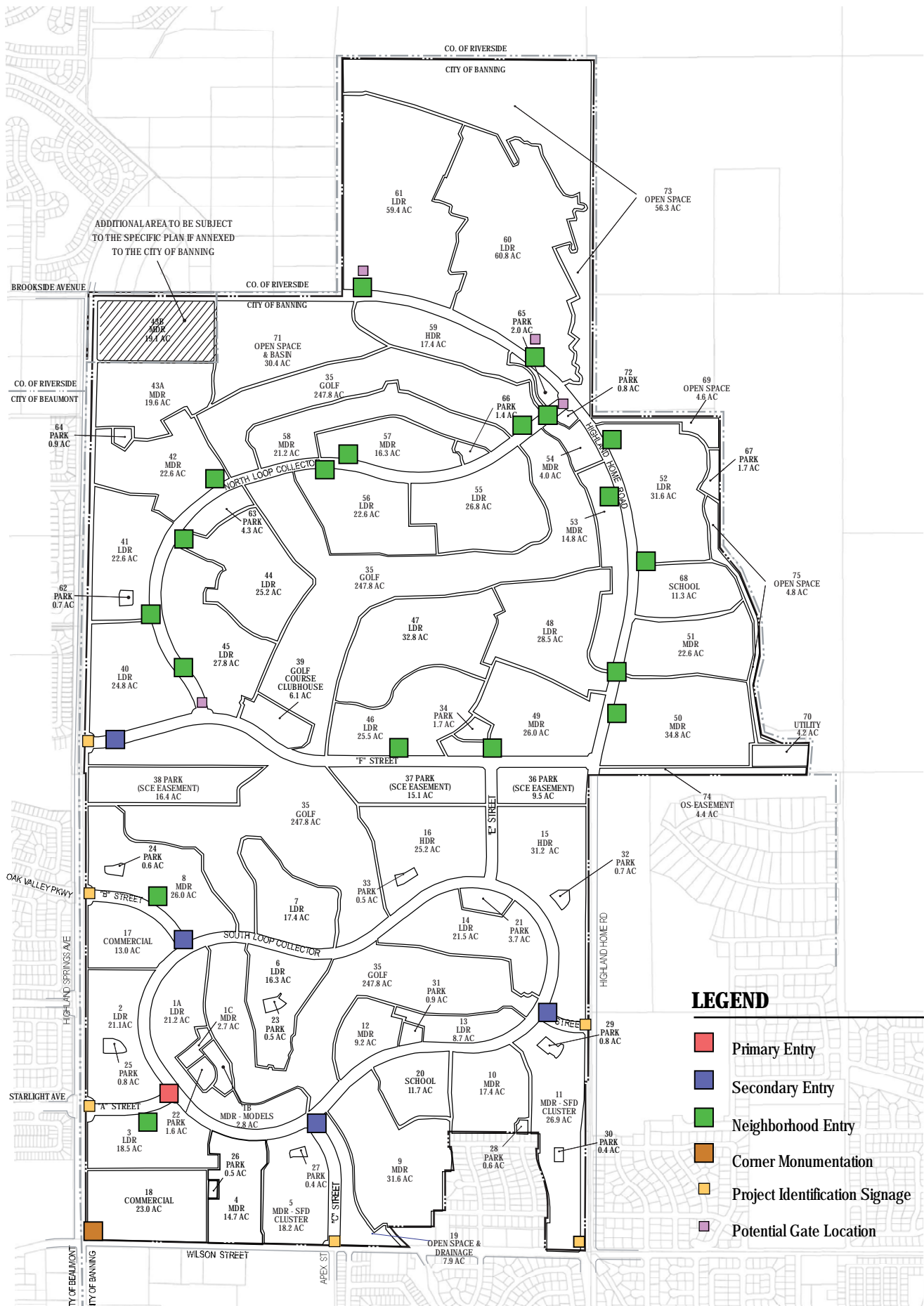
The proposed landscape and streetscape concepts for Highland Home Road north of “F” Street are depicted in Exhibit 4.20, *Typical Streetscape Concept Plan View and Section – Highland Home Road*. Half-width landscaping, along the south side of Highland Home Road will be provided west of Planning Area 61.

Wilson Street

The proposed landscape and streetscape concept for the north side of Wilson Street adjacent to the Butterfield Specific Plan frontage is depicted in Exhibit 4.21, *Typical Streetscape Concept Plan View and Section – Wilson Street*. A raised landscaped median will be added to Wilson Street fronting the Specific Plan area where appropriate as determined by the City Public Works Director.

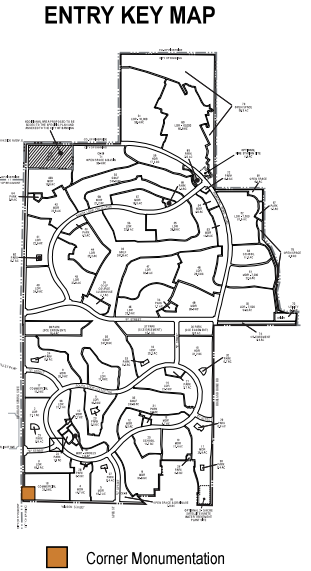
4.3.7.5 STREET TREES – GENERAL

Street trees, including trees in medians, for reduced maintenance purposes, shall not be of a type that will be too large at maturity and shall be spaced to allow for adequate maintenance outside the roadway travel lanes for life safety purposes and to avoid impacts to traffic. There shall not be conflicts between street trees and street lights for adequacy of lighting and safety.



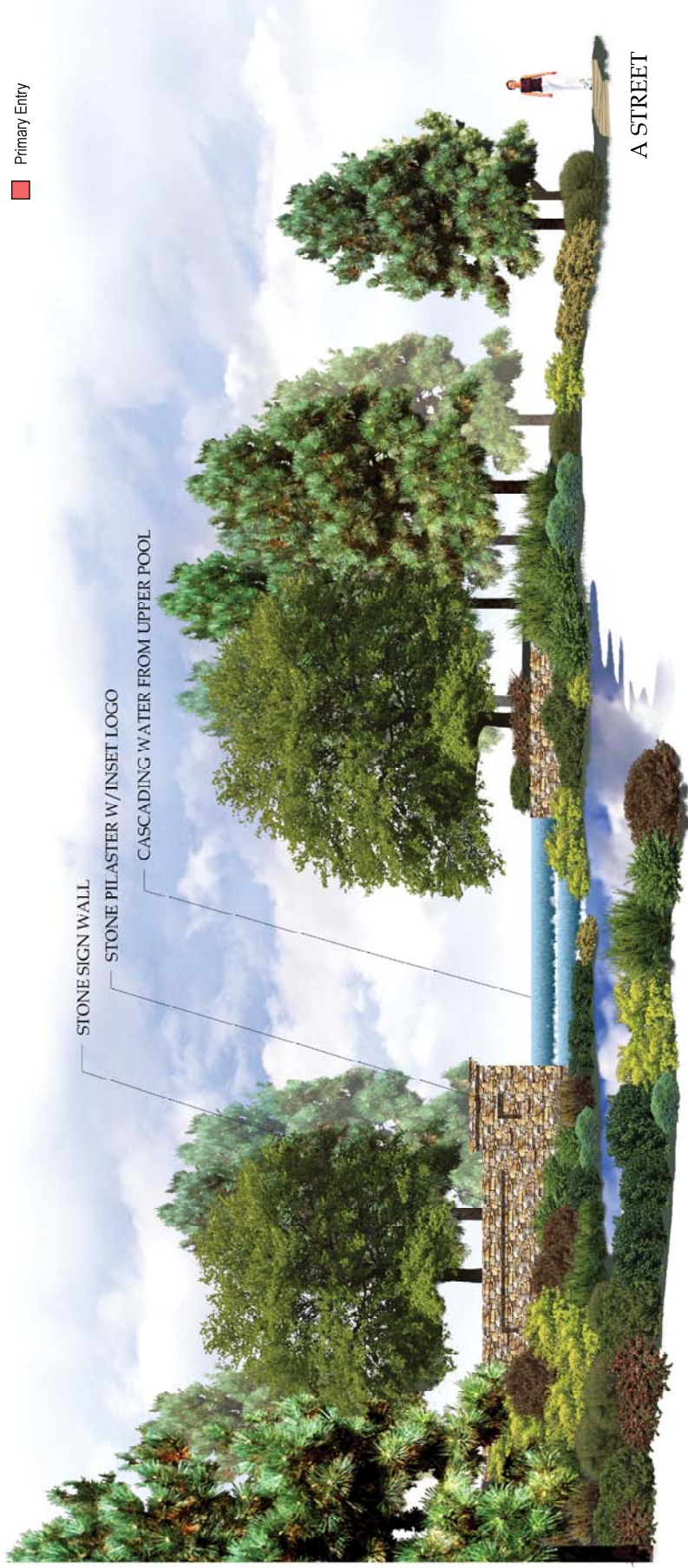
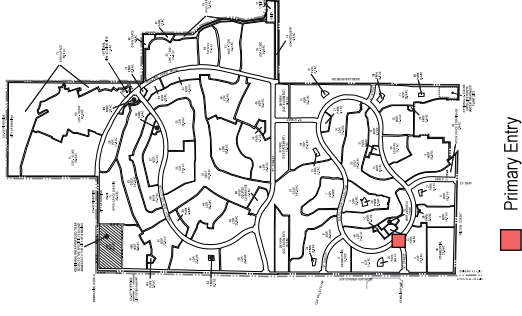
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

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ENTRY KEY MAP



See Exhibit 4.11 For A Street Plan View

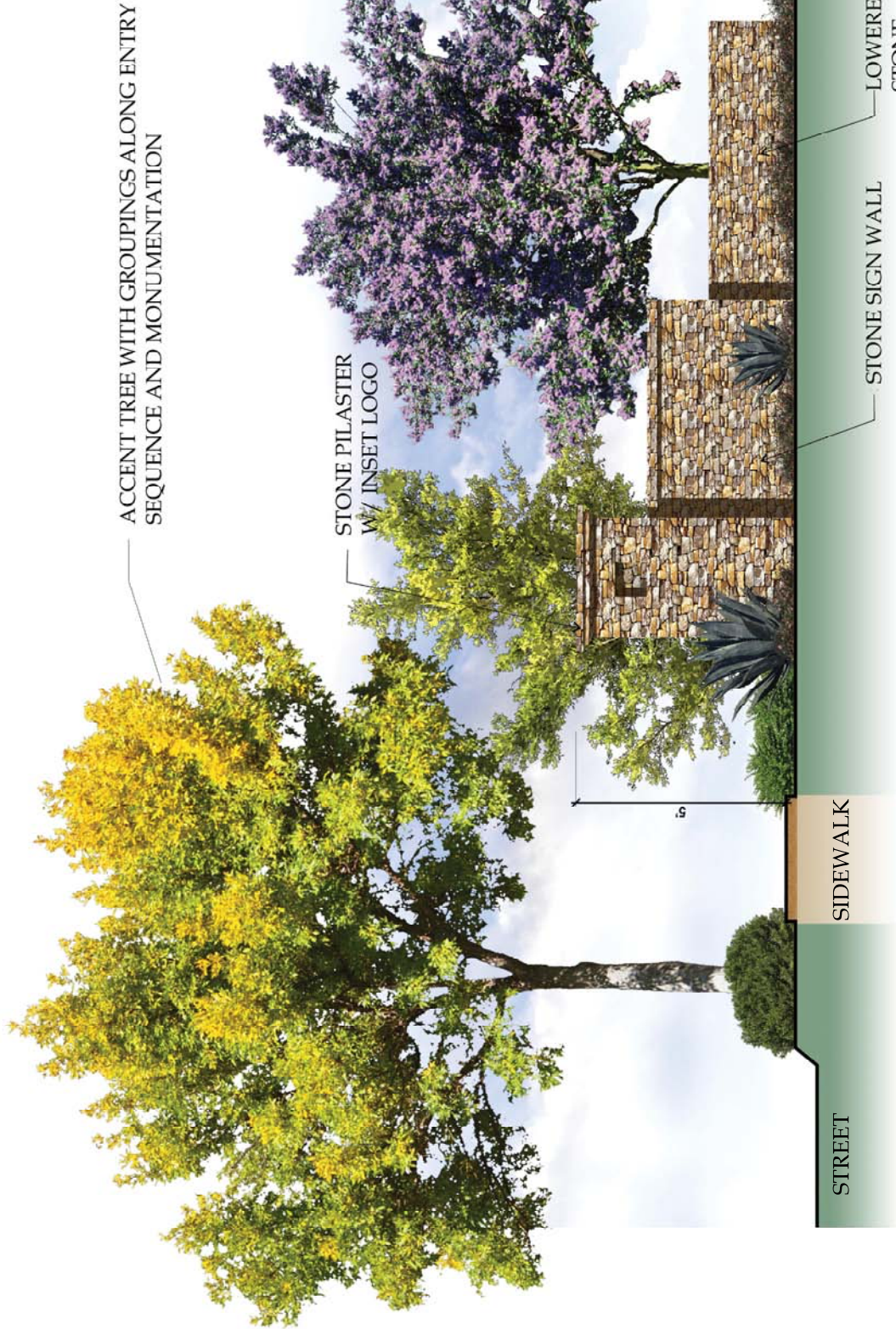
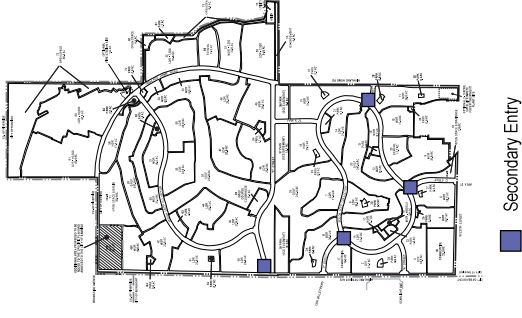
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Primary Entry Landscape Concept Elevation

EXHIBIT 4.3

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ENTRY KEY MAP



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Secondary Entry Landscape Concept Elevation

EXHIBIT 4.4

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ENTRY TREES INFORMALLY SPACED ALONG
MEDIAN AND PARKWAY

PARKWAY TREE
THEME AND
BACKGROUND TREE
THROUGHOUT
NEIGHBORHOOD

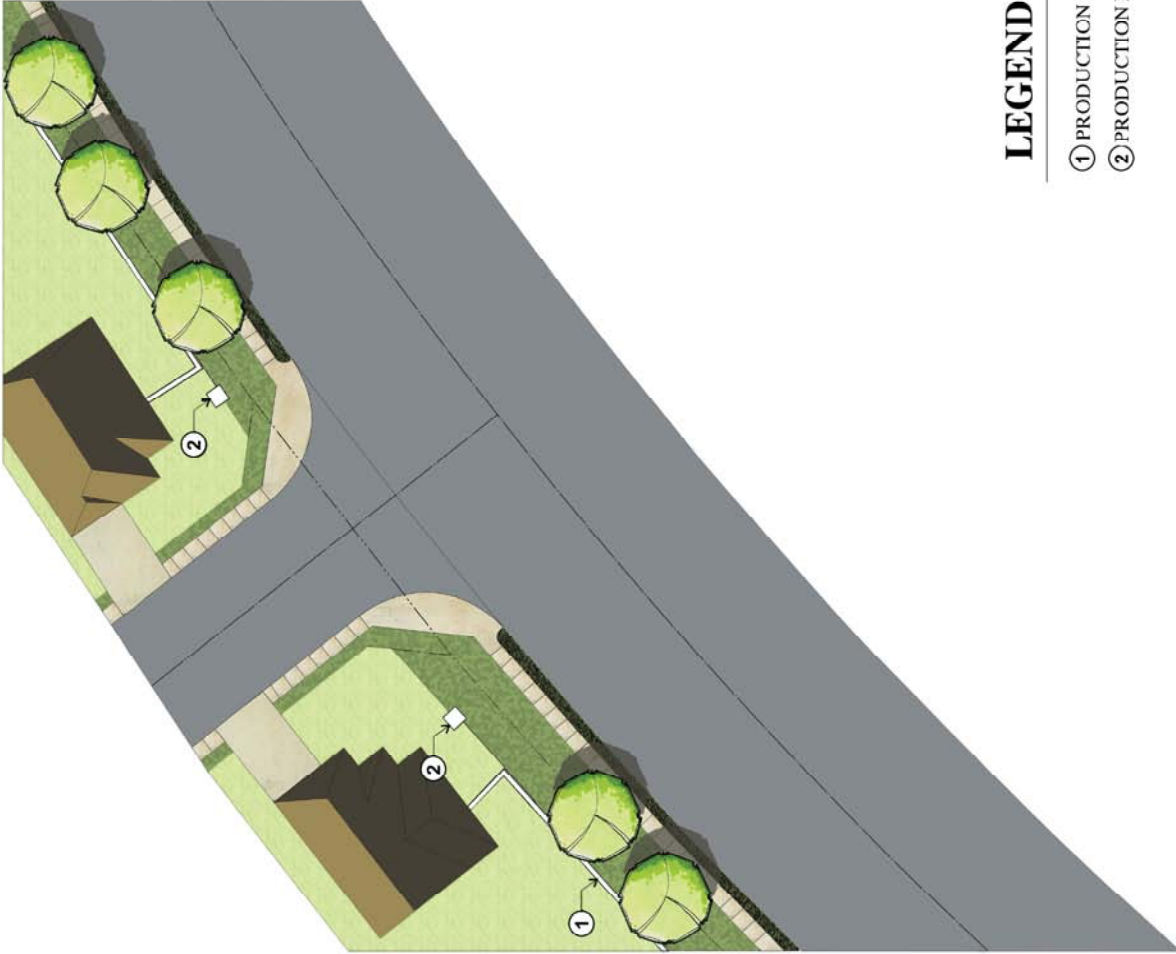


ENTRY KEY MAP



Potential Neighborhood Entry

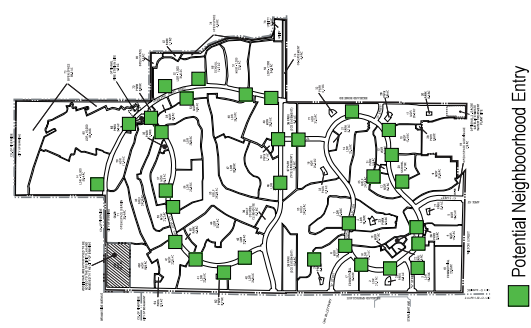
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NOTE:
SIDEWALKS ON LOCAL STREETS AND NEIGHBORHOOD ENTRIES MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.

ENTRY STREET CONDITIONS MAY DIFFER AT VARIOUS LOCATIONS. SEE EXHIBITS 4.5C AND 4.5D FOR OTHER POTENTIAL NEIGHBORHOOD ENTRY CONDITIONS.

ENTRY KEY MAP



LEGEND

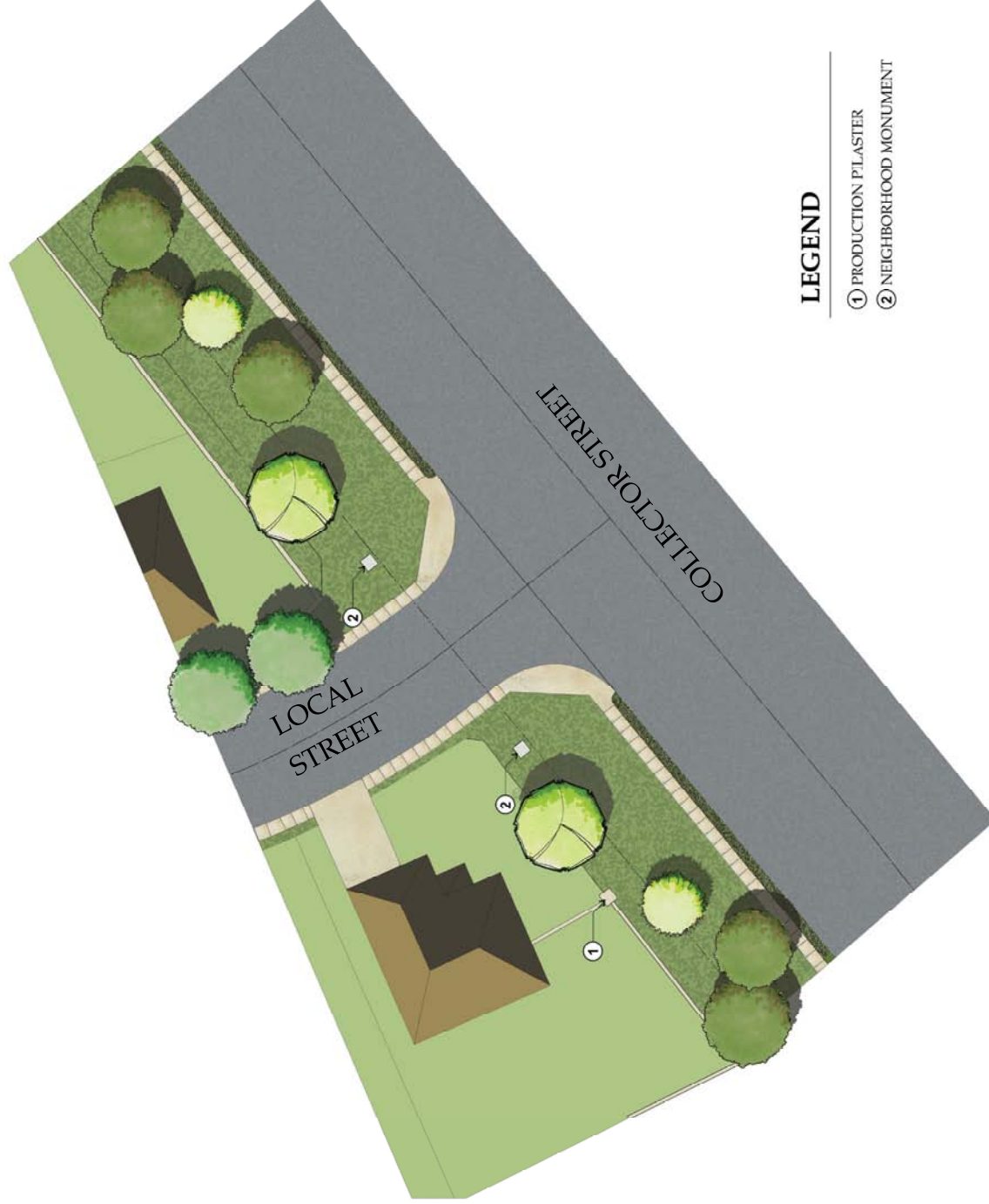
- ① PRODUCTION WALL
- ② PRODUCTION PILASTER

Potential Neighborhood Entry

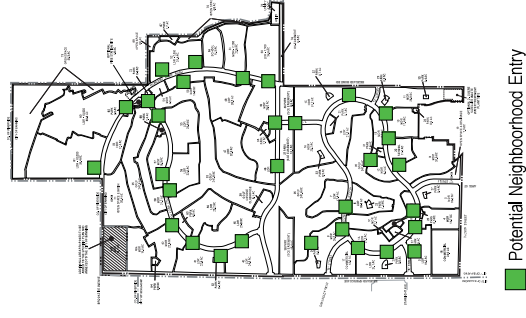
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NOTE:
SIDEWALKS ON LOCAL STREETS AND
NEIGHBORHOOD ENTRIES MAY BE LOCATED
ADJACENT TO THE CURB OR MAY BE SET OFF
OF THE CURB, SEPARATED BY A LANDSCAPED
STRIP.

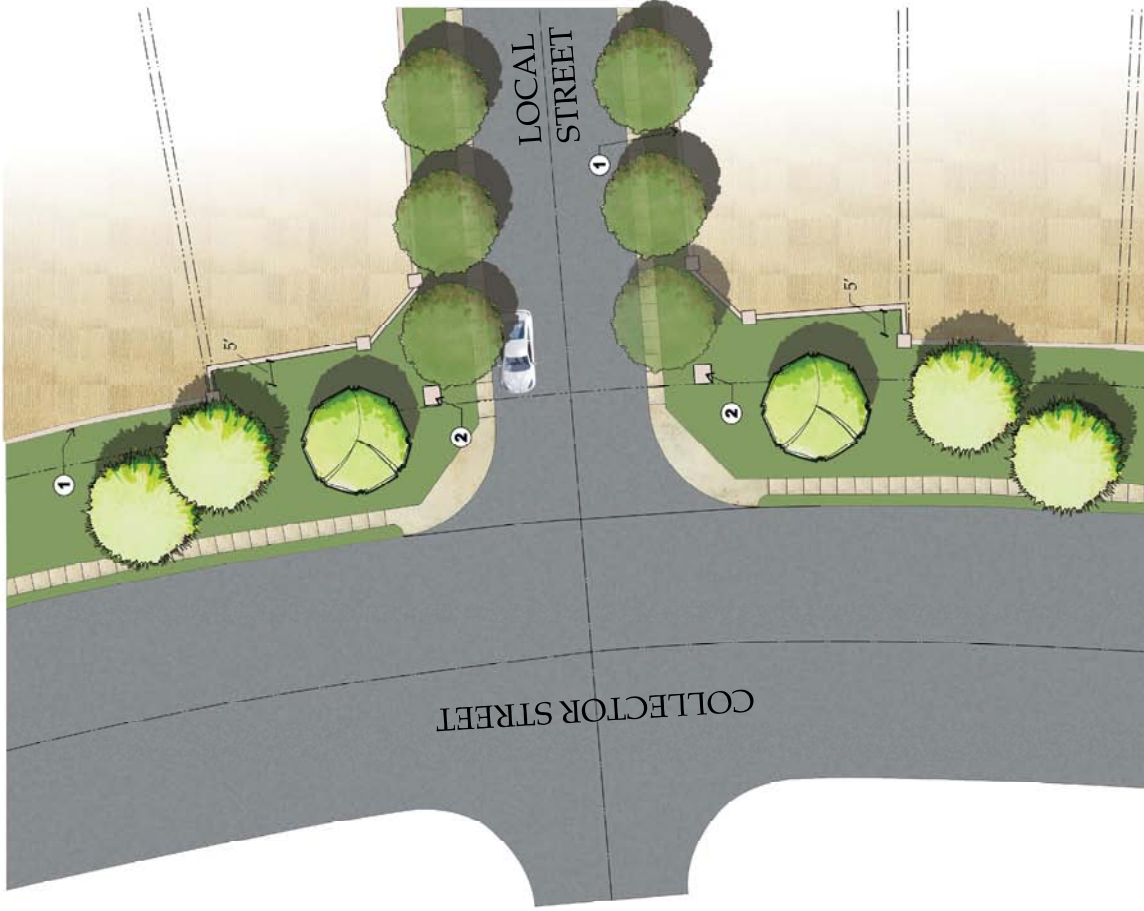
ENTRY STREET CONDITIONS MAY DIFFER AT
VARIOUS LOCATIONS. SEE EXHIBITS 4.5B
AND 4.5D FOR OTHER POTENTIAL
NEIGHBORHOOD ENTRY CONDITIONS.



ENTRY KEY MAP



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NOTE:
SIDEWALKS ON LOCAL STREETS AND NEIGHBORHOOD ENTRIES MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.

ENTRY STREET CONDITIONS MAY DIFFER AT VARIOUS LOCATIONS. A LANDSCAPED MEDIAN MAY BE USED WITH THIS ENTRY (SIDE/SIDE) WHERE IT DOES NOT INTERFERE WITH ACCESS TO RESIDENTIAL DRIVEWAYS. SEE EXHIBITS 4.5B AND 4.5C FOR OTHER POTENTIAL NEIGHBORHOOD ENTRY CONDITIONS.

LEGEND

- ① PRODUCTION WALL
- ② MONUMENT

ENTRY KEY MAP

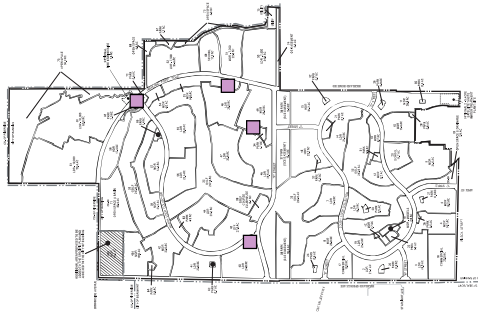


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Typical Gated Community Entry Concept - Plan View

EXHIBIT 4.6A

ENTRY KEY MAP



Potential Gate Locations



LEGEND

- ① VEHICULAR GATES
- ② ENTRY STRUCTURE
- ③ WATER FEATURE
- ④ SIDEWALK

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ENTRY KEY MAP



Potential Gate Locations

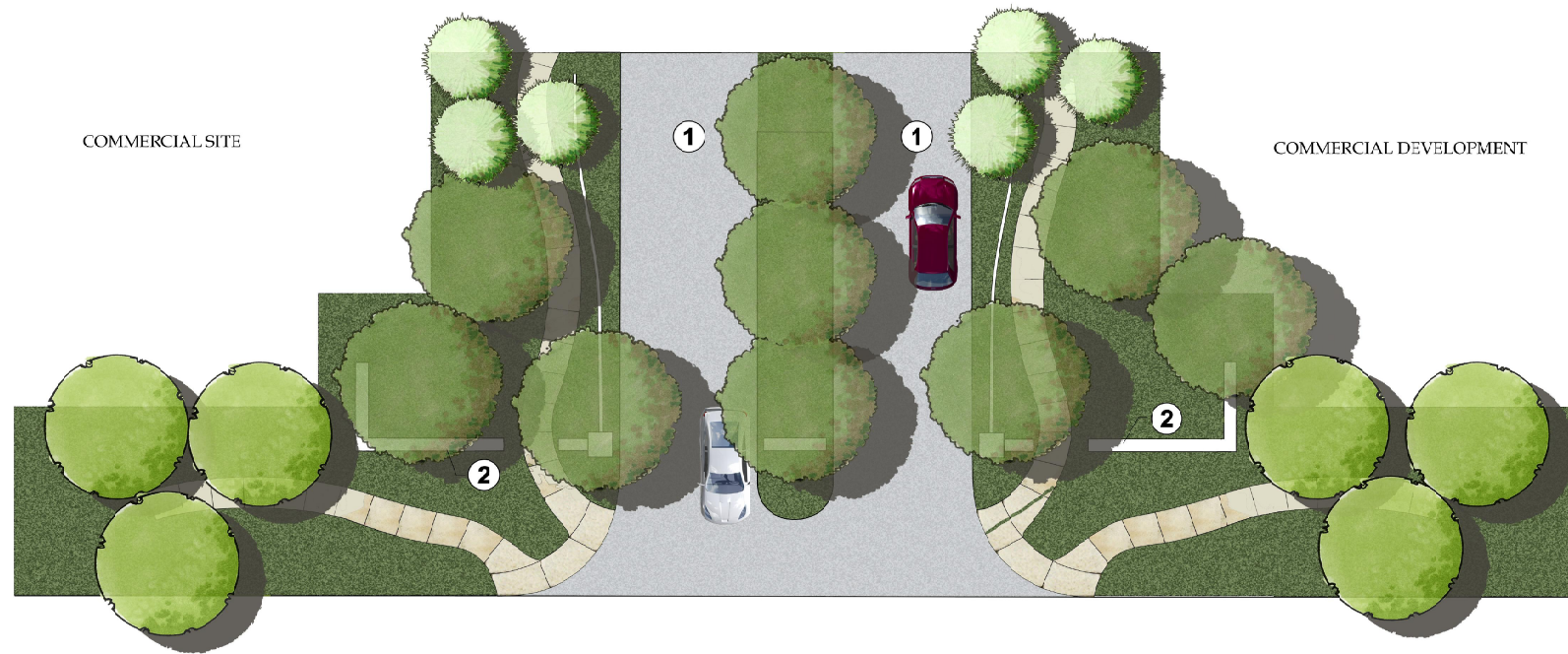


PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

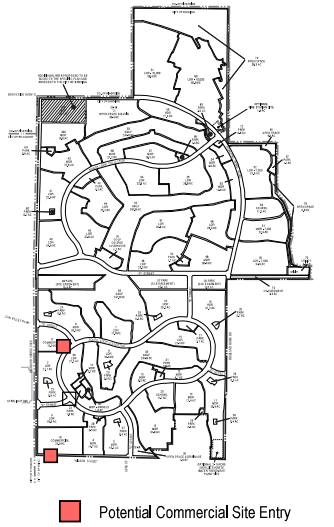
Typical Gated Community Entry Concept - Elevation

EXHIBIT 4.6B

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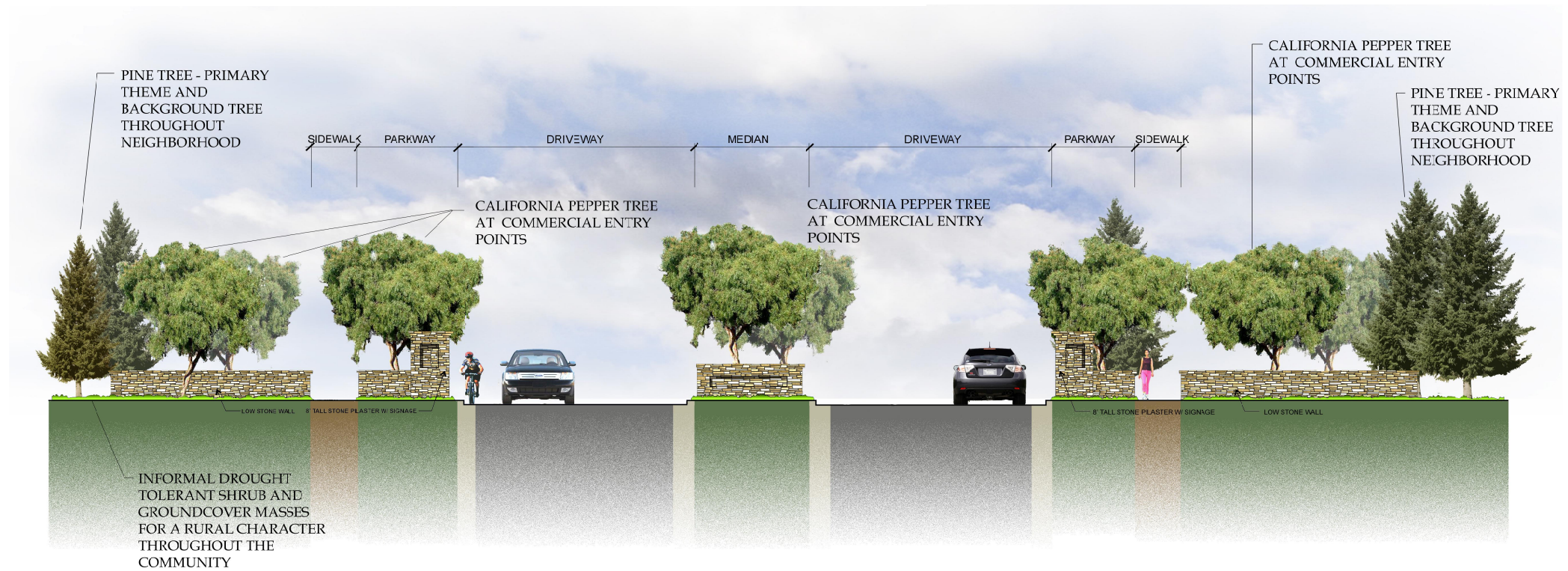


ENTRY KEY MAP



LEGEND

- ① ENTRY DRIVE
- ② STONE WALLS & PILASTERS



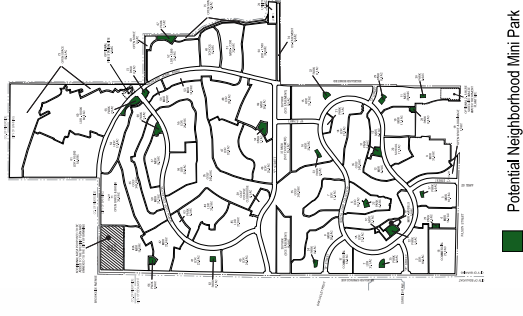
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LEGEND

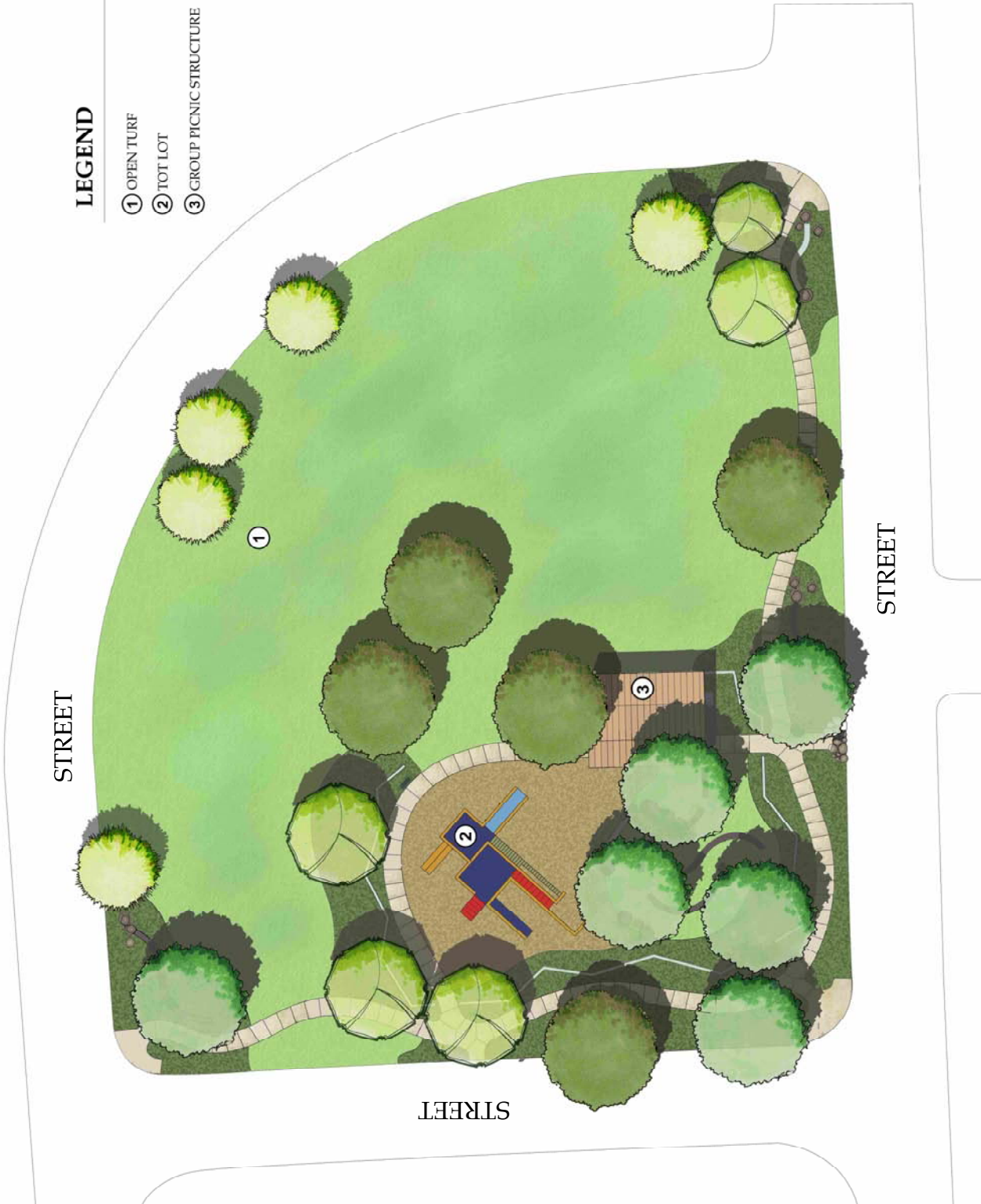
- ① SHADE STRUCTURE
- ② TOT LOT
- ③ OPEN TURF



REC. & OS KEY MAP



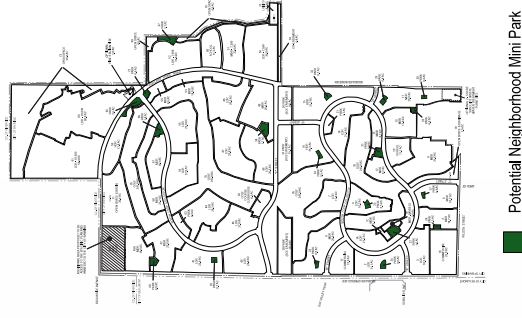
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LEGEND

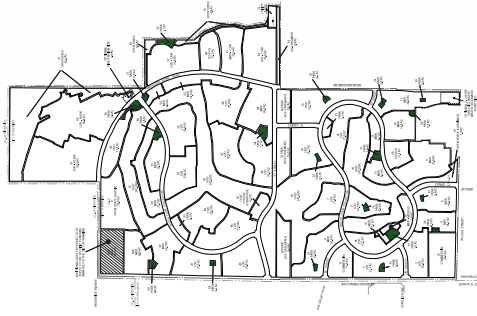
- ① OPEN TURF
- ② TOT LOT
- ③ GROUP PICNIC STRUCTURE

REC. & OS KEY MAP



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REC. & OS KEY MAP



LEGEND

- ① LARGE TREE STAND W/ BUILT UP EARTH MOUNDING
- ② OPEN TURF
- ③ PICNIC STRUCTURE
- ④ TOT LOT



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LEGEND

- ① 4' WIDE D.G. PATH
- ② SHADE STRUCTURE W/ BRIDGE
- ③ PERIMETER WALL
- ④ SHRUB/ GROUNDCOVER AREA
- ⑤ TURF

REC. & OS KEY MAP



STREET

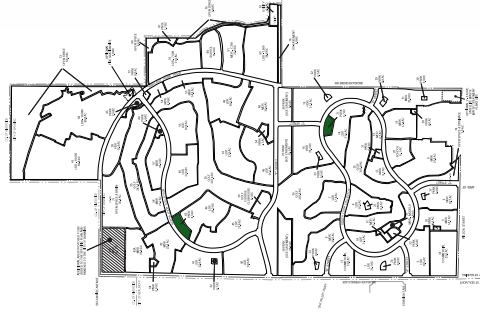
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Neighborhood /Mini Park Concept IV

4/17/2011 JN-05-100290

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REC. & OS KEY MAP



Potential Neighborhood Recreation Park

LEGEND

- ① OPEN TURF AREA
- ② RESTROOM BLDG. W/ POOL EQUIPMENT & SHOWERS
- ③ LOW WALL W/ SIGN
- ④ SHADE STRUCTURE
- ⑤ DINING AREA
- ⑥ PERIMETER FENCE
- ⑦ POOL DECK



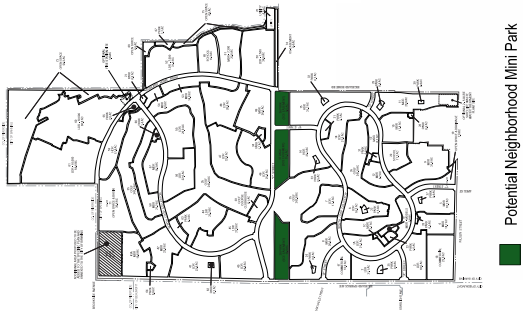
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Neighborhood Recreation Park Concept

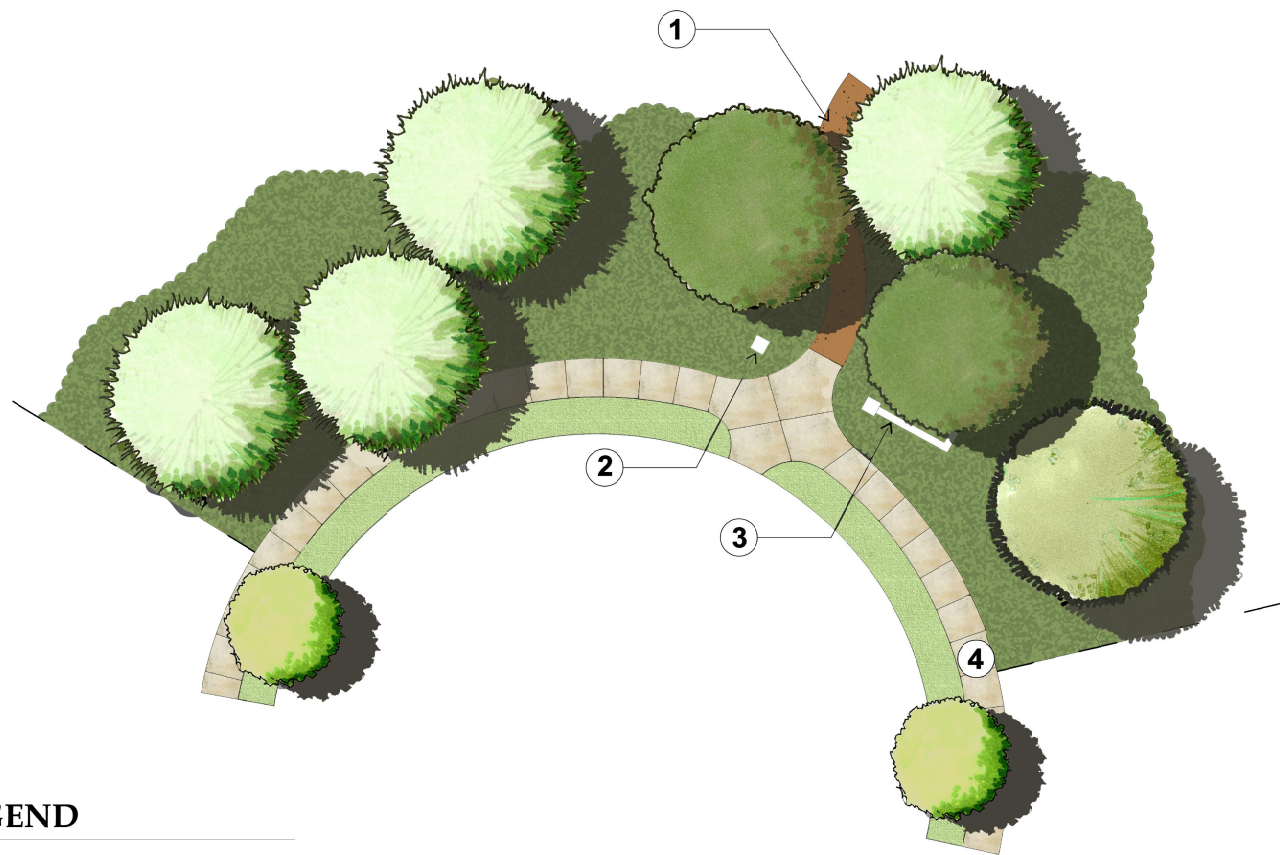
EXHIBIT 4.8E

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REC. & OS KEY MAP



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LEGEND

- ① TRAIL
- ② TRAILHEAD MONUMENT
- ③ LOW STONE WALL & PILASTER
- ④ CONCRETE SIDEWALK



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Trail Head at Open Space Edge - Plan View and Section

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LEGEND

- ① BACKGROUND TREE
- ② STREET TREES
- ③ ENTRY MONUMENT LOCATION
- ④ TURF REINFORCED CHANNEL
- ⑤ OVERFLOW SPILLWAY
- ⑥ WATER QUALITY BASIN
- ⑦ 5' DROP STRUCTURES

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PROPOSED PLANT PALETTE

TREES

- ACACIA BAILEYANA

ALNUS RHOMBIFOLIA

BETULA PENDULA

CEDRUS DEODORA

CHILOPSIS LINEARIS

PINUS ELADARICA

PINUS HALEPENSIS

PLATANUS RACEMOSA

POPULUS FREMONTII

QUERCUS AGRIFOLIA

RHUS LANCEA

SCHINUS MOLLE
- BAILEY ACACIA

WHITE ALDER

WHITE BIRCH

DEODAR CEDAR

DESERT WILLOW

AFGHAN PINE

ALEPPO PINE

CALIFORNIA SYCAMORE

FREMONT POPLAR

COAST LIVE OAK

AFRICAN SUMAC

CALIFORNIA PEPPER TREE

SHRUBS

- ACACIA REDOLENS 'LOW BOY'

ATRIPLEX CANESCENS

ATRIPLEX LENTIFORMIS BREWERII

BACCHARIS PILULARIS

BACCHARIS SAROTHOIDES

CALLISTEMON VIMINALIS LITTLE JOHN

CEANOTHUS CONCHA

CEANOTHUS G. H. YANKEE POINT

COLEONEMA PULCHRUM

COLEONEMA SUNSET GOLD

GREVILLEA NOELLII

HETEROMELES ARBUTIFOLIA

LAVANDULA STOECHAS

LEPTOSPERMUM LAEVIGATUM COMPACTUM

LEUCOPHYLLUM FRUTESCENS GREEN CLOUD

LONICERA JAPONICA HALLIANA

MUHLENBERGIA CAPILLARIS

PENNISETUM SETACEUM

PRUNUS CAROLIANA

ROSMARINUS OFFICINALIS PROSTRATUS

ROSMARINUS OFFICINALIS TUSCAN BLUE

SALVIA GREGGII

SENNA (CASSIA) ARTEMISIOIDES
- PROSTRATE ACACIA

FOURWING SALT BUSH

BREWER SALT BUSH

DWARF COYOTE BUSH

DESERT BROOM

LITTLE JOHN BOTTLEBRUSH

WILD LILAC

WILD LILAC

PINK BREATH OF HEAVEN

PINK BREATH OF HEAVEN

GREVILLEA

TOYON

SPANISH LAVENDER

AUSTRALIAN TEE TREE

TEXAS RANGER

HALL'S JAPANESE HONEYSUCKLE

PINK MUHLY

FOUNTAIN GRASS

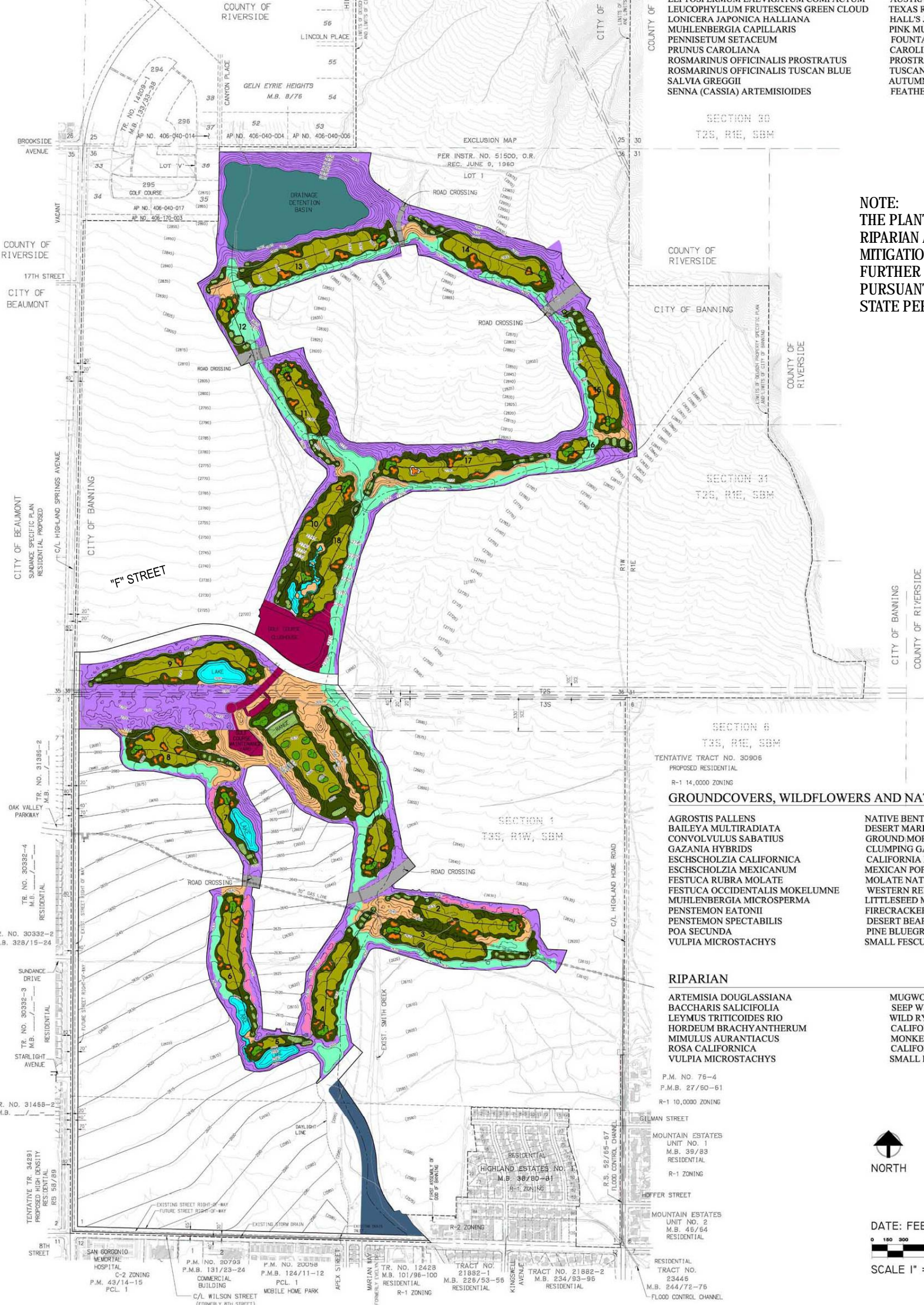
CAROLINA CHERRY

PROSTRATE ROSEMARY

TUSCAN BLUE ROSEMARY

AUTUMN SAGE

FEATHERY CASSIA



GOLF COURSE LEGEND

TEES	4.0 ac
GREENS	3.3 ac
FAIRWAYS	53.0 ac
ROUGH	54.5 ac
SAND BUNKERS	3.6 ac
NATIVE LANDSCAPE	22.0 ac
LAKES	6.3 ac
CART PATHS	5.8 ac
CLUB HOUSE & MAINTENANCE AREA	10.2 ac
SUBTOTAL:	162.7 ac

PERIMETER LANDSCAPE & DRAINAGE LEGEND

NATIVE LANDSCAPE	78.9 ac
TURFGRASS	3.8 ac
REVEGETATED DRAINAGE COURSE (INCLUDING RIPARIAN AREAS)	35.1 ac
DRAINAGE BASIN BOTTOM	19.0 ac
FUTURE ROAD CROSSINGS	4.5 ac
SUBTOTAL:	141.3 ac
TOTAL:	304.0 ac
SOUTHERLY DRAINAGE CHANNEL	7.6 ac

NOTE:
THE PLANT PALLETTE IN
RIPARIAN AND OTHER
MITIGATIONS AREAS SHALL BE
FURTHER RESTRICTED
PURSUANT TO FEDERAL AND
STATE PERMITS

GROUNDCOVERS, WILDFLOWERS AND NATIVE GRASSES

- AGROSTIS PALLENS

BAILEYA MULTIRADIATA

CONVOLVULUS SABATIUS

GAZANIA HYBRIDS

ESCHSCHOLZIA CALIFORNICA

ESCHSCHOLZIA MEXICANUM

FESTUCA RUBRA MOLATE

FESTUCA OCCIDENTALIS MOKELUMNE

MUHLENBERGIA MICROSPERMA

PENSTEMON EATONII

PENSTEMON SPECTABILIS

POA SECUNDA

VULPIA MICROSTACHYS
- NATIVE BENTGRASS

DESERT MARI GOLD

GROUND MORNING GLORY

CLUMPING GAZANIA

CALIFORNIA POPPY

MEXICAN POPPY

MOLATE NATIVE RED FESCUE

WESTERN RED FESCUE

LITTLESEED MUHLY

FIRECRACKER PENSTEMON

DESERT BEARD TONGUE

PINE BLUEGRASS

SMALL FESCUE

RIPARIAN

- ARTEMISIA DOUGLASSIANA

BACCHARIS SALICIFOLIA

LEYMUS TRITICOIDES RIO

HORDEUM BRACHYANTHERUM

MIMULUS AURANTIACUS

ROSA CALIFORNICA

VULPIA MICROSTACHYS
- MUGWORT

SEEP WILLOW-MULEFAT

WILD RYE

CALIFORNIA BARLEY

MONKEY FLOWER

CALIFORNIA WILD ROSE

SMALL FESCUE



DATE: FEBRUARY 22, 2006
SCALE 1" = 300'

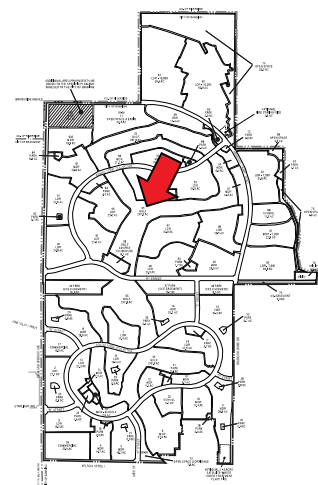
PREPARED FOR:
PARDEE HOMES
1181 CALIFORNIA AVE., SUITE 103
CORONA, CA. 92881

PREPARED BY:
CAL OLSON GOLF ARCHITECTURE
15 ENTERPRISE, SUITE 310
ALISO VIEJO, CA. 92656



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VIEWPOINT KEY MAP



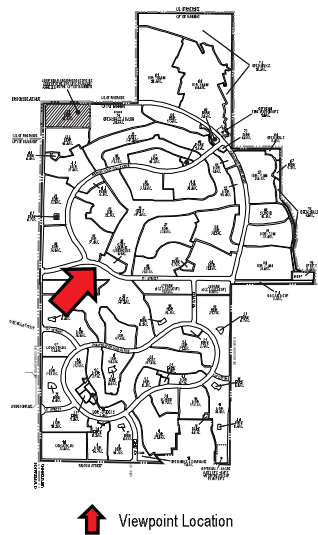
↑ Viewpoint Location



© VisionScapelImagery.com 2008

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VIEWPOINT KEY MAP



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LEGEND

PRIMARY	BACKGROUND	ACCENT
PLATANUS ACERIFOLIA	PINUS SP.	QUERCUS SP.
PINUS SP.	PINUS SP.	QUERCUS SP.



PLATANUS ACERIFOLIA
SYCAMORE



QUERCUS SP.
OAK



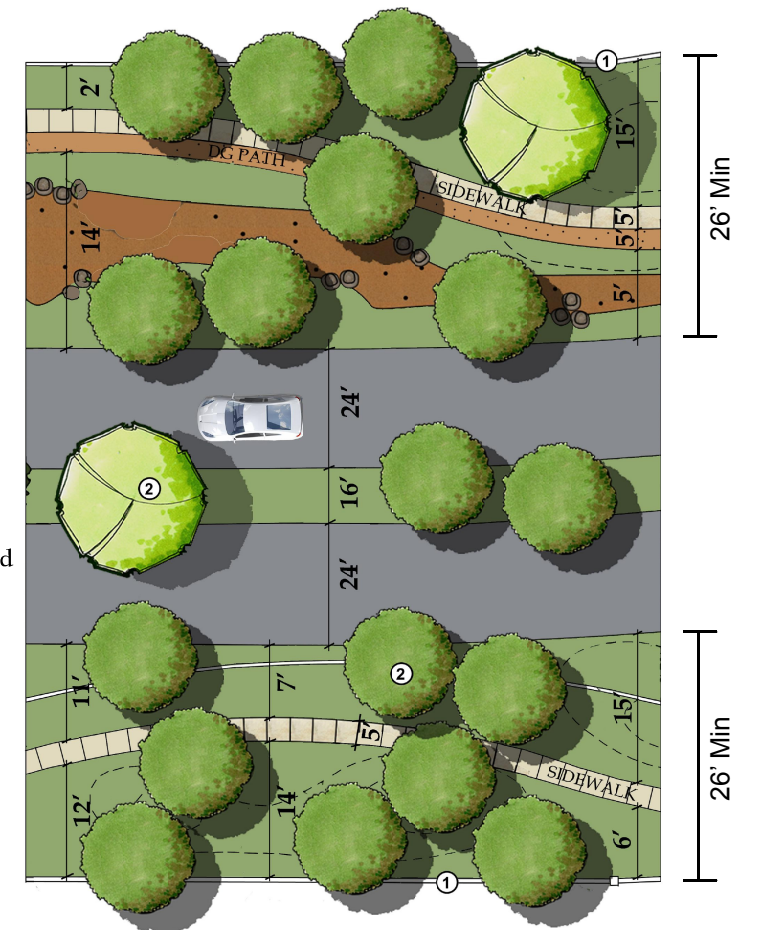
PINUS SP.
PINE

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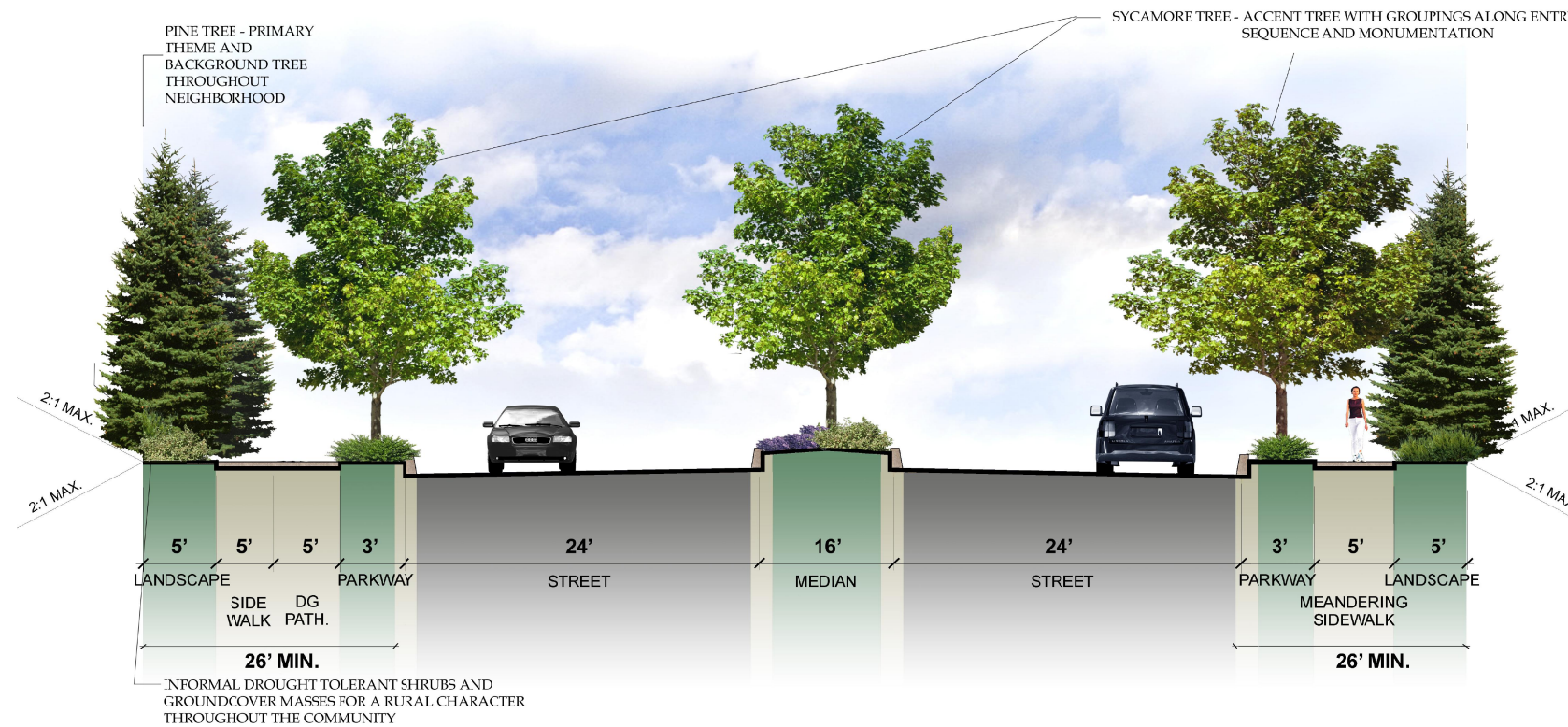
LEGEND

- ① WATER FEATURE
- ② STONE SIGN WALL
- ③ LOW STONE WALL
- ④ SIDEWALK
- ⑤ FENCE
- ⑥ DRY STREAM
- ⑦ BERMS & MOUNDS
- ⑧ PERIMETER WALL
- ⑨ SPECIMENT TREE (TYP.)
- ⑩ IDENTIFICATION WALL & PILASTER
- ⑪ BACKGROUND SCREEN TREE
- ⑫ Decorative street paving in the form of stamped and/or colored concrete or asphalt (no pavers) shall be provided on "A" Street primary entries at a minimum length of 50'.



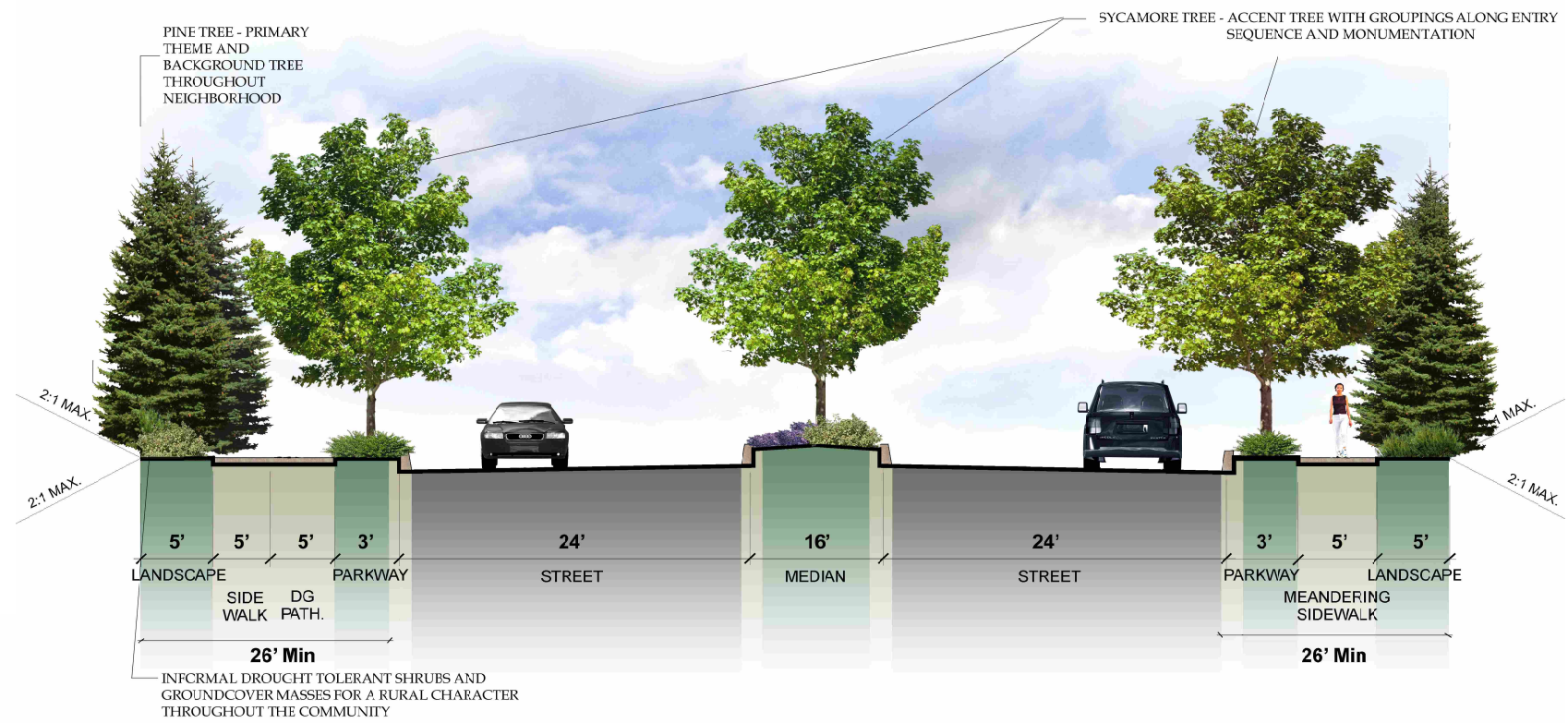
LEGEND

- ① PERIMETER WALL
- ② STREET TREES INFORMALLY SPACED ALONG MEDIAN



*LANDSCAPE AND PARWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

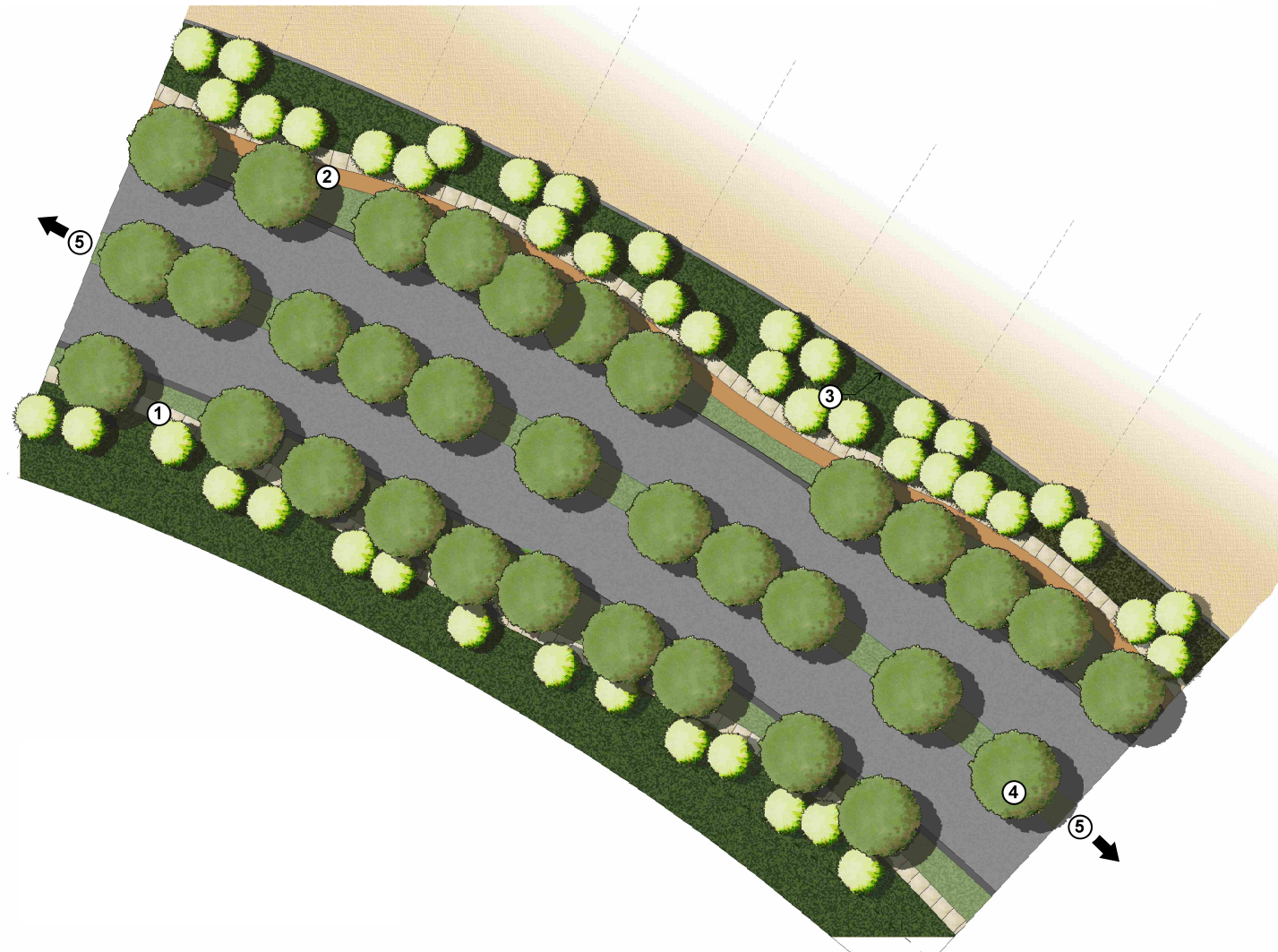
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*LANDSCAPE AND PARWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

LEGEND

- ① SIDEWALK
- ② DG PATH
- ③ PERIMETER WALL
- ④ STREET TREES INFORMALLY SPACED ALONG MEDIAN
- ⑤ Decorative street paving in the form of stamped and/or colored concrete shall be provided on 'B', 'C' and 'F' Streets secondary enteries at a minimum length of 35'.



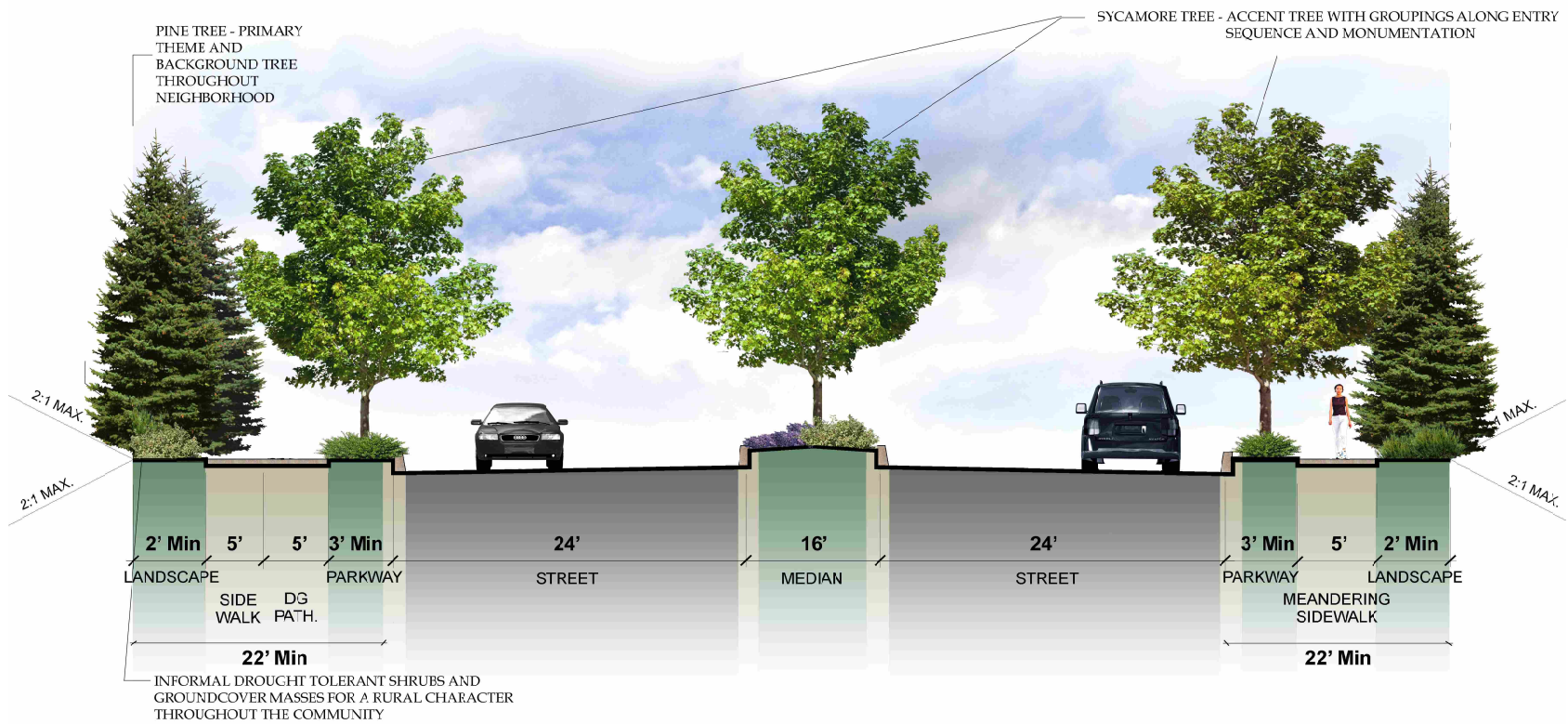
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NOTE: A LANDSCAPED MEDIAN IS PROPOSED FOR IMPLEMENTATION WITHIN D STREET, AND IS PROPOSED AS AN OPTION FOR IMPLEMENTATION WITHIN E STREET.

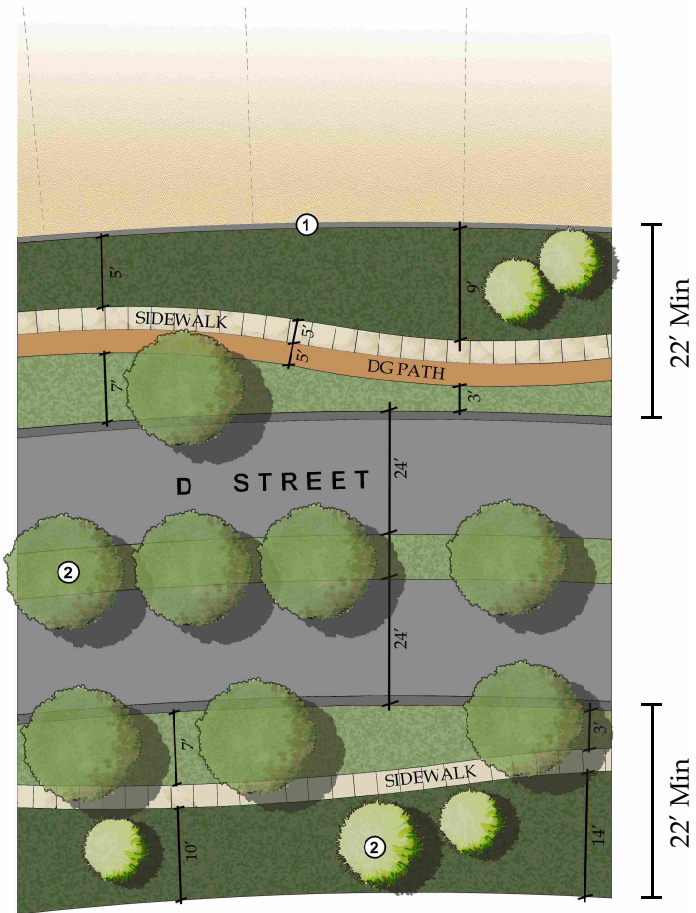


LEGEND

- ① BACKGROUND SCREEN TREE
- ② PERIMETER WALL
- ③ ENTRY MONUMENT
- ④ WALL
- ⑤ MONUMENT SIGN
- ⑥ SPECIMEN TREES
- ⑦ SHRUB AREAS
- ⑧ WALL W/ SIGN
- ⑨ WALKWAY
- ⑩ Decorative street paving in the form of stamped and/or colored concrete or asphalt (no pavers) shall be provided on "D" Street secondary entries at a minimum length of 35'.



*LANDSCAPE AND PARWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.



LEGEND

- ① PERIMETER WALL
- ② STREET TREES INFORMALLY SPACED ALONG MEDIAN

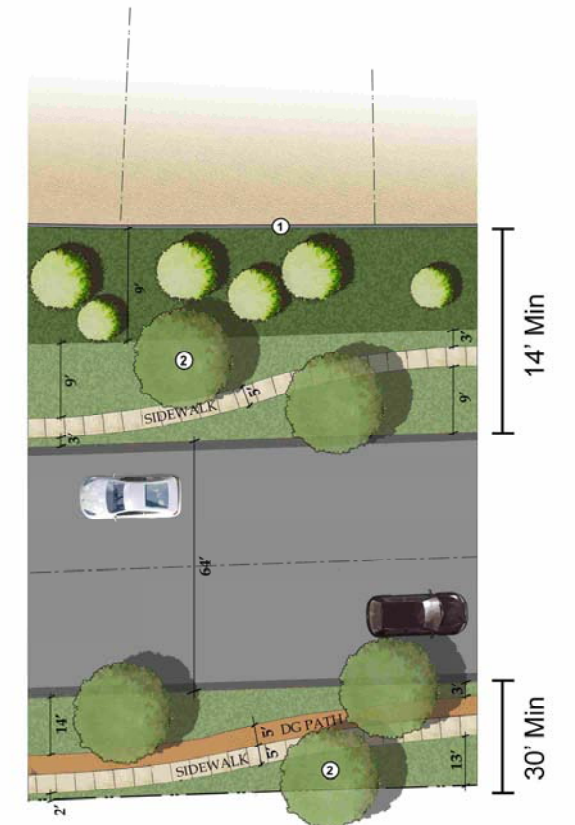
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NOTE: THIS SECTION APPLIES TO THE SOUTH LOOP ROAD, NORTH LOOP ROAD AND THE PORTION OF F STREET FROM NORTH LOOP ROAD TO HIGHLAND HOME ROAD.

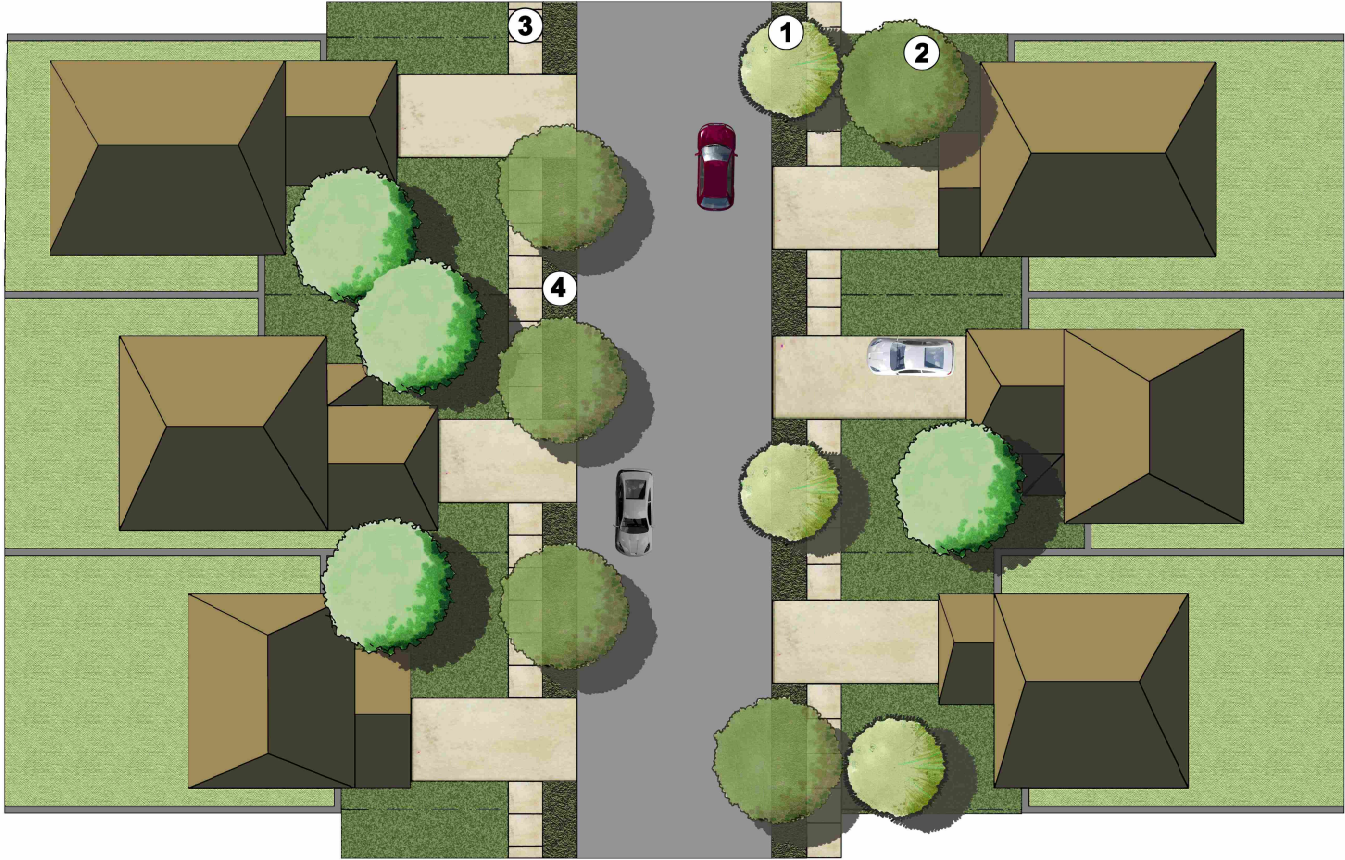


*LANDSCAPE AND PARKWAY AREAS CAN BE REDUCED TO MINIMUM OF 3' BETWEEN THE WALKWAY AND ROADWAY AND 5' BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.



LEGEND
① PERIMETER WALL
② STREET TREES INFORMALLY SPACED ALONG MEDIAN

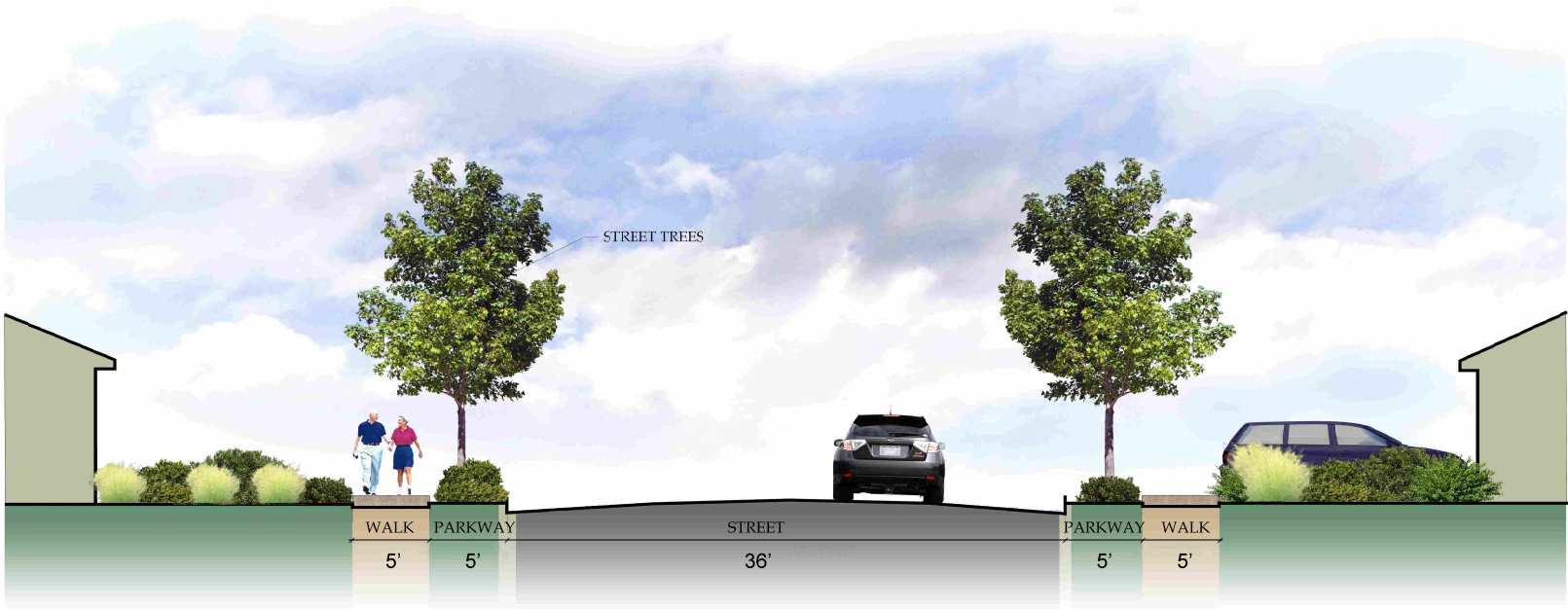
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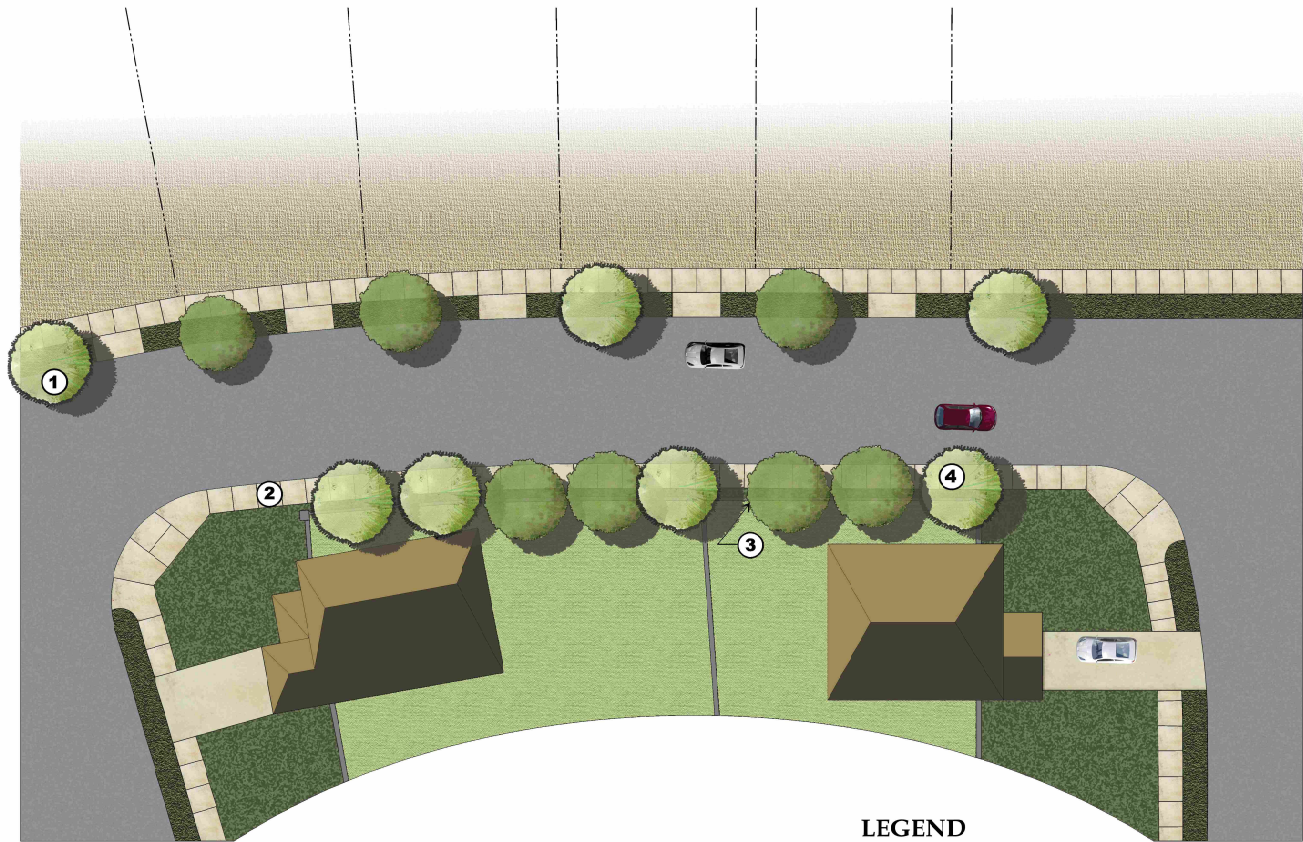
LEGEND

- ① STREET TREE
- ② FRONTYARD TREE
- ③ SIDEWALK
- ④ STREET

NOTE: SIDEWALKS ON LOCAL STREETS MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.



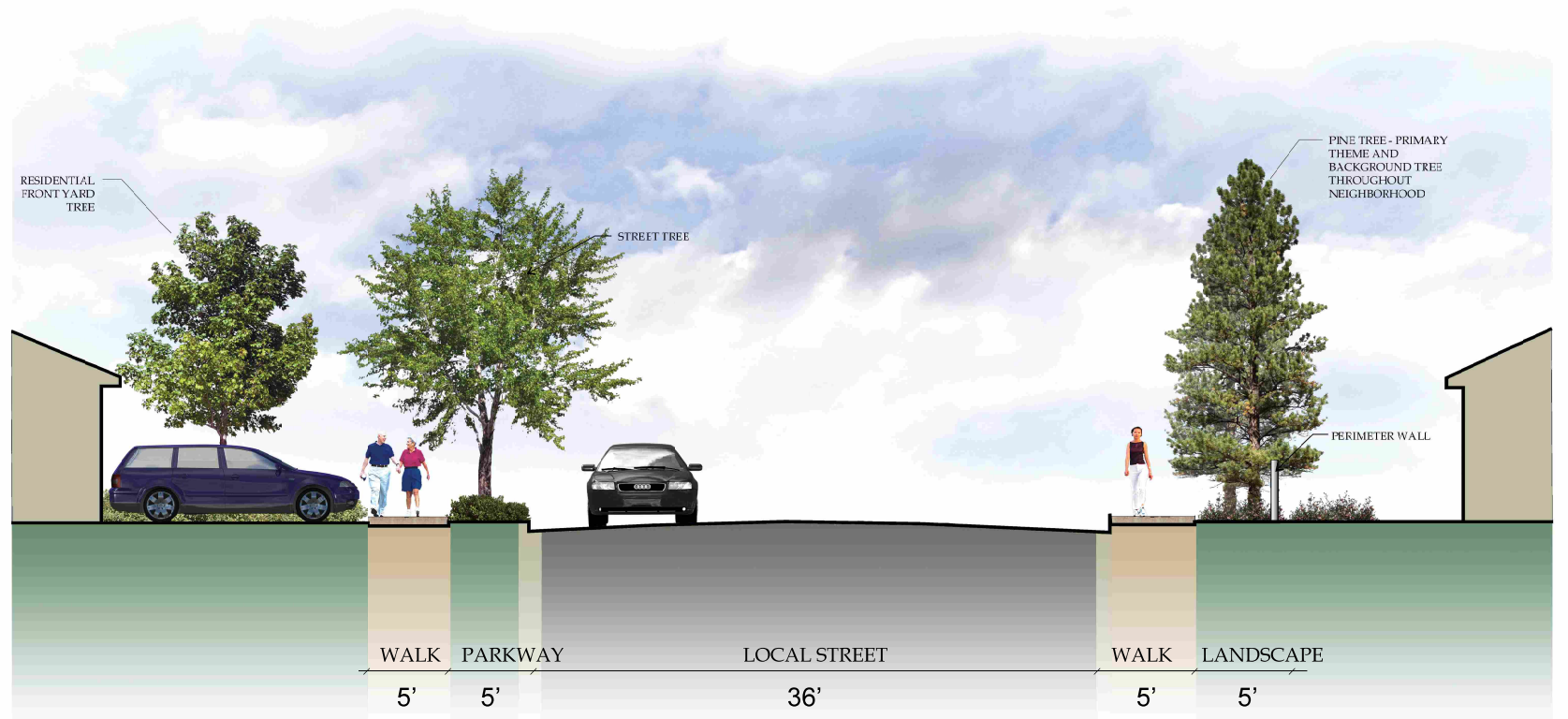
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LEGEND

- ① STREET TREE
- ② SIDEWALK
- ③ CMU WALL
- ④ SCREEN TREE

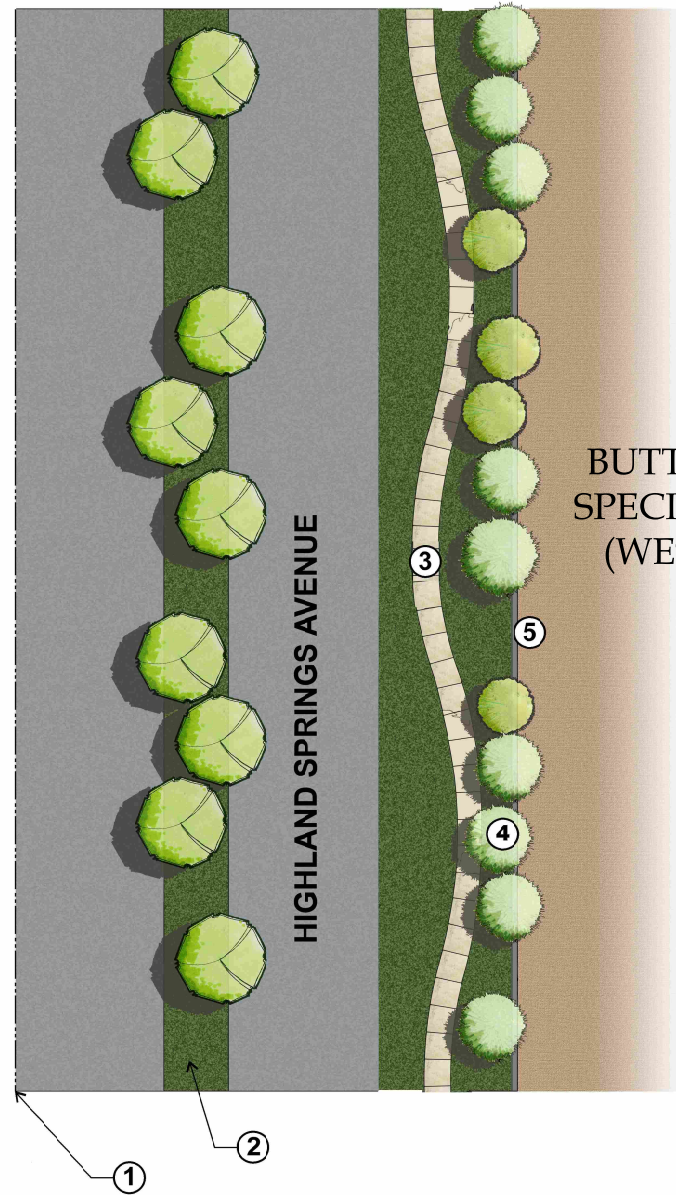
NOTE: SIDEWALKS ON LOCAL STREETS MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Residential Block End Condition - Plan View and Section

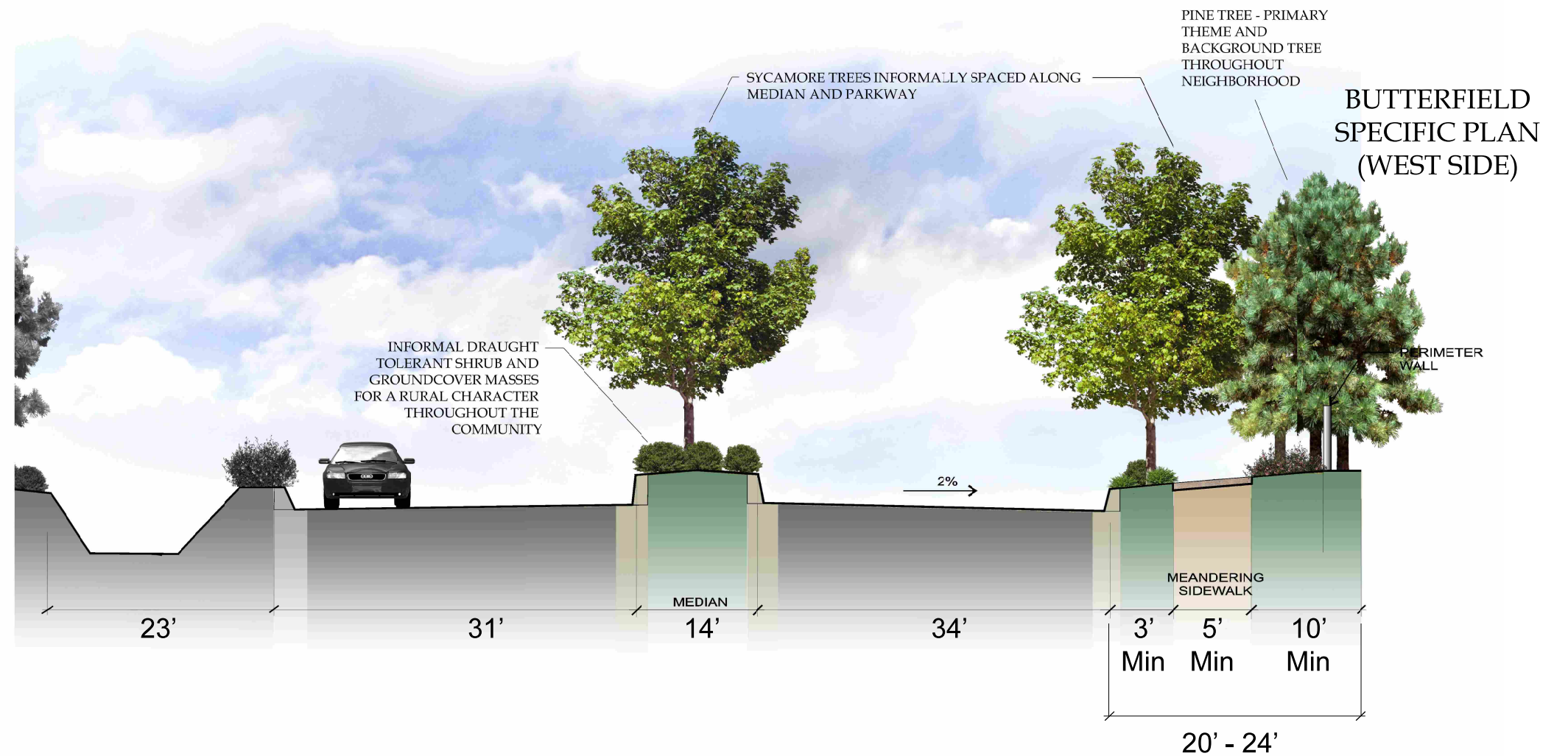
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BUTTERFIELD
SPECIFIC PLAN
(WEST SIDE)

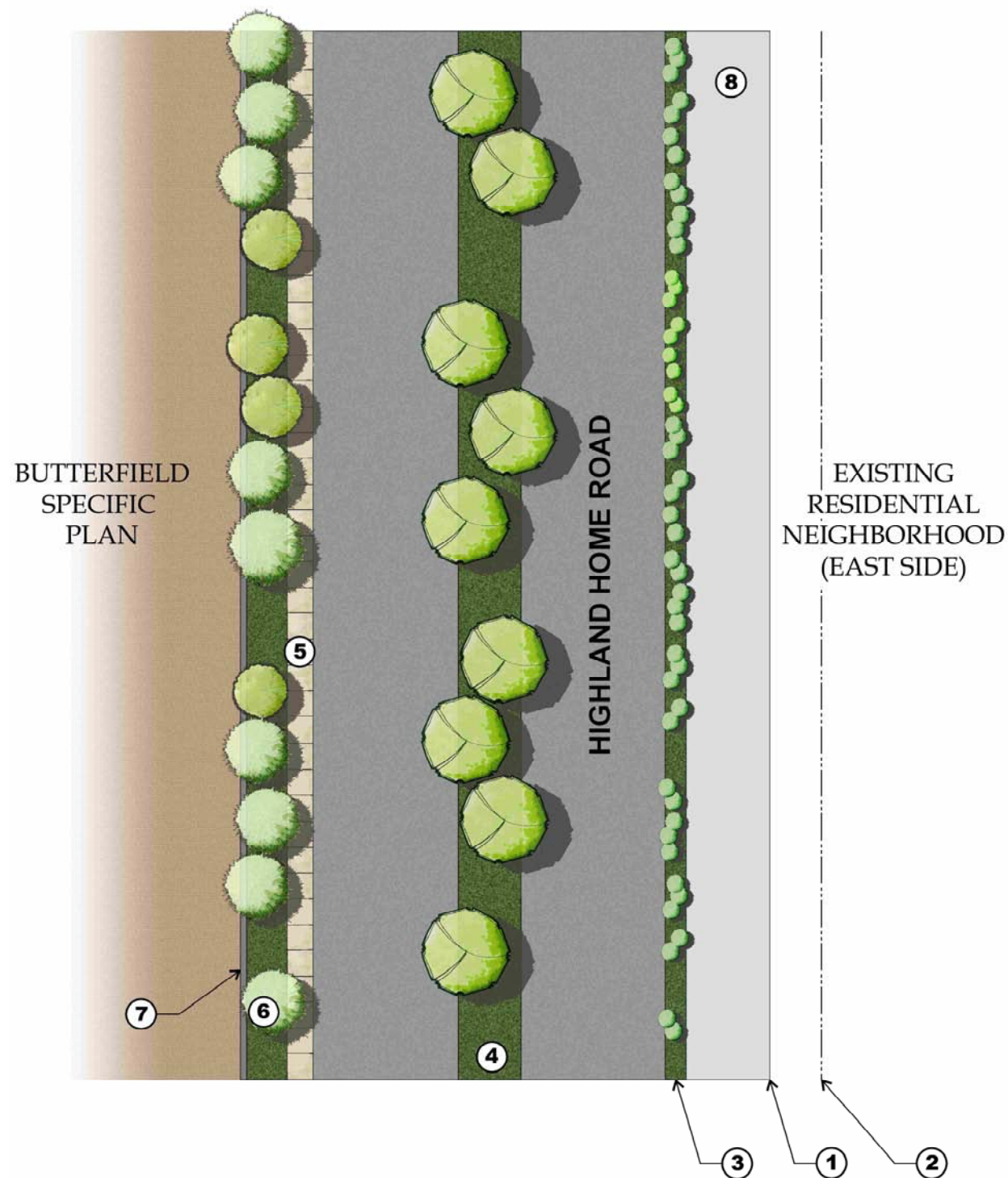
LEGEND

- ① EXISTING R.O.W.
- ② MEDIAN
- ③ SIDEWALK
- ④ STREET TREES INFORMALLY SPACED
- ⑤ PERIMETER WALL



*LANDSCAPE AND PARWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND 5' BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

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LEGEND

- ① EXISTING CURB
- ② EXISTING R.O.W.
- ③ 4' WIDE PLANTING AREA WITH HEDGE
- ④ MEDIAN TREE
- ⑤ SIDEWALK
- ⑥ STREET TREES INFORMALLY SPACED
- ⑦ PERIMETER WALL
- ⑧ EXISTING ROAD

NOTES:

This section of Highland Home Road is from north of Wilson Street to south of proposed D Street.

Exhibit 3.3B provides another alternative section for this portion of Highland Home Road (Alternative B) that maintains existing Pershing Channel in the median and eliminates the frontage drive on the east side.

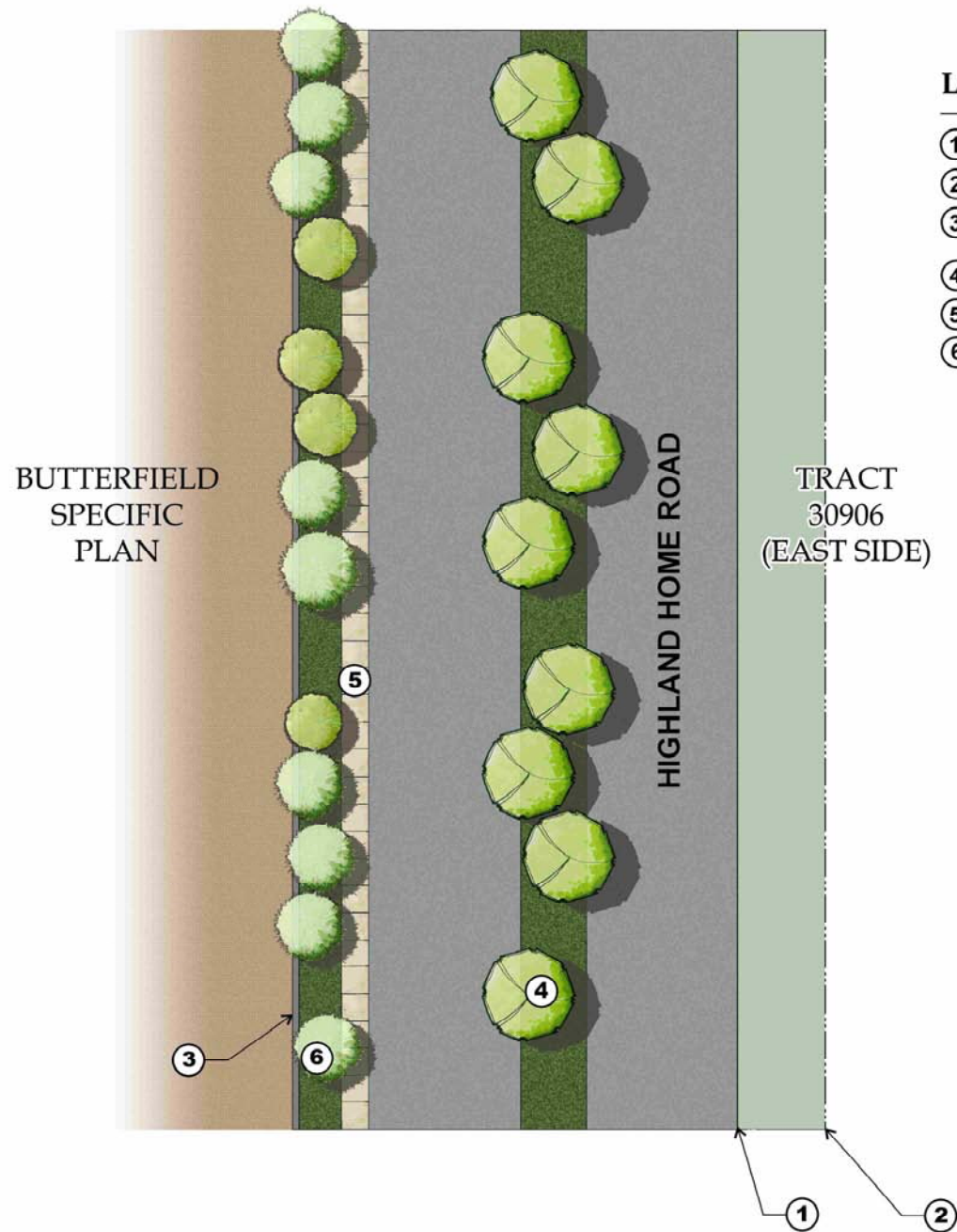
BUTTERFIELD SPECIFIC PLAN



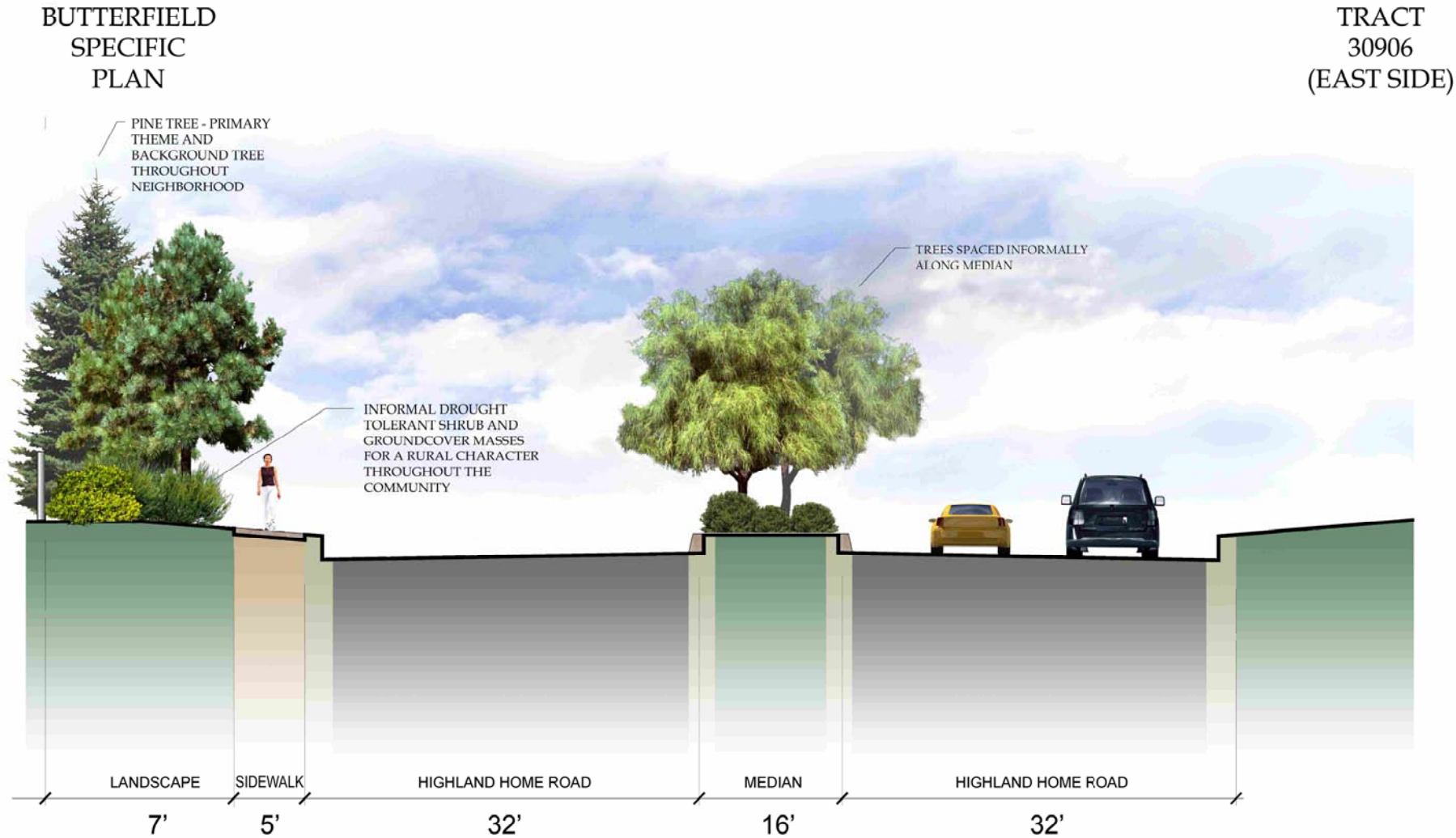
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Streetscape Concept Plan View and Section - Highland Home Road (Southern Portion)

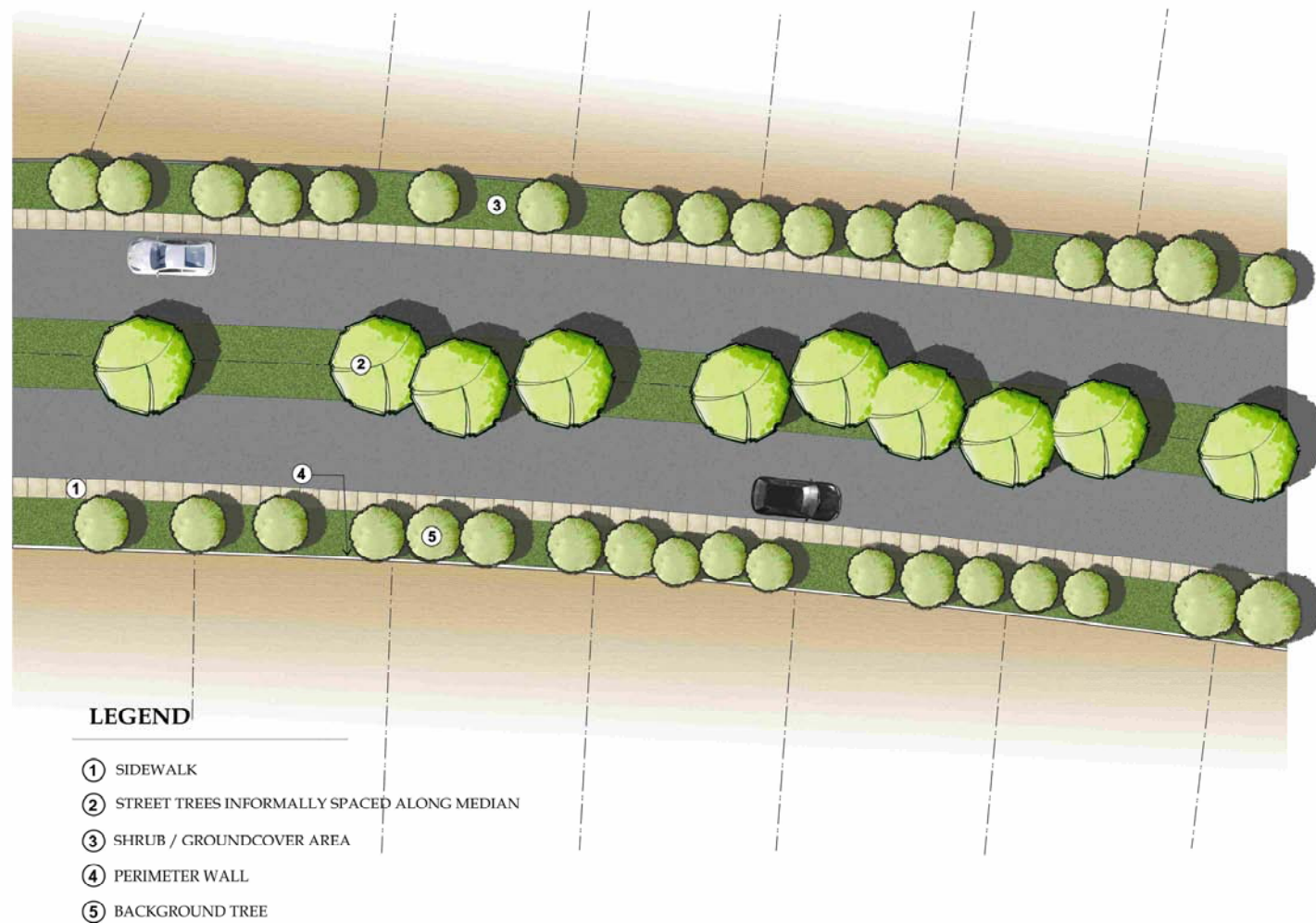
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NOTE: THIS SECTION OF HIGHLAND HOME ROAD IS FROM PROPOSED D STREET TO PROPOSED F STREET.

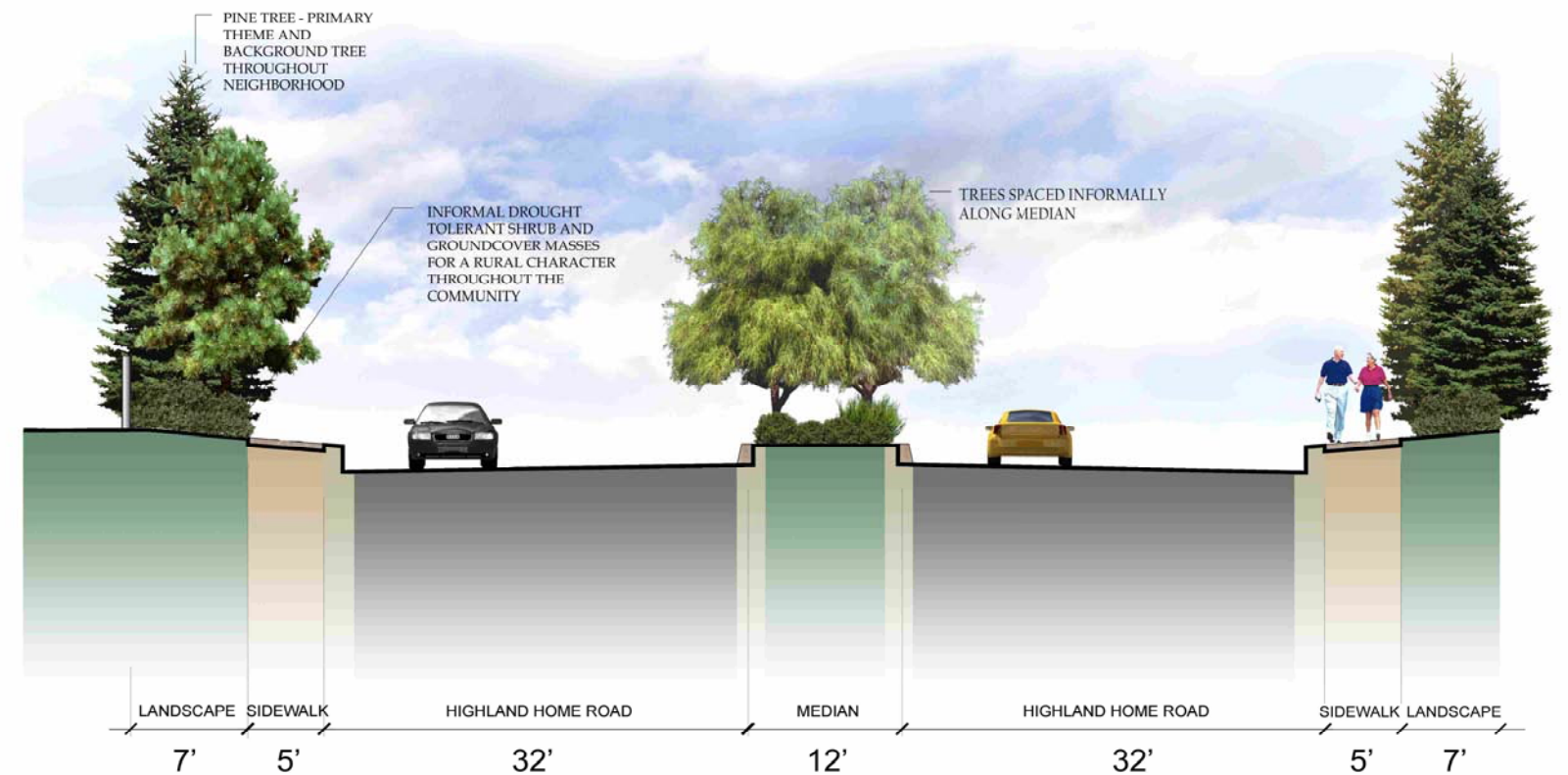


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NOTE: A PAVED PAINTED MEDIAN WILL BE USED WHERE APPROPRIATE DUE TO LIMITS IN MEDIAN WIDTH. A RAISED LANDSCAPED MEDIAN WILL ONLY BE USED WHERE FEASIBLE.

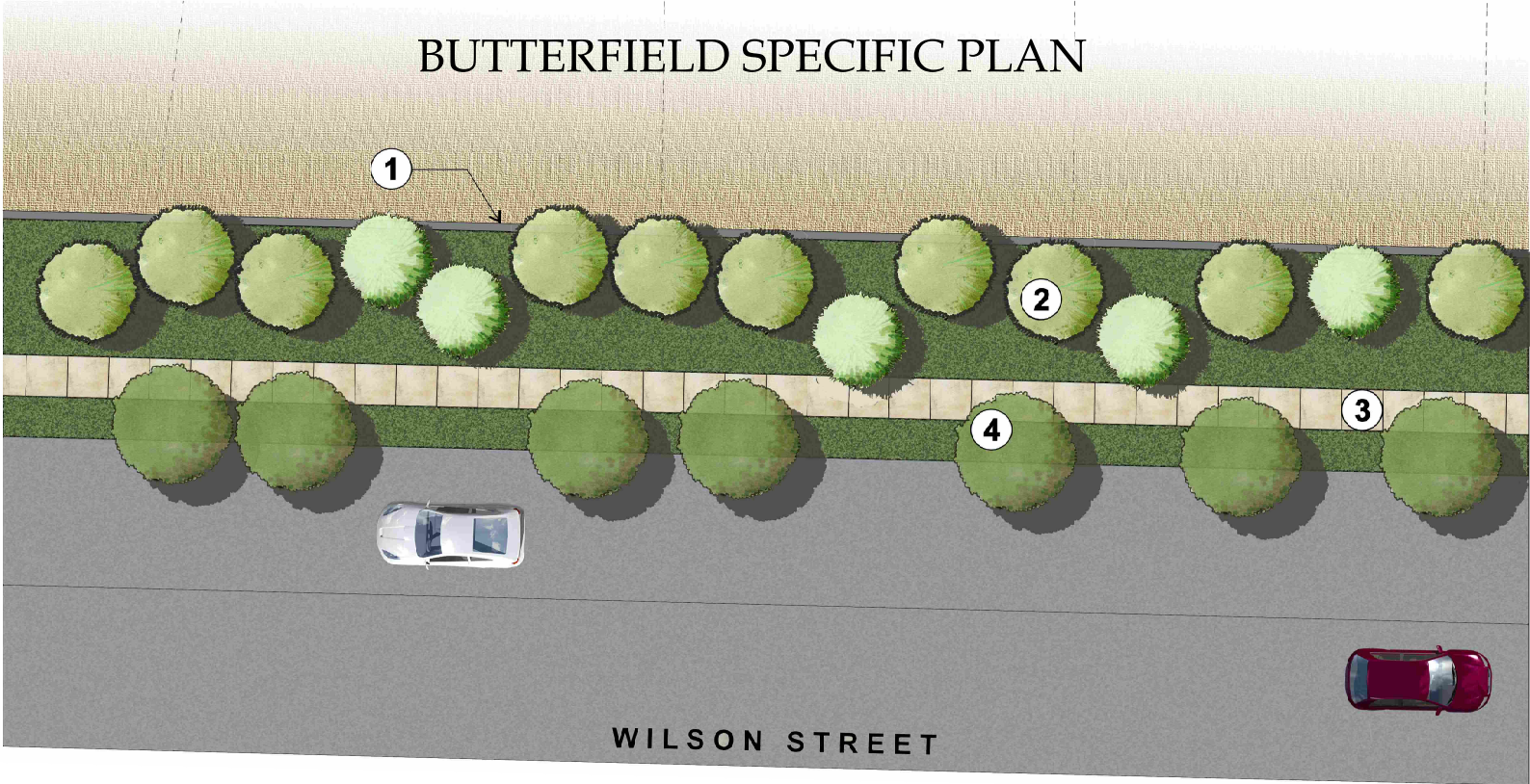
WHERE ADEQUATE RIGHT-OF-WAY EXISTS, SIDEWALKS OFFSET FROM THE CURB MAY BE USED.



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Streetscape Concept Plan View and Section - Highland Home Road (North of F Street)

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LEGEND

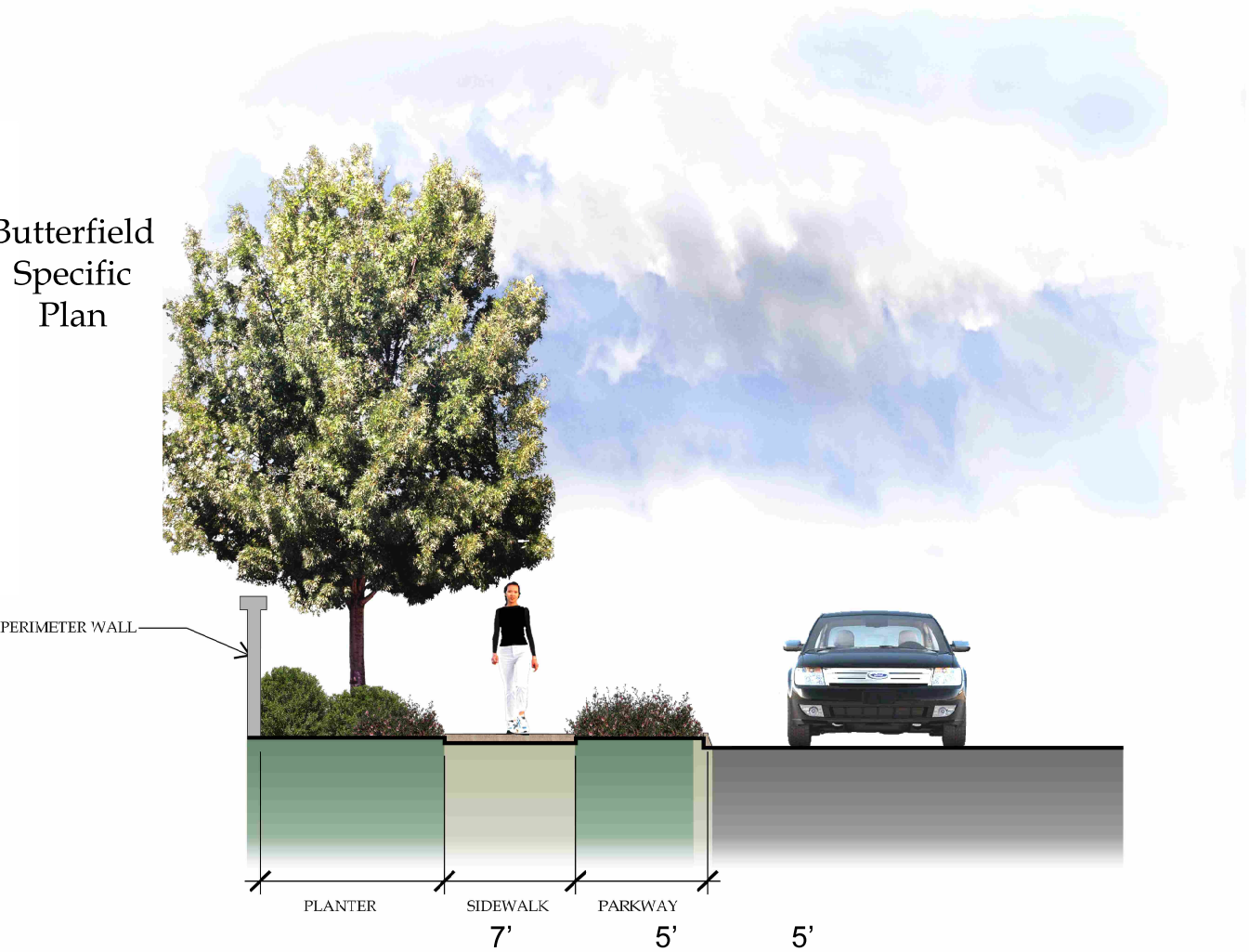
- ① PRODUCTION WALL
- ② BACKGROUND TREE
- ③ SIDEWALK
- ④ STREET TREES

NOTES: This section of Wilson Street is the north side from Highland Springs Avenue to proposed C Street.

These dimensions are typical of the main westerly length of Wilson Street within the Specific Plan area. For the easterly extent of Wilson Street, from approximately 475' west of Highland Home Road to Highland Home Road, 3' of landscaping and a 5' sidewalk would be provided between the northernly proposed right-of-way line and the existing curb. Please refer to Exhibit 3.3A for further details.

A raised landscaped median will be added to the Wilson Street fronting the Project site where appropriate as determined by the City Public Works Director.

**Butterfield
Specific
Plan**



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4.3.8 MODEL HOME SITES

Preliminary plans for Model Home sites must be submitted for City approval. The following minimum requirements will apply:

- Model Home Sites must comply with all City, State, Federal, and American Disability Act (ADA) requirements.
- All yards, common areas and open spaces within a model home area, including parking areas, shall be fully landscaped.
- Minimum tree size: 24" box.
- At a minimum, five 24-inch box trees and one 36-inch box tree shall be installed in the front of the Model Home sites in addition to other full landscaping of the site.

4.3.8.1 LIGHTING

Lighting design and placement can animate and enliven a community. Appropriate lighting is essential to create an inviting evening atmosphere while protecting nighttime views. Lighting the night environment, using Dark Sky Association (IDA) principles, includes minimizing glare, obtrusive light and artificial sky glow by limiting outdoor lighting that is misdirected, excessive or unnecessary.

In the Butterfield community consideration shall be taken to respect the rural nature of the area and control sky glow by adhering to the following guidelines:

- All lighting will comply with Dark Sky principles.
- Architectural lighting and landscape accents shall be aesthetically pleasing and non-obtrusive.
- Shielded lights should be utilized throughout the community to reduce light glare.
- All lighting shall be designed and located to reduce power consumption to its lowest practical level, direct light rays toward the unit and be compatible with the lighting on adjacent units.
- Accent lighting should be installed at primary and secondary entry monuments.
- Streetlights shall conform to the overall project theme and City standards.
- All exterior lighting for identification, pools, water features, and landscaping should be subdued and indirect to prevent spillover onto adjacent lots and streets.
- Exposed bulbs, spotlights, and reflectors are prohibited.

4.3.8.2 SIGNAGE

Monument signage containing developer/builder logos and information should be located at the primary entrance. All signage must be compatible with the architectural style of the development and must provide a consistent image that reflects the overall vision of Butterfield. Height and width of the signs should be eye-catching, easy to read and avoid blocking critical lines of sight. Refer to City of Banning Municipal Code for allowed signs within Butterfield.

The following signs will not be permitted:

- Changeable letter signs
- Roof-mounted signs
- Cloth, paper, or fabric signs except as allowed temporary signs

4.3.8.3 SIGNAGE LOCATION AND CONTENT

- Locate signage for easy viewing from fronting streets.
- Use monument signs to address vehicular traffic.
- Pedestrian scale signs are allowed.
- Limit sign information oriented to vehicular traffic.
- Avoid large amounts of sign information using small letters.

The design and location of all signage within the Butterfield Project shall conform to guidelines to be developed for the Master Marketing Program. All planning area sign designs and specifications must be submitted to the City for approval and shall otherwise comply with the Banning Municipal Code.

4.4 COMMUNITY ARCHITECTURE - NON-RESIDENTIAL

The objective of the Non-Residential Design Guidelines is to provide a design framework where developers and designers can express their creativity on individual projects without compromising the overall community character. The key to a successful project is the development of an appropriate architectural image and design palette that conveys that community character. These general guidelines apply to all commercial and community structures within Butterfield.

4.4.1 Guidelines Specific to Community Structures

Community structures, such as the golf clubhouse, recreation buildings and park structures, are considered to be the cornerstones of the community and shall be compatible with the California ranch character of Butterfield. Community structures may use appropriate materials such as, but not limited to, stucco, siding, stone and brick masonry, and decorative wrought iron.

Outdoor trash enclosures, when used, shall be screened from public view and adjacent residences. Trelliswork over the enclosure shall be compatible with the architectural style of the primary building and is encouraged.

4.4.2 Parcels Adjacent to Residential

Commercial and community facility properties adjacent to residential uses should have additional provisions to protect nearby residential uses from excess noise, traffic and glare. The following guidelines will assist in reducing these negative impacts:

- Commercial and community facilities adjacent to residential land use areas may incorporate a six-foot high masonry wall along the property line.
- Solid property line walls are encouraged to have vines or creeping plants .
- Additional landscape is encouraged to be installed as a buffer between the residential and commercial properties.
- When possible, orient buildings and parking lots away from the property line adjacent to the residential lot.
- Deliveries for commercial and community facilities adjacent to residential uses are limited to the hours of 7:00 a.m. to 9:00 p.m.
- Egress points are encouraged to be located away from residential properties.
- Orient architectural and parking lot lighting so that glare is minimized.
- Fuel modification areas or zones shall be created adjacent to residential areas that abut areas designated potential wildland fire areas, including in temporary phased development conditions.

See Exhibits 4.22A – 4.22C for residential interface concepts with commercial, school and open space areas.

4.4.3 Massing

- In general, building forms and masses should be compatible with the architectural style of the building.
- Massing should be compatible with the community theme of California ranch.
- Building massing should express the organization and volumes within the buildings, avoiding artificial layering of elements, pop-outs, false gables, etc. except in the case of very large plan forms that may require the addition of elements to break up long wall and roof planes.
- Building mass is encouraged to create, when possible, at least one significant courtyard or plaza protected from prevailing winds and summer sun.

4.4.4 Roofs

Roofs are a dominant architectural element as viewed from across the street and from the surrounding area. The following guidelines should be applied to roofs:

- Roofs should be compatible with the community theme of California ranch.
- Rooflines should be broken into a variety of planes and forms.
- Parapet roofs are a primary solution for commercial/office buildings to provide opportunities for architectural enhancement and transitional heights between buildings.
- Introduce both gable and shed roof forms, as appropriate to the character of the architecture, to add variety and interest to the street scene.
- Architectural elements that add visual interest to the roofs are encouraged, where appropriate to the style.
- Roof materials such as flat concrete tile are encouraged.
- Roof mounted solar panels are acceptable.
- Roof materials not permitted include:
 - Wood shakes
 - Standard composition shingles
 - Bright or reflective materials (except solar panels)

4.4.5 Façade Treatment and Materials

- Primary façade elements include windows, doors, wall surfaces, pitched roofs and articulated cornices.
- The architectural treatment of the front façade and its major features should be continued around primary exposed sides of the building.
- The use of natural or natural-looking materials that suggest a connection to the land and its history are strongly encouraged.
- Provide a sense of variety and spontaneity in the streetscene to avoid monotony and repetition. For example, glass storefront displays and frequent entries also provide variety and interest.
- Wall materials used in an elevation must be compatible with the architectural style.
- Material changes must occur at logical articulations of the building wall, including inside corners.
- Heavy forged iron details used as handrails, light fixtures or hardware are strongly encouraged.

4.4.6 Windows

- Window styles should be designed in keeping with the architectural character of each building.
- Vary window header and sill heights, patterns, spacing and framing details.
- To a reasonable extent, upper-story windows should be vertically aligned with the location of windows and doors on the ground level.
- Clear and bronze-tinted glass is acceptable. Mirrored surfaces and clear anodized aluminum frames are prohibited.
- Exterior wood may be used but must be finished with paint or solid base stain.
- Horizontal slider windows and mill-finished aluminum are not permitted.
- Window proportions may be square or vertical. Horizontal groupings must be pulled together into compositions of square or vertical forms.
- Size exterior shutters in proportion to the window opening, such that if closed they would cover the window.
- Specialty windows, such as arches, half rounds, quarter circles, diamonds and rounds should be limited in their application.

4.4.7 Awnings/Canopies

- Use awnings or canopies in forms, colors and materials appropriate to the selected building style that add to and enhance the appearance of the streetscene.
- Avoid visual impairment of overall façade composition and unnecessary concealment of architectural features such as cornices, columns, pilasters or decorative details.

4.4.8 Mechanical Equipment

- Exterior components of plumbing, cooling and ventilating systems cannot be mounted on the exterior of any primary building wall.
- Mechanical equipment must be screened by a parapet wall or a similar treatment and be integrated into the architectural design of the building. The screening device must be at least the height of the mechanical equipment.
- Utilitarian drainage pipes on building facades along streets and public spaces must not be exposed. Decorative drainage pipes, where appropriate to the architectural style, are encouraged.

4.4.9 Indoor/Outdoor Spaces

- Indoor/outdoor transitional spaces are a signature element in Butterfield including commercial buildings. Covered, shaded and protected areas create visual depth and interest and provide shelter and appropriate human scaled space for users.
- All buildings, when possible, should utilize one of the following in order to provide for functional outdoor use, gathering and entry places:
 - Arcades
 - Trelliswork
 - Deep overhangs
 - Porches/verandas
 - Courtyards/gardens
 - Plazas/squares

4.5 NEIGHBORHOOD DESIGN

The goal for the design of neighborhoods as set forth in this Specific Plan is to achieve a safe and pleasant neighborhood community featuring varied architecture, and pedestrian-scaled landscapes and walkways that link community elements and amenities.

4.5.1 Neighborhood Plotting

Diversity and variety are important in Butterfield and shall be maintained in the following ways when plotting standard single family homes in the project neighborhoods:

- No home plan may be plotted more than two in a row. Reverse plots of the same plan are acceptable in minimal quantities.
- No adjacent elevations of the same style are permitted.
- Same plans may be plotted on lots across from each other, provided a different elevation style is selected for each unit.
- Identical color schemes must be separated by at least one (preferably two) adjacent lots or across the street.
- Varying the placement of living space and garages in relation to the street can create a more interesting streetscene.

4.5.2 Visible Edges

4.5.2.1 SIDE AND REAR ARTICULATION

The second-story portion of the rear elevation of homes that back onto primary streets, parks, paseos and public open space should include enhanced window treatments and details to avoid a monotonous edge condition. Exterior wall materials, trim and architectural details should be applied to exposed sides of a home that back or side onto a primary street, park, paseo or public open space or golf course.

4.5.2.2 ROOF FORMS

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roofline. Rooflines should include a mix of front-to-rear, side-to-side, gables and hipped roofs and/or by the introduction of a one-story element.

4.6 RESIDENTIAL DESIGN - BUILDER GUIDELINES

The development of successful pedestrian-friendly neighborhoods in Butterfield can be achieved by implementing the following goals:

- Give design integrity and character to the composition of building mass.
- Incorporate single-story elements on two-story buildings where appropriate to style.
- Avoid repetitious designs, colors, elevations and footprints.
- Incorporate rear and side architectural details along primary visible edges, as these views are prominent to neighboring areas.

4.6.1 Residential Landscaping – Front Yard

- The Developer/Builder will provide the homeowner with the option for full front yard landscaping and automatic irrigation systems for all homes subject to City approval.
- Landscape areas shall be automatically irrigated and planted in an appropriate manner, which meets or exceeds current City standards and regulations, industry standards, and shall comply with the design intent and minimum set forth in these guidelines.
- All landscaping shall conform to Chapter 17.32, Landscape Standards, of the Banning Municipal Code.
- All lots shall provide for a minimum of one, 15-gallon front yard tree, and one, 15-gallon accent tree. See Exhibit 4.23 – *Typical Front Yard Landscape Plan*.
- Quality artificial turf is considered acceptable as one component of a complete multi-component landscape approach.

4.6.2 Neighborhood Plant List

The plant list for Butterfield was developed to create varied seasonal interest with a palette of deciduous and evergreen plants, while maintaining a well-balanced landscape. Following is a list of plants chosen for street trees, common area/slope landscape and front yard landscapes.

Trees

ALNUS RHOMBIFOLIA (WHITE ALDER)
ARBUTUS UNEDO (STRAWBERRY TREE)
CEDRUS DEODARA (DEODAR CEDAR)
CINNAMOMUM CAMPHORA (CAMPHOR TREE)
CUPRESSUS GLABRA (ARIZONA CYPRESS)
CUPRESSOCYPARIS LEYLANDII (LEYLANDI CYPRESS)
LAGERSTROEMIA INDICA (CRAPE MYRTLE)

LAURUS NOBILIS 'SARATOGA' (BAY TREE)
MAGNOLIA SPECIES (MAGNOLIA)
MELALEUCA LINARIFOLIA (FLAXLEAF PAPERBARK)
PINUS ELDARICA (ELДАРICA PINE)
PINUS HALEPENSIS (ALEPPO PINE)
PLATANUS ACERIFOLIA 'BLOODGOOD' (LONDON PLANE TREE)
PLATANUS RACEMOSA (CALIFORNIA SYCAMORE)
POPULUS SPECIES (POPULAR)
PRUNUS CAROLINIANA (CAROLINA CHERRY)
QUERCUS AGRIFOLIA (COAST LIVE OAK)
QUERCUS VIRGINIANA (LOUISIANA LIVE OAK)
RHUS LANCEA (AFRICAN SUMAC)
SCHINUS MOLLE (CALIFORNIA PEPPER)

Shrubs/Groundcover

ACACIA REDOLANS 'DESERT CARPET' (PROSTRATE ACACIA)
AGAVE AMERICANA (CENTURY PLANT)
ARBUTUS UNEDO 'COMPACTA' (DWARF STRAWBERRY TREE)
BACCHARIS PILULARIS 'TWIN PEAKS' (COYOTE BRUSH)
CALLISTEMON 'LITTLE JOHN' (DWARF BOTTLEBRUSH)
CISTUS SPECIES (ROCKROSE)
DIETES BICOLOR (FORTNIGHT LILY)
ECHIUM FASTUOSUM (PRIDE OF MADEIRA)
EUONYMUS J. 'MICROPHYLLA' (BOXLEAF EUONYMUS)
FESTUCA O. 'GLAUCA' (BLUE FESCUE)
JUNIPERUS SPECIES (JUNIPER)
LAVANDULA SPECIES (LAVENDER)
LAVATERA ASSURGENTIFLORA (TREE MALLOW)
LIGUSTRUM TEXANUM (WAXLEAF PRIVET)
MUHLENBERGIA RIGENS (DEER GRASS)
PITTOSPORUM SPECIES (TOBIRA)
PYRACANTHA SPECIES (FIRETHORN)
RAPHIOLEPIS SPECIES (INDIA HAWTHORNE)
ROMNEYA COULTERI (MATILIJIA POPPY)
ROSMARINUS SPECIES (ROSEMARY)
SALVIA SPECIES (SAGE)
SESLERIA AUTUMNALIS (SESLERIA)
SISYRINCHIUM BELLUM (BLUE-EYED GRASS)
STYPA (MEXICAN FEATHER GRASS)
TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)

- Quality artificial turf is considered acceptable as one component of a complete multi-component landscape approach.

4.6.3 Area Specific Plant Palettes

4.6.3.1 PLANT PALETTE FOR GOLF COURSE

See Exhibit 4.9A – *Golf Course Conceptual Landscape Plan* for plant list specific to Golf Course.

4.6.3.2 PLANT PALETTE FOR HABITAT RESTORATION AND MITIGATION AREAS

The plant palette used for native habitat and riparian restoration areas for mitigation purposes is subject to the review and approval of state and federal regulatory agencies pursuant to the permit approvals issued by these agencies.

4.7 NEIGHBORHOOD WALLS AND FENCING

The wall and fence design criteria is intended to provide continuity of design within the Butterfield community. All wall and fence heights are measured from the highest-grade elevation on either side of the wall or fence.

Side yard, rear yard or other privacy walls along block end conditions of a neighborhood, or facing any street, shall be constructed of masonry block. Fence returns from a side property line to the house may be constructed of masonry wall or vinyl fencing. These should occur within the front 50% of the building footprint. Combination retaining and privacy wall at block end conditions may be used. See Exhibit 4.24 – *Conceptual Wall & Fence Details*.

4.7.1 Front Yard Fencing and Walls

- Fencing and walls may not exceed 42-inches in height when located within the required front yard setback.
- Fencing and walls between the edge of the setback and a dwelling unit shall not exceed **(six), 6-feet** in height, and may be solid or transparent.

4.7.2 Side Yard Fencing

- Side Yard fencing is permitted to a maximum height of **(six) 6-feet** between the front yard setback and rear yard property line.

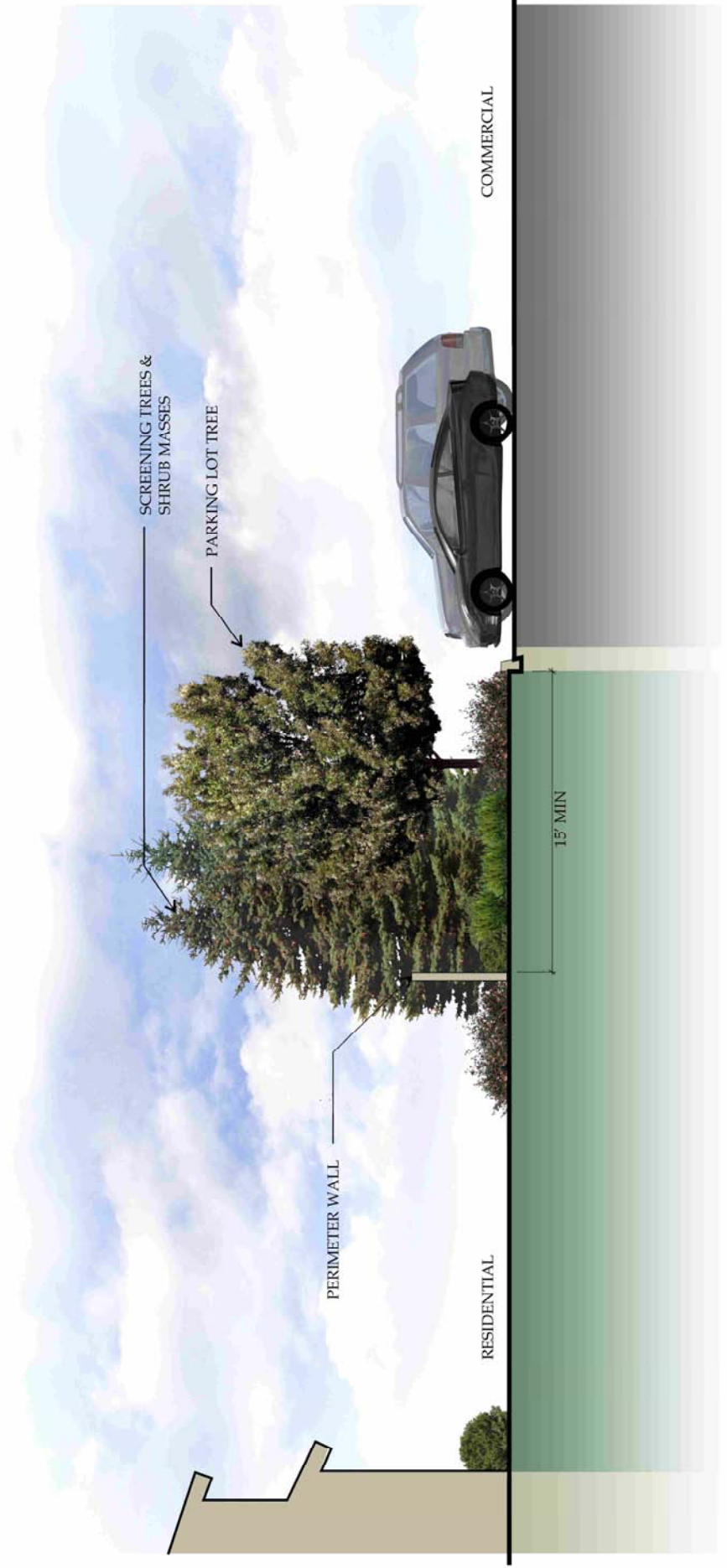
4.7.3 Rear Yard Fencing

- Rear Yard fencing along rear yards and top of slope shall be a maximum of **(six), 6 feet** in height.

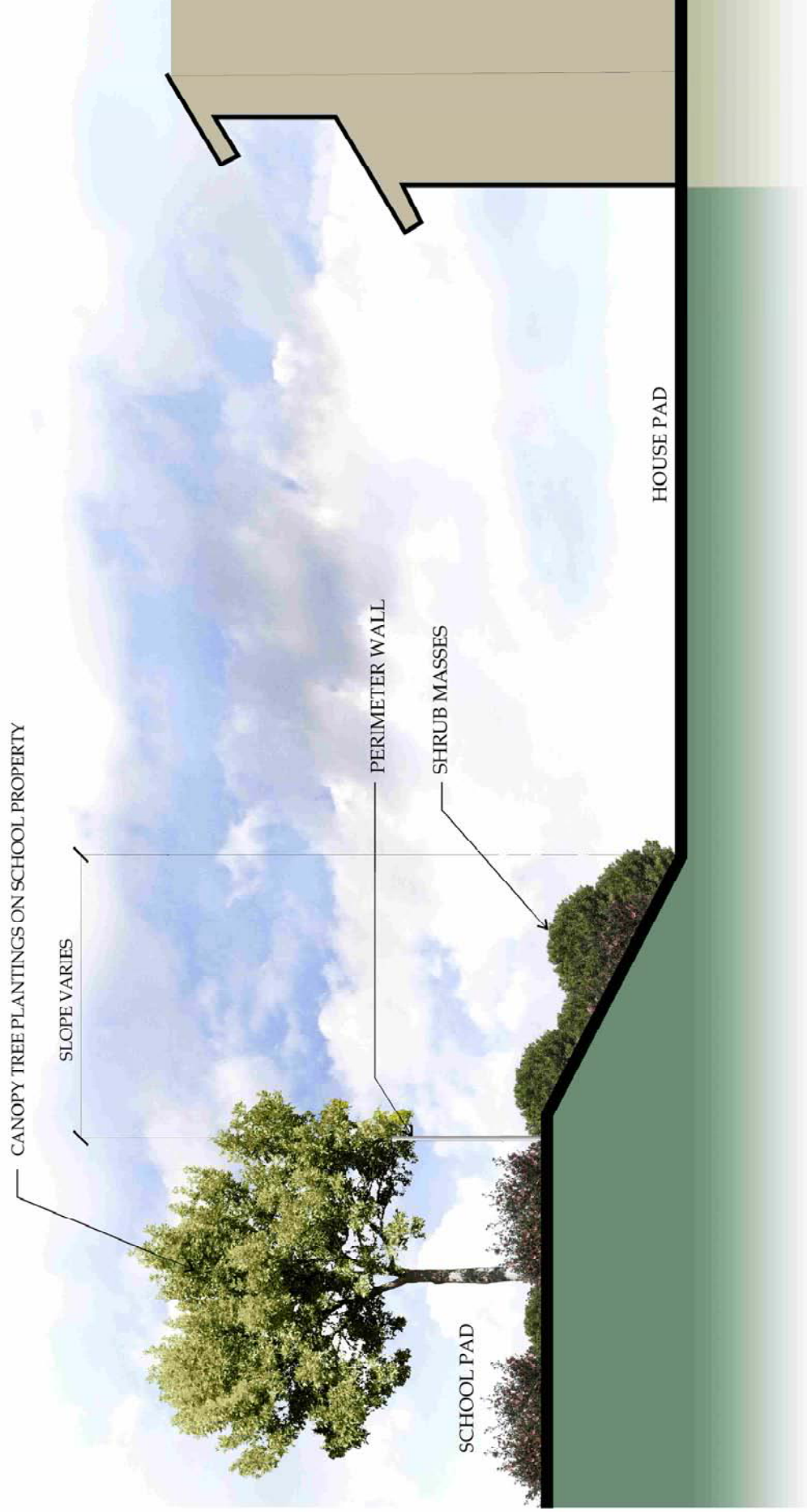
4.7.4 Sound Attenuation Walls

- Solid walls located in side and rear yards may exceed **(six) 6-feet** in height when sound attenuation is required.

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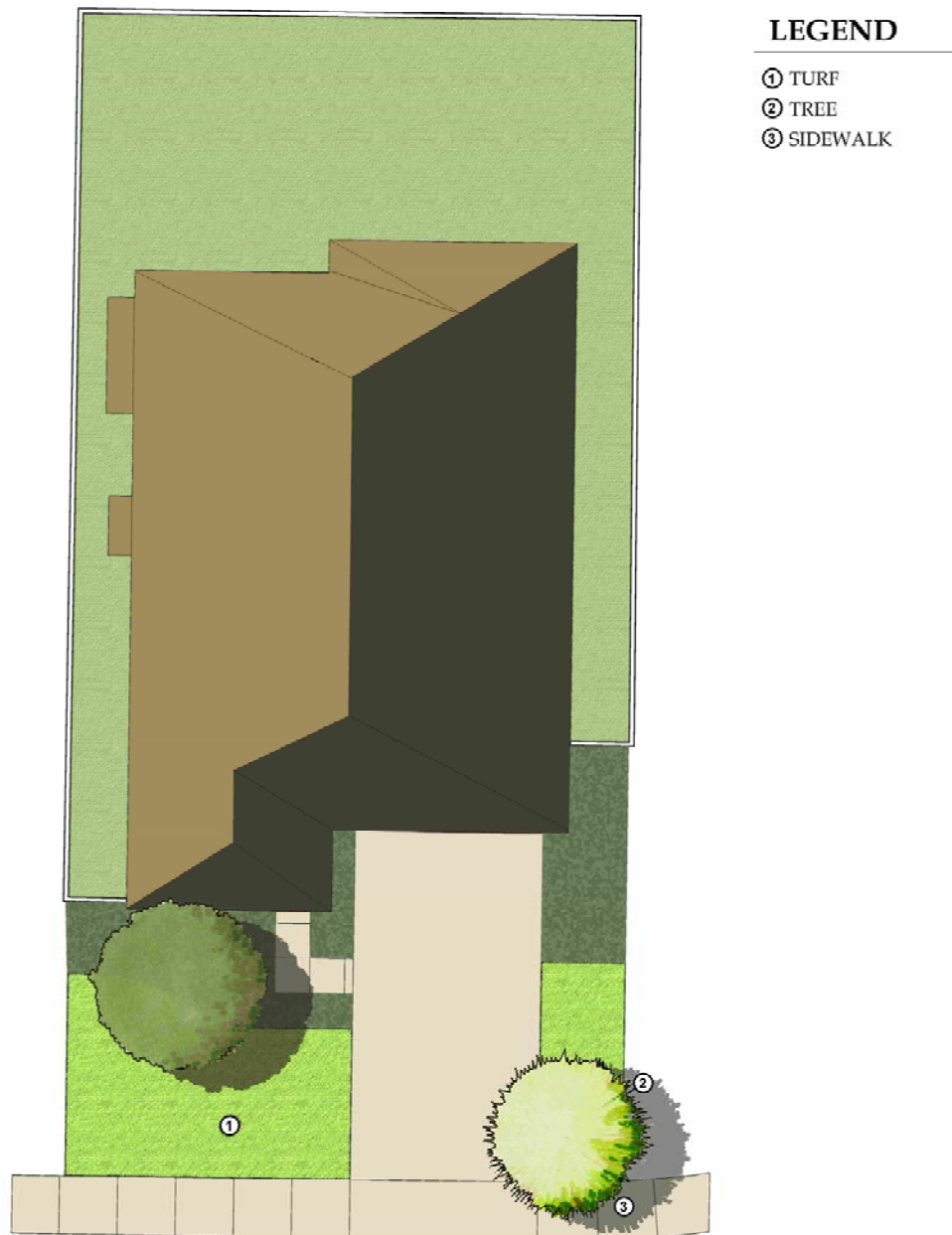


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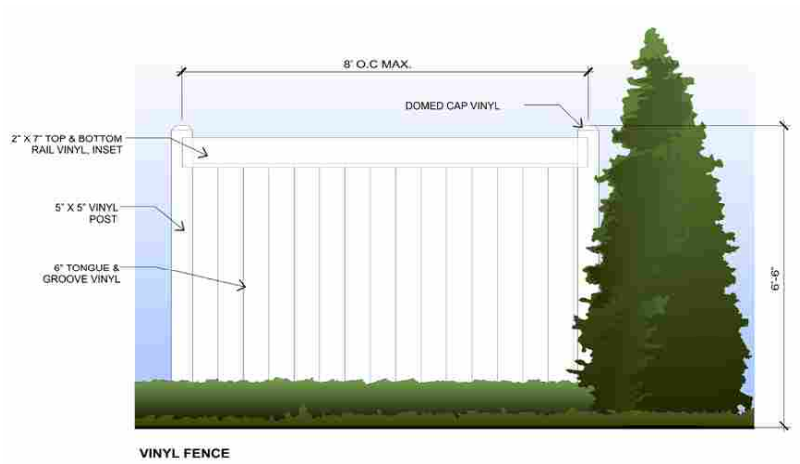
The front yards and side yards visible from the public right-of-way, of all residential subdivisions shall be landscaped with trees, shrubs and groundcover. At minimum, each front yard shall include one 15-gallon front yard tree, one 15-gallon accent tree and sufficient shrubs and groundcover to provide full coverage within 2 years of installation.

Plant materials should be spaced so they do not interfere with lighting, and so they do not restrict access to fire hydrants. Proper spacing should insure unobstructed access for vehicles and pedestrians. The following spacing standards should be used:

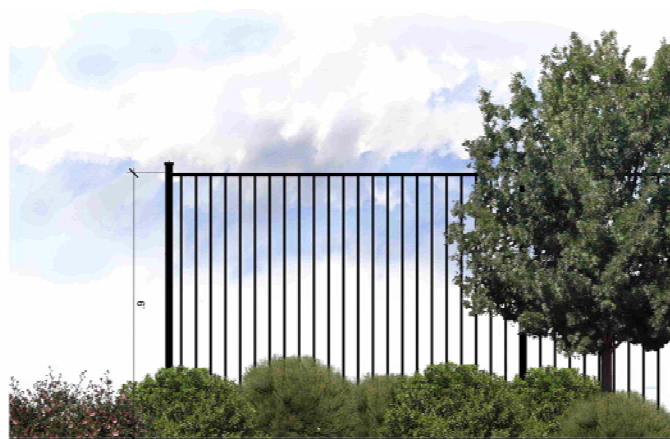
- 25 feet from the property corner at a street intersection to the center of the first tree or large shrub
- 15 feet between trees and large shrubs
- 15 feet between trees or large shrubs and fire hydrants
- 5 feet between trees or large shrubs and the edge of any driveway



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VINYL FENCE



TUBULAR STEEL FENCE



CMU BLOCK WALL

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4.8 RESIDENTIAL ARCHITECTURAL DESIGN

Quality architecture is a key element of great and memorable neighborhoods. Materials, building forms, roofs, colors and materials are inspired by those located in Banning and the surrounding region. The primary elements of an architectural style are its massing and roof forms. In order to accurately represent the selected architectural styles, these and other style elements are described in the *Architectural Styles* section of these guidelines.

4.8.1 Home Entries

The entry of residential dwellings shall be articulated as a focal point of the building's front elevation. Entries should be sheltered in order to create a welcoming appearance, promote individuality and increase privacy.

4.8.2 Home Architecture Articulation

Architecture articulation of all sides of homes visible from roadways inside and outside the Specific Plan area is important in creating attractive neighborhoods and street scenes. In these instances there shall be additional architectural features provided such as:

- Enhanced window treatments, and/or
- Continuation of building materials to match the front elevation

4.8.3 Indoor/Outdoor Spaces

Indoor/outdoor transitional spaces are a signature element in Butterfield. Covered, shaded and protected areas create visual depth and interest, as well as providing shelter and appropriate human scaled space for users.

Homes are encouraged to utilize functional outdoor gathering and entry places. Examples of these are:

- Porches or Balconies
- Patio Covers
- Trelliswork
- Arcades

4.8.4 Porches and Balconies

Porches or balconies are encouraged on front elevations to provide transitional spaces and add further visual interest to the street scene. The design of these elements should be consistent with the architectural style of the residence and must meet all setback requirements.

4.8.5 Patio Covers

Patio covers shall be treated in one of the following ways:

- Sloping roof element with roof tile matching the home
- Flat roof with parapet, where appropriate to style
- Trellis element
- Columns should be proportionate to the roof and convey a sense of strength and support.

4.8.6 Courtyards

The use of a courtyard provides the opportunity to enhance outdoor space or provide a semi-enclosed living space outdoors. Courtyards are encouraged as an extension of interior living space or provide a shaded or protected transitional space between the interior and outdoors.

4.8.7 Trellis and Arbors

Trellises and arbors are encouraged to enhance the architectural character of residential and overall community design. When used, they must be designed and constructed with long-term durability and appearance in mind.

4.8.8 Accessory Structures

When provided, all such accessory structures must be compatible in massing, design, materials and color to the primary building or residence. The height of any accessory structure shall not be greater than 14 feet.

4.9 ARCHITECTURAL DETAILS

4.9.1 Shutters

The shape and size of shutters should be proportionate to the window opening.

4.9.2 Chimneys

The design of chimneys should be compatible with the architectural style of the building. Exposed spark arrestors are not an allowed design element and must be provided with a more decorative cap.

4.9.3 Skylights

Skylights are permitted, but should be designed as an integral part of the roof. White “bubble” skylights are not permitted. Skylight frame material should be bronze anodized or match the adjacent roof color as closely as possible.

4.9.4 Gutters and Downspouts

Gutters and downspouts that are utilitarian in design should match the adjacent building surface color as closely as possible. When gutters and downspouts are used as an architectural enhancement, they may contrast in a style-appropriate, color or finish.

4.9.5 Photovoltaics

Photovoltaics or solar panels, if used on the roof, shall be integrated into the roof design.

4.9.6 Mechanical Equipment

Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such similar devices shall not be mounted on any roofs. Every effort should be taken to conceal television and radio antennas from public view, especially along paseos, golf course and major streets.

4.9.7 Vents

'B' type vents for gas appliances, water heaters, and heating units shall be painted to match the roof color. Such elements shall be located to minimize visual impact to building elevations.

4.9.8 Architectural Lighting

- Exterior lighting should only be used for outdoor living spaces, entries porches, courtyards and patios.
- Exterior lighting shall be shielded to minimize glare and light spill onto adjacent properties and streets. All lighting sources shall be stationary and have appropriate intensity for a residential use.
- The type and location of building lighting should preclude direct glare onto adjacent property, streets, or skyward and shall not spill onto adjacent properties

The design of the exterior lighting fixtures shall be appropriate to the style and character of the home. For example, a Craftsman style home shall use a Craftsman style light fixture.

4.10 CLUSTER HOMES (MEDIUM DENSITY RESIDENTIAL)

Cluster homes are higher density, detached, single-family homes oriented toward a common motor court, drive, or 'green court' area. These homes have private yards at sides or rear and may share a common vehicular access drive, green court or green belt paseo.

A motor court cluster typically has four to eight homes oriented toward a central "T" motor court. All homes have entries oriented towards the motor court or the front street. The private yards are located to the rear and sides of the home.

A green court cluster typically has four to eight homes oriented toward a common open space, or "green court". A stub alley at the rear of the home provides vehicular access to these homes. Private yards are located at the rear or sides of the home.

A stub street cluster typically has four to eight homes oriented toward a common stub street at the front of the homes. This provides vehicular and pedestrian access to these homes from the front street side. Private yards are located at the rear or sides of the home.

4.10.1 Additional Guidelines for Cluster and Attached Homes

As cluster and attached homes often share common service elements such as trash enclosures and mailboxes the following additional guidelines are required for these home types.

4.10.2 Trash Enclosures

Where common trash enclosures are used, the following guidelines shall apply:

- Areas used for trash and recycling bins shall be concealed from public view with decorative masonry walls and caps.
- Enclosures shall be provided to accommodate the numbers and type of trash containers as required by the disposal company.
- It is encouraged for enclosures to be positioned away from the edges of the neighborhood to minimize impact on adjacent properties.
- Enclosures shall be consistent with the overall architectural character of the development.
- All trash enclosures shall be gated.
- Lighted pedestrian access is required at each enclosure.

4.10.3 Mail Boxes

All mailboxes must be clustered and screening elements require approval from the local Postmaster.

4.11 ATTACHED HOMES (HIGH DENSITY RESIDENTIAL)

By the very nature of the product, attached home neighborhoods are much like small villages, or communities. The following general concepts should be considered when planning for and designing attached homes: see development standards section for additional criteria.

- Individual elevation or building colors should be selected from an overall community color palette to avoid a clash.
- Wherever possible locate attached housing adjacent to or near public facilities, open space or community amenities.
- Design and site buildings with a strong physical relationship to public areas of the community.
- Emphasize pedestrian access and connections to public sidewalks, trails and open space systems when preparing site plans.

4.11.1 Townhomes

Attached townhomes are higher density, side-attached oriented either toward the street front, a common motor court or common 'green court' area. These homes typically have semi-private courtyards and may share a common green court or open space in each module or neighborhood.

4.11.2 Building Massing

- Minimize building "ends" and blank, singular planes oriented toward public views. Provide some architectural elements on primary elevations.
- Consider intended styles in conjunction with the development of building plans, massing forms, elements, details, and color.
- Carefully consider the building massing, details, and color, in developing an appropriate architectural character for the project.

4.11.3 Single Story Elements

Single story elements are encouraged on all homes to establish pedestrian scale and add variety to the street scene. This is especially important on larger attached buildings where inadequate articulation of mass tends to produce monotonous, single planes. Single story elements may include elements such as interior living spaces, porches and entries. The addition of such elements helps to provide a transitional space between public and private space.

4.11.4 Entries

Entries should create an initial impression, locate and frame the doorway, act as an interface between public and private spaces and further identify individual unit entries.

- Wherever possible, site plans should orient the front door image and principal access toward the public street or entry courtyard.
- Incorporate appropriate roof elements, columns, feature windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways.
- If front entry location is not immediately obvious due to building configuration, direct and draw the observer to it with added elements such as lighting and landscape.

4.11.5 Windows

Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of multi-family buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition.

- Where appropriate to style and window form, use of multi-paned windows is encouraged.
- Use appropriate scale and proportion in window design to enhance the elevation style.

4.11.6 Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element.
- Design balconies as integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design.
- Avoid designing plans with balconies that attach side by side.

4.11.7 Community Recreation and Common Facilities

Attached home neighborhoods may include common recreation facilities such as pools, spas, club houses, management offices, barbecues or other facilities appropriate to the demographic profiles identified for the community by the master developer.

- If included, common recreation facilities shall be key character elements for the neighborhood.
- Architectural and community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall character for the neighborhood.
- Colors, massing, roof pitch and materials shall be compatible with the project theme.

4.11.8 Trash Enclosures

Where common trash enclosures are used, the following guidelines shall apply:

- Areas used for trash and recycling bins shall be concealed from public view with decorative masonry walls and caps.
- Enclosures shall be provided to accommodate the numbers and type of trash containers as required by the disposal company.
- It is encouraged for enclosures to be positioned away from the edges of the neighborhood to minimize impact on adjacent properties.
- Enclosures shall be consistent with the overall architectural character of the development.
- All trash enclosures shall be gated.
- Lighted pedestrian access is required at each enclosure.

4.11.9 Mail Boxes

All mailboxes must be clustered and screening elements require approval from the local Postmaster.

4.12 ARCHITECTURAL COLORS AND MATERIALS

The effective use of colors and materials will further define and enhance the community structures and homes in Butterfield. Variety in texture, hue and value is required in harmonious combinations.

Detail elements such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features should be finished in a color that is consistent with its architectural style. Building details such as flashing, pipes and vents should either be detailed as an enhancement or painted to match the building surface so as to virtually disappear.

4.13 ARCHITECTURAL STYLES

Architecture within Butterfield is intended to reflect the architectural heritage of Southern California and Banning as a distinctive imaging and place-making strategy for the community. An important goal in this community is to develop varied and interesting street scenes.

Neighborhoods will be comprised of a variety of architectural styles. The architectural styles within Butterfield will reflect the heritage of California's early towns (Including Banning). Below are the selected architectural styles Builders may choose from:

- California Ranch
- Butterfield Americana
- Western Farmhouse
- California Craftsman
- Butterfield Cottage
- Southwest Prairie
- Santa Barbara
- Napa
- Monterey

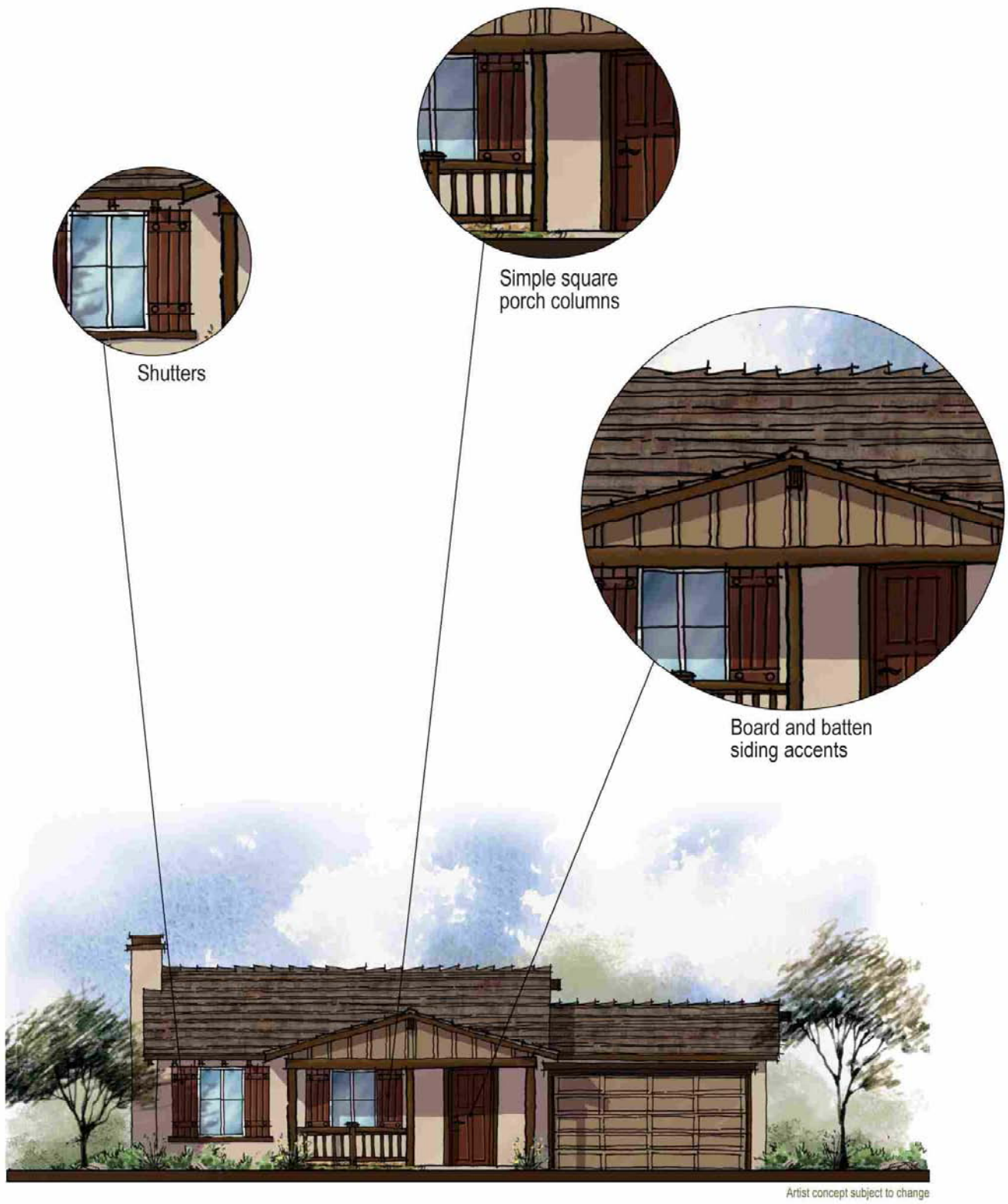
On the following pages, including Exhibits 4.25 – 4.33, each architectural style is defined by the typical characteristics of that style. Suggested enhancements include elements that help to further define the character of each style and are meant as an elective by the homebuilder.

4.13.1 California Ranch

Typical style characteristics

- One- or two-story asymmetric form
- Low-pitched roof, 4:12 to 5:12

- Gable or hip roof forms
- 6 to 12-inch overhangs at rakes; 12- to 24-inch overhangs at eaves
- Rectangular, multi-light windows
- Simple wood-appearing trim on front and visible windows
- Front porch
- Minimum 6x6 post,
- Shutters on feature windows on front elevations
- Flat, shake-textured concrete tiles
- Stucco finish
- Board and batten siding used as an accent at gable end porch roof



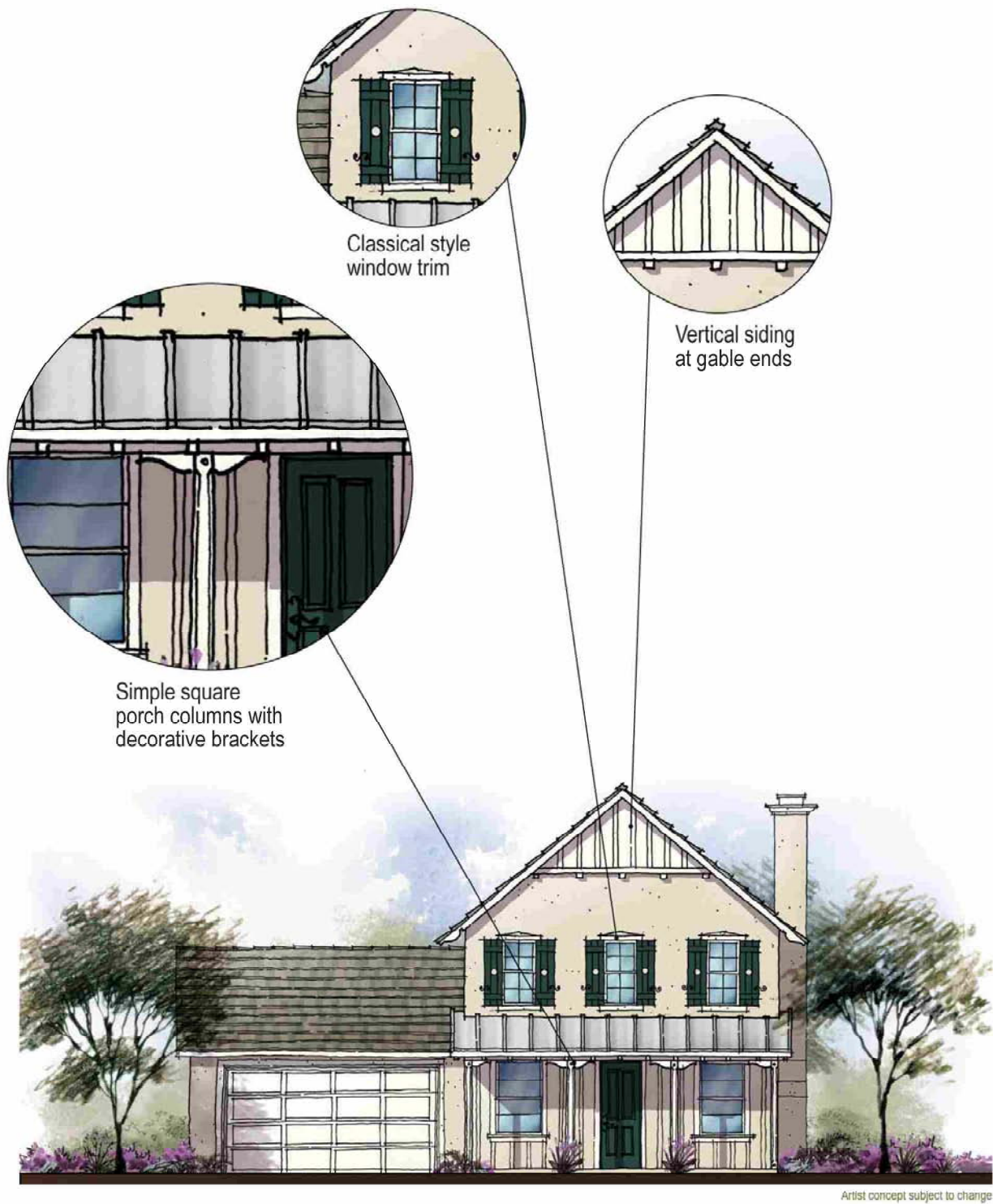
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4.13.2 Butterfield Americana

Typical style characteristics

- Rectangular or 'L' shaped plan form
- Main gable roof with intersecting gable roofs
- Roof pitch range varies from 4:12 to 12:12
- 6- to 12-inch overhangs at rakes, 18- to 24-inch overhangs at eaves
- Rectangular, vertically-oriented windows
- Decorative brackets on porch posts
- Plank style shutters
- Smooth, flat concrete roof tiles or architectural grade composition shingles
- Stucco finish
- Vertical wood-appearance siding as an accent on first-story front elevation

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Butterfield Americana Elevation and Details

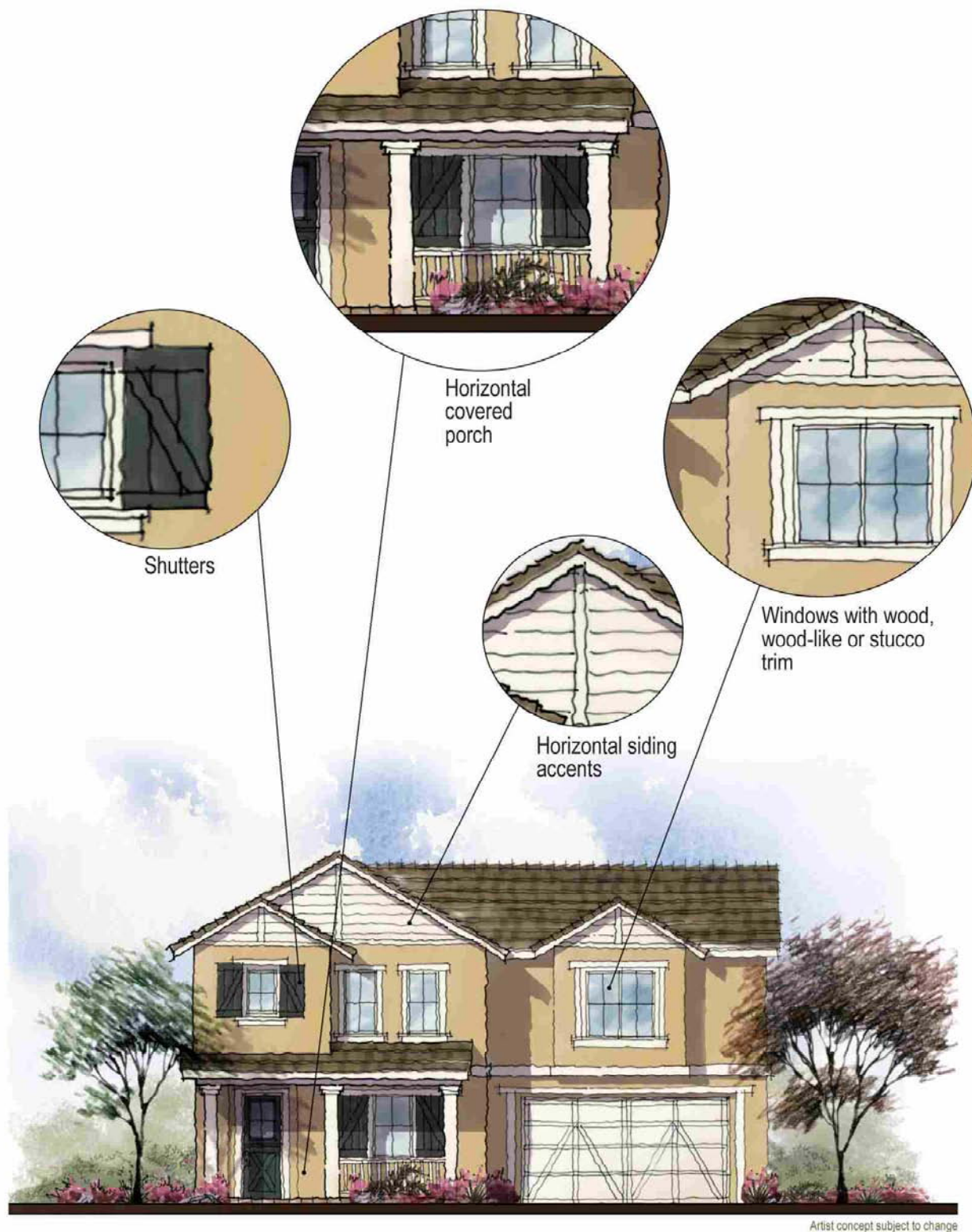
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4.13.3 Western Farmhouse

Typical style characteristics

- Simple plan form massing and simple roof design
- Primary gable roof with intersecting, gable and shed roofs
- 4:12 to 8:12 roof pitch
- 8- to 12-inch overhangs at rakes; 12- to 18-inch overhangs at eaves
- Vertically oriented, multi-light, windows
- All visible and front elevation windows have wood-appearance trim or stucco trim
- Shutters on accent windows
- Covered porch at entry
- Flat, shake-textured concrete roof tiles or architectural grade composition shingles
- Stucco finish
- Horizontal lap siding accent at gable ends, pop-outs and/or second story elements

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Western Farmhouse Elevation and Details

EXHIBIT 4.27

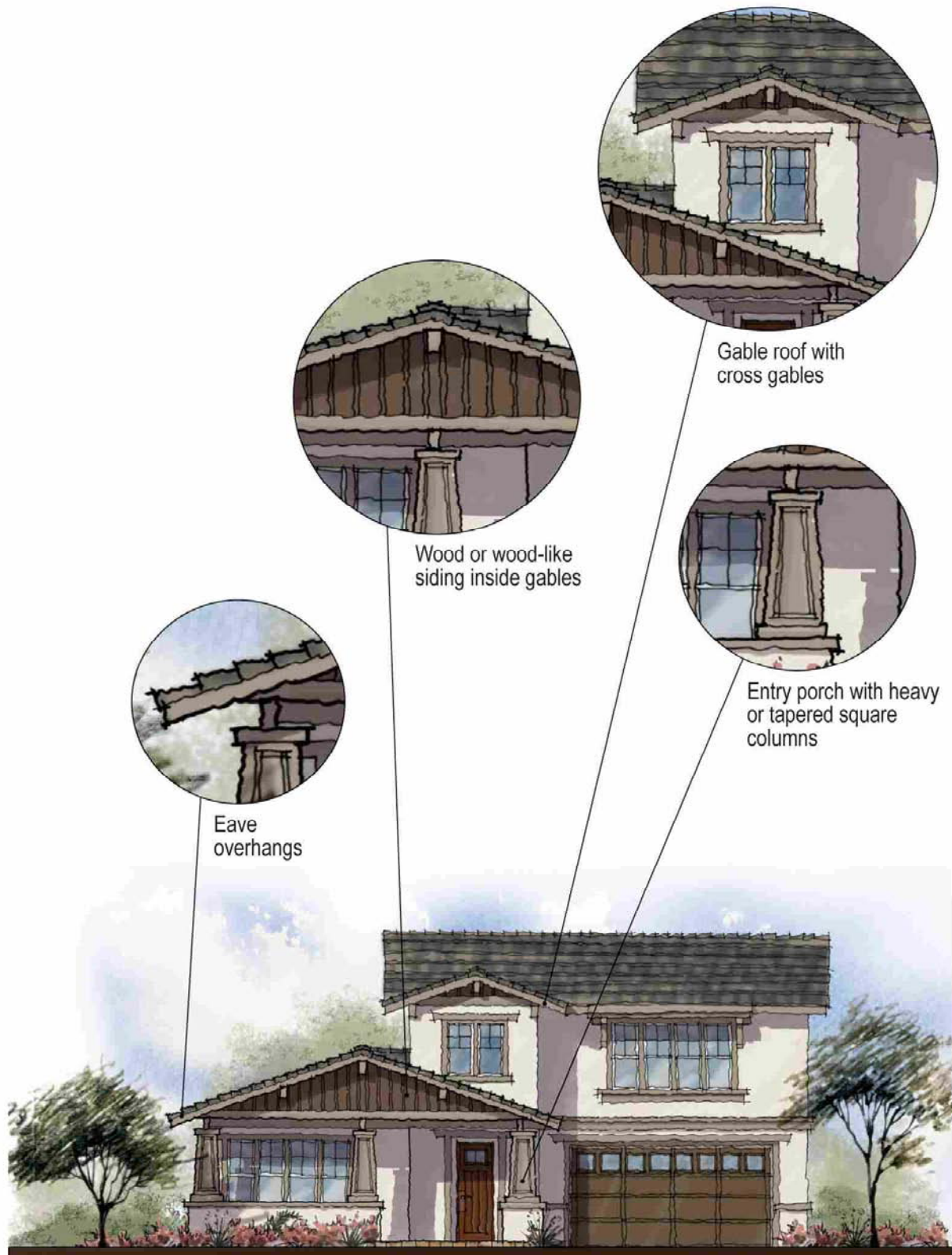
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4.13.4 California Craftsman

Typical style characteristics

- Simple one or two-story massing with vertical and horizontal breaks
- Basic gable roof with cross gables
- 3 1/2:12 to 5:12 roof pitch
- 12- to 18-inch overhangs at rakes; 18- to 24-inch overhangs at eaves
- Vertically hung upper-divided windows on front elevations
- Covered entry
- Heavy, square or tapered porch columns or posts on piers
- Shaped, wood-appearing header trim at windows and doors
- Architectural grade composition shingles or concrete roof tiles
- Stucco finish
- Wood-appearance siding at gables on front elevation

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Artist concept subject to change

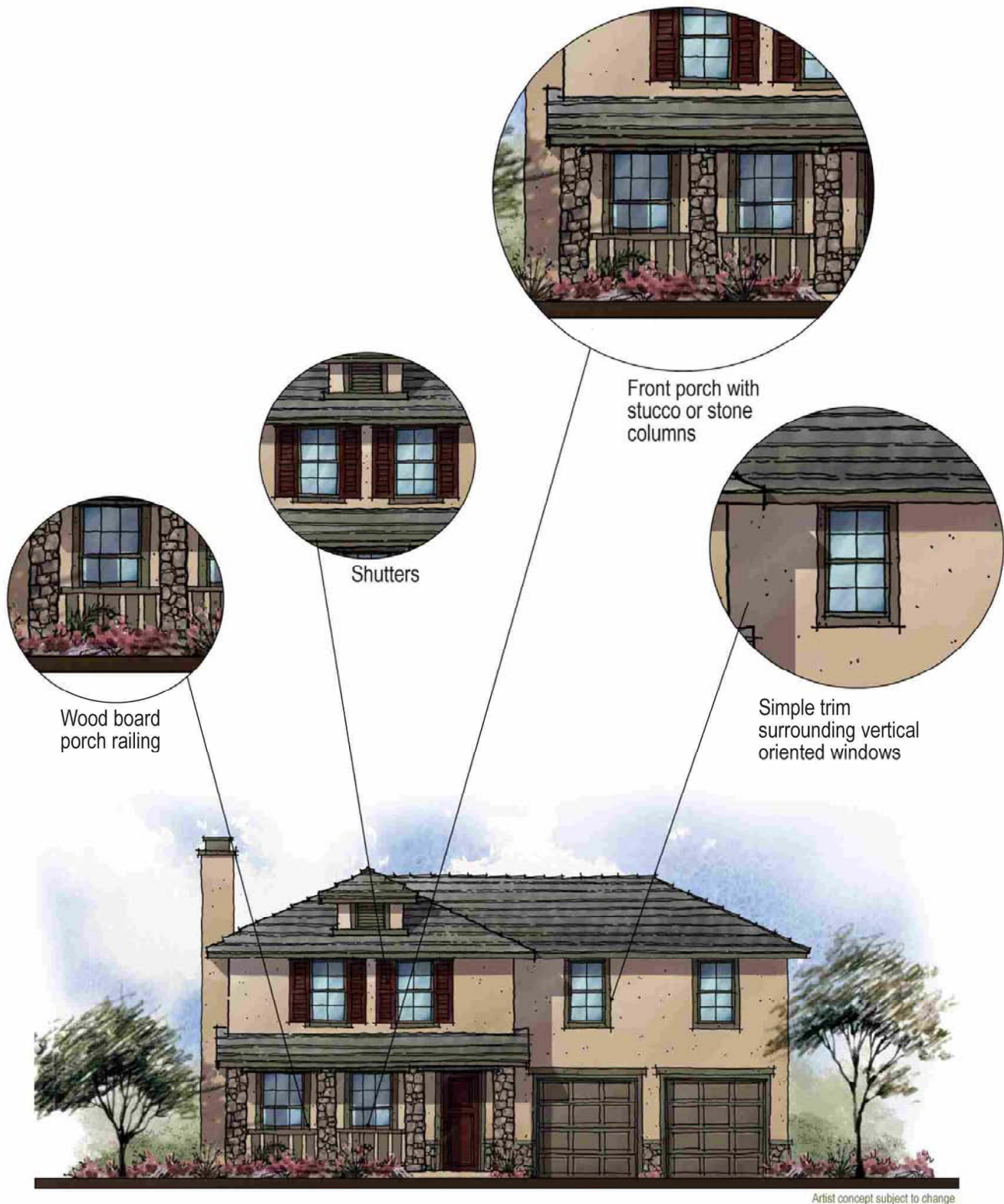
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4.13.5 Butterfield Cottage

Typical style characteristics

- Rectangular or “L” shaped plan form
- Hip roof only on primary focal massing
- Intersecting roofs may be hip or shed
- 5:12 to 12:12 roof pitch
- Tight to 6-inch overhangs at rakes, 12 to 18-inch overhangs at eaves
- Rectangular, vertically oriented windows
- Covered entry
- Shutters on front
- Wood-appearance trim or stucco over foam trim (colored to simulate wood-appearance) surrounding doors, windows and over openings
- Flat, smooth, concrete roof tiles
- Stucco finish
- Rusticated stone veneer accents

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Butterfield Cottage Elevation and Details

EXHIBIT 4.29

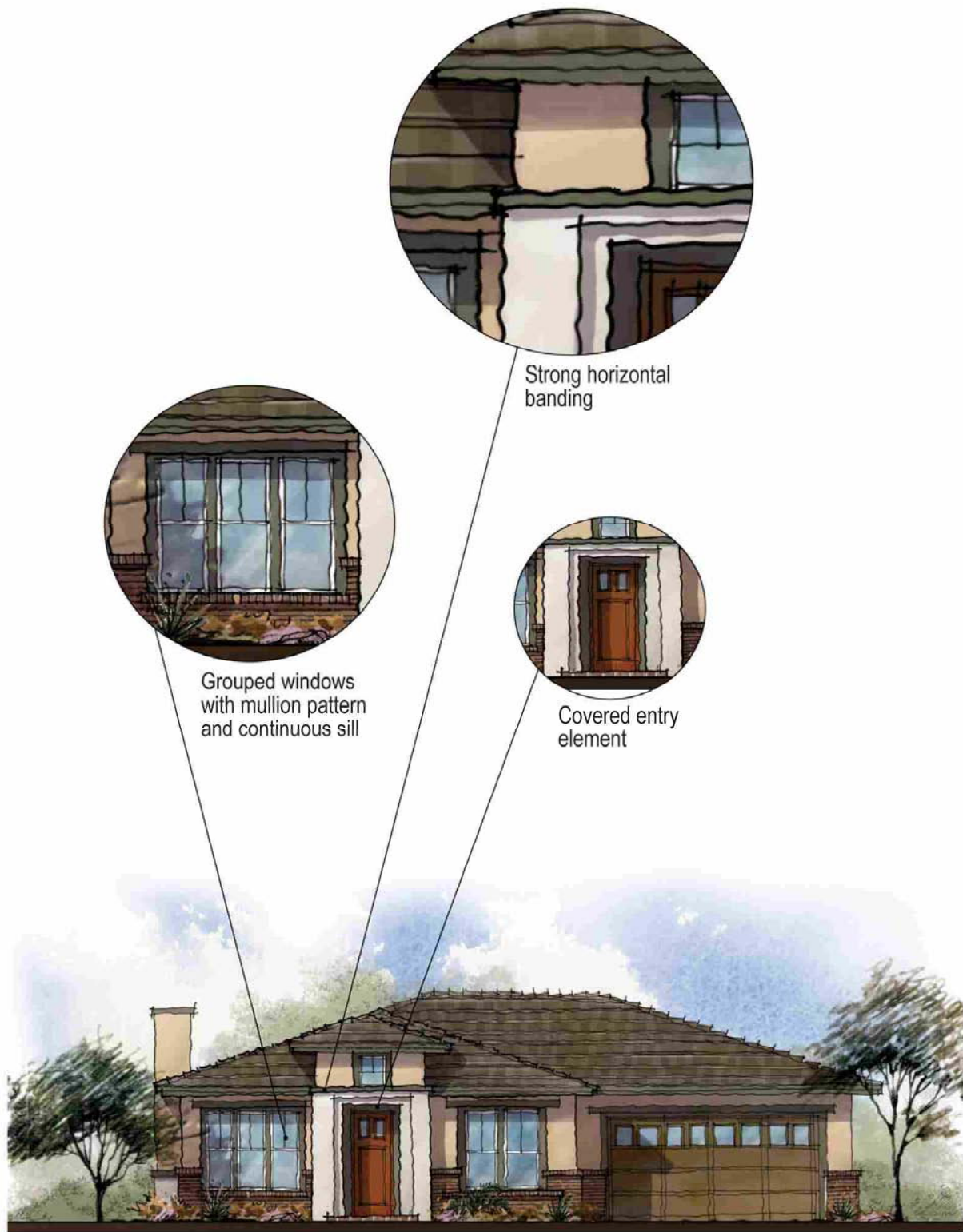
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4.13.6 Southwest Prairie

Typical Style Characteristics

- One-story massing with recessed second-story where possible
- Strong single-story elements
- Primarily hip roofs
- Low, 3 ½:12 to 5:12 roof pitch
- Overhangs – 18 - 24 inches
- Boxed stucco soffits
- Covered entry element
- Horizontal banding or belt course
- Header trim on primary windows
- Flat, smooth, concrete roof tile
- Stucco finish
- Rusticated brick accents and wainscot

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Artist concept subject to change

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4.13.7 Santa Barbara

Typical style characteristics

- Simple one- or two-story massing
- 3 ½ :12 to 5:12 roof pitch
- Tight to 12-inch overhangs at rakes; 12- to 18-inch overhangs at eaves
- Multi-light windows on front
- Stucco arched entry feature
- Decorative wrought iron detailing
- Shutters on feature window on front elevations
- Barrel or 's'-shaped concrete roof tiles in terra cotta tones or blends with terra cotta
- Stucco finish

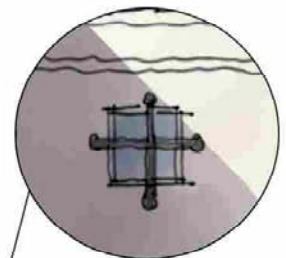
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Strong arch elements



Shutters



Wrought iron detailing



Artist concept subject to change

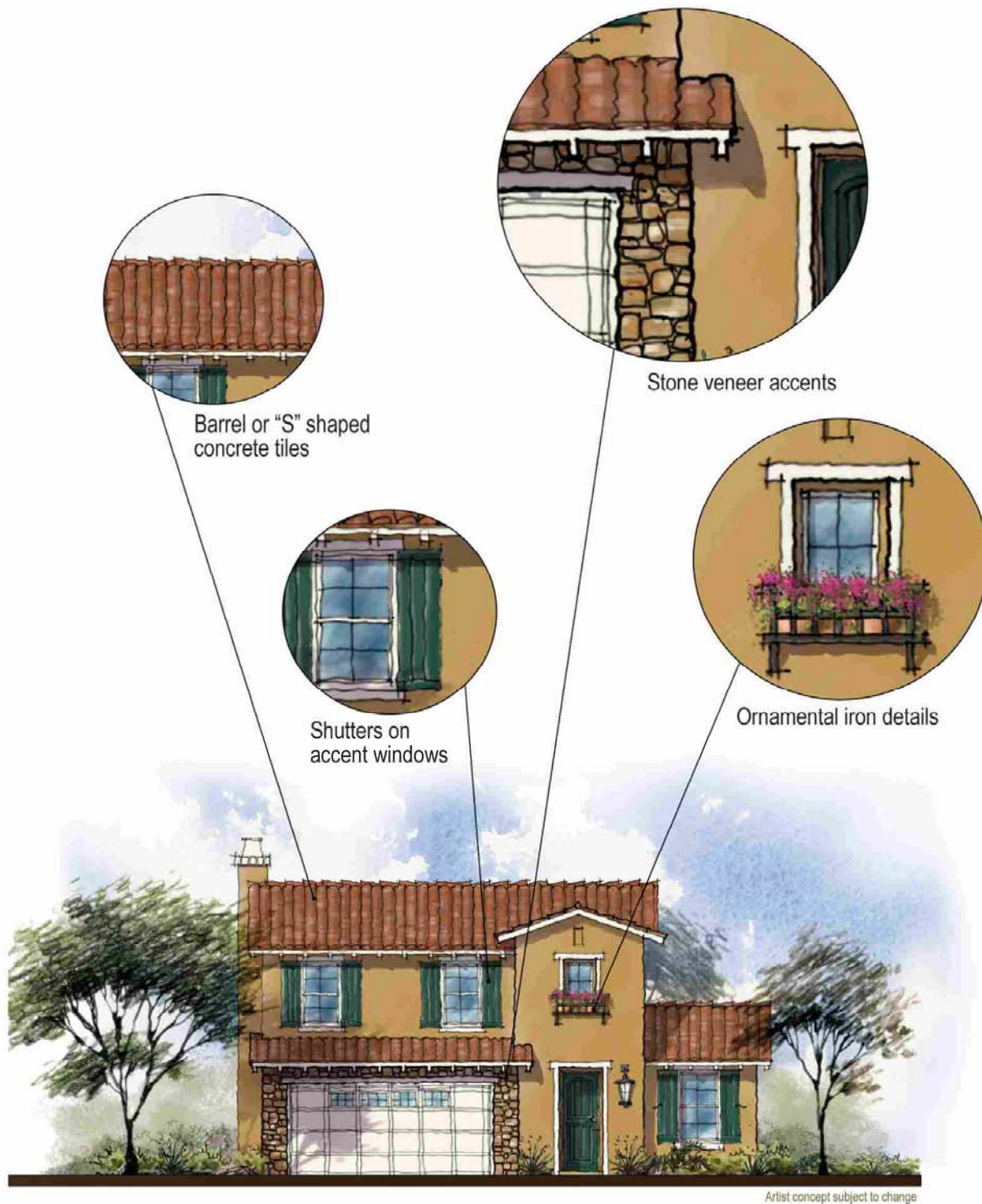
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4.13.8 Napa

Typical Style Characteristics

- Simple two-story rectangular plan form with a single-story element
- Main hip or gable roof with secondary shed or gable roofs over one-story elements
- 4:12 to 6:12 roof pitch
- 6- to 18-inch overhangs at rakes; 12- to 24-inch overhangs at eaves
- Vertically-oriented, multi-light windows
- Barrel or 'S'-shaped concrete roof tiles
- Stone veneer accents
- Stucco finish

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Napa Elevation and Details

EXHIBIT 4.32

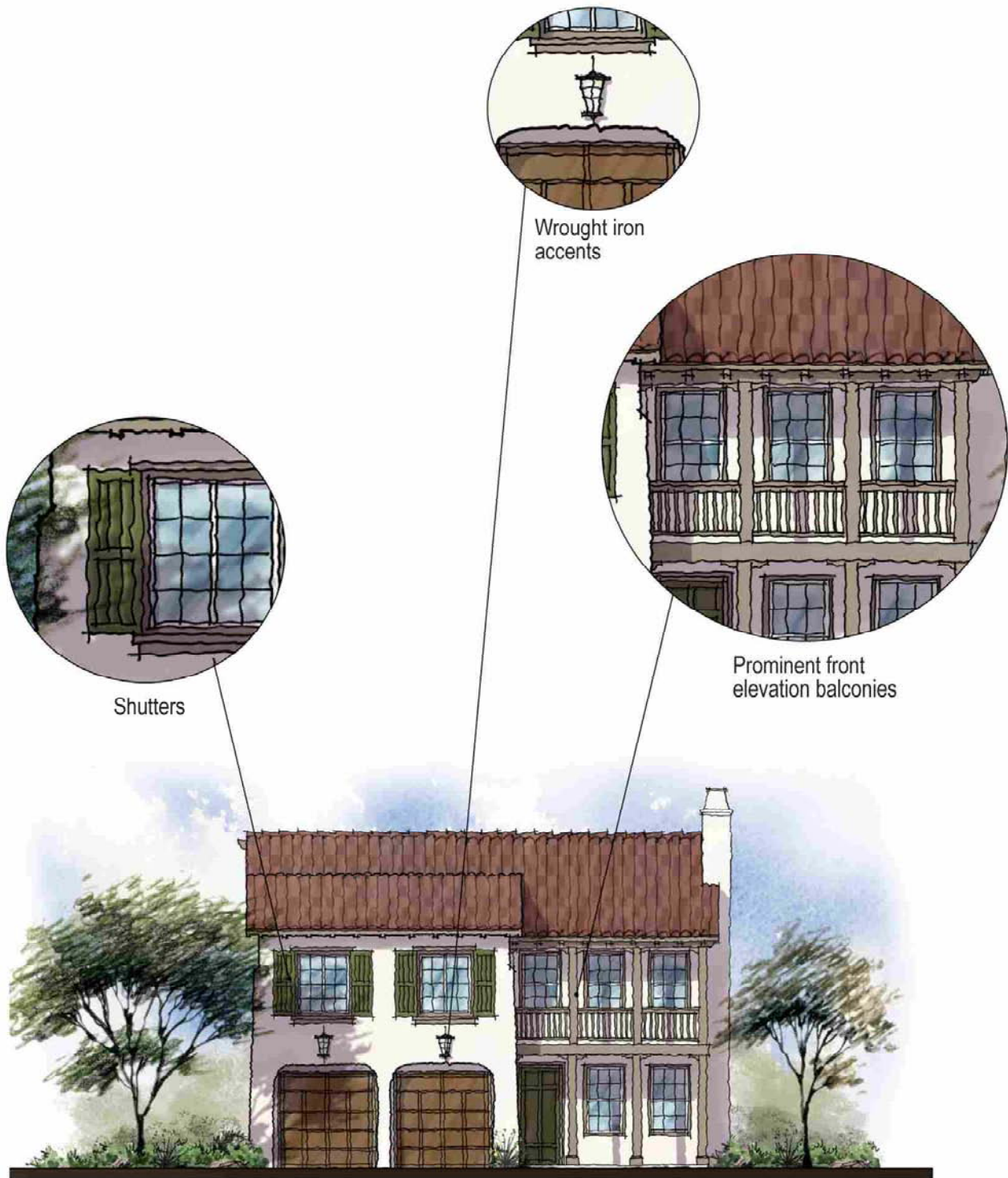
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4.13.9 Monterey

Typical Style Characteristics

- Simple two-story box-like massing form with balcony
- Main front-to-back gable roof
- 3 ½ :12 to 5:12 roof pitch with optional pitch break at balcony
- 6- to 12-inch overhangs at rakes; 18- to 24-inch overhangs at eaves
- Multi-light windows at front
- Simple header trim over front window
- Round attic tile vents or decorative vents at gable ends on front elevation
- Simple wood-appearance balcony railing
- Shutters on accent windows
- Barrel or 's'-shaped concrete roof tiles
- Stucco finish

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Shutters

Wrought iron
accents

Prominent front
elevation balconies

Artist concept subject to change

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SECTION 5

BUTTERFIELD SPECIFIC PLAN

5.0 DEVELOPMENT REGULATIONS

This section of the Butterfield Specific Plan has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Banning Zoning Ordinance. This section sets forth standards for all uses allowed for development within the Butterfield Specific Plan. Regulations are provided for low and medium density residential, cluster residential, commercial, golf course, parks, and undeveloped open space land uses. These regulations are based on and help to achieve compliance with the Design Guidelines presented in Section 4 of this Specific Plan.

Application of these regulations is specifically intended to provide for appropriate use of the project site, to create a well-ordered pattern of land uses within this Specific Plan, and to protect the health, safety and welfare of the community.

5.1 GENERAL PROVISIONS

5.1.1 Applicability

Upon adoption of the Butterfield Specific Plan, the development standards contained in this Section shall serve as the zoning regulations applicable to the Specific Plan area, in accordance with the City of Banning Zoning Ordinance. Development plans or agreements, tract or parcel maps, precise development plans or any other action regarding the subject property which requires ministerial or discretionary approval must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged consistent with the City of Banning General Plan as mandated in California Government Code, Section 65454.

Should the regulations contained herein differ from the regulations of the City of Banning Zoning Ordinance, the regulations of this Specific Plan shall take precedence.

Development standards contained in this Section are subject to a ten percent deviation, subject to the discretion and approval of the Community Development Director.

5.1.2 Severability

In the event that any regulations, conditions, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

5.1.3 Determination of Unlisted Uses

Any land use not specifically covered by the provisions contained herein shall not be allowed unless the Community Development Director reviews the proposed use and makes a determination of similarity with allowed uses.

5.1.4 Interpretation

Any ambiguities related to the implementation of this Specific Plan's provisions shall be resolved by the City of Banning Planning Division. Interpretations of the Planning Division shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the City of Banning Planning Division may be appealed to the Planning Commission. The decision(s) of the Planning Commission shall be final unless appealed to the City Council.

5.1.5 Definitions

Unless otherwise specified herein, terms used in this document shall be defined as provided in the City of Banning Zoning Ordinance (Municipal Code), Section 17.04.070, Definitions.

5.2 LOW DENSITY RESIDENTIAL (LDR)

5.2.1 Low Density Permitted Uses

Per Section 3.1, the Low Density Residential land use designation applies to 539 acres within this Specific Plan. Approximately 235 acres of the 539 acres designated for Low Density Residential could be developed as age-restricted, or "active adult" homes. Table 5-1 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. The areas designated Low Density Residential on the current Specific Plan Land Use Plan (Exhibit 3.1) consist of Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 50, 52, 55, 56, 60 and 61. Please note that the residential uses which may be developed within the PAs listed above may also be developed within the Medium Density Residential and High Density Residential designations of this Specific Plan subject to the Low Density Residential Regulations. Section 6.1.2 in the *Administration and Implementation* section of this Specific Plan sets forth the allowance of minor adjustments and modifications of these regulations.

Land uses permitted within Low Density Residential planning areas shall comply with the following use and development standards provisions. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.2.2 Low Density Development Standards

Low Density Residential lots are intended to accommodate detached single-family homes with private yards. These homes may have either street or alley vehicle access to garages. Typically, lots within this land use designation are at least 46 feet wide. Low Density Residential standards are applicable to Low Density Residential-designated Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 50, 52, 55, 56, 60 and 61. Low-density, age-restricted housing is a further option which could be developed in compliance with these standards. These standards and permitted uses shall also apply in any of the Medium Density or High Density Residential planning areas, as well as in Planning Areas 17, 18, 20 and 68 if alternate Low Density Residential uses are allowed in these areas.

Table 5-1
LDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 50, 52, 55, 56, 60 and 61

Land Uses	Density Residential	Low Density Residential
Residential Uses		
Assisted Living Facility	C	C
Bed & Breakfast	C	C
Community Care Facility	C	C
Condominiums	P	P
Day Care Center	C	X
Homeless Shelters	X	X
Multi-Family Dwellings	X	X
Nursing Home & Congregate Care	P	P
Planned Unit Development	P	P
Residential Care Facilities	C	C
Second Dwelling Unit	P	P
Single Family Dwelling	P	P
Equestrian Uses		
Stables, Private	X	X
Stables, Commercial	X	X
Tack & Feed Stores	X	X
Veterinary Offices and Hospitals	X	X
Agricultural Uses		
Grazing of Animals	P	C
Kennels and Catteries, Commercial	C	C
Locally Adaptive Farming	X	X
Factory Farms with Genetic Monocultures	X	X
Ranching	X	X
Recreational Uses		
Clubhouses/Community Centers	C	C
Golf Courses and Related Facilities	C	C
Swimming Pool/Sports Club	C	C
Parks, Sports Courts and Fields	C	C
Accessory Uses		
Telecommunications Antennae	X	X
Rooftop Solar Energy/Water Heating Panels	P	P
In-Garage Electric/Compressed Natural Gas Fueling Station	P	P
Garages ²	C	C
Other Uses		
Cemeteries	C	C
Churches	C	C

Table 5-1 (continued)
LDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 50, 52, 55, 56, 60 and 61

Land Uses	Density Residential	Low Density Residential
Fire Stations	P	P
Utility Facilities	C	C
Private Schools	C	C
Neighborhood Oriented Retail Stores ³	X	X
Temporary Uses ⁴	T	T

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Intended for vehicles storage only, in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee or similar uses, less than 5,000 SF in total square footage.

4 Include such uses as model sales complexes and trailers, and construction offices. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

Table 5-2 below establishes standards for lot dimensions, building setbacks and height, design variation and parking for Butterfield Specific Plan's Low Density Residential homes. Minimum lot sizes of 5000 square feet are allowed in Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 55 and 56. For Planning Areas 50 and 52, designated LDR-7500, the minimum lot size required is 5,000 square feet, with a minimum average (or mean average) lot size of 7,500 square feet (see Table 5.3). Planning Areas 60 and 61, designated LDR-10,000, require a minimum lot size of 6,000 square feet, with a minimum average lot size of 10,000 square feet (see Table 5.4). See Section 5.2.3 for an example of plotting and setback requirements for Low Density Residential areas.

Table 5-2
Low Density Residential (LDR) Development Standards
for Planning Areas 1A, 2, 3, 6, 7, 14, 40, 41, 44, 45, 46, 47, 48, 55 and 56

Category	Standard
Lot Dimensions	
Maximum Density	5 DU/AC
Minimum Lot Area	5,000 square feet
Minimum Lot Width	
Interior	46'
Corner	51'
Minimum Lot Frontage	20'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
• Swing-In Garage	10'
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living	10'
Rear	
• Living	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	50% two-story; 70% one-story
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

Table 5-3 provides additional required development standards for Planning Areas 50 and 52 that require a minimum lot area of 5,000 square feet and a minimum average lot size of 7,500 square feet in these two planning areas.

Table 5-3
Low Density Residential (LDR) – 7500
Development Standards for Planning Areas 50 and 52

Category	Standard
Lot Dimensions	
Maximum Density	5 DU/AC
Minimum Lot Area *	5,000 square feet
Minimum Average Lot Area *	7,500 square feet
Minimum Lot Width	
Interior	50'
Corner	55'
Minimum Lot Frontage	30'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
• Swing-In Garage	12'
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living	10'
Rear	
• Living	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	50% two-story; 70% one-story
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

* Minimum average lot size shall be calculated as a mean average by dividing the total area of all residential lots in a planning area (excluding street right-of-way and open space lots) by the total number of residential lots in the planning area.

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

Table 5-4 provides additional required development standards for Planning Areas 60 and 61 that require a minimum lot area of 6,000 square feet and a minimum average lot size of 10,000 square feet in these two planning areas.

Table 5-4
Low Density Residential (LDR) – 10000
Development Standards for Planning Areas 60 and 61

Category	Standard
Lot Dimensions	
Maximum Density	5 DU/AC
Minimum Average Lot Area *	10,000 square feet
Minimum Lot Area	6,000 square feet
Minimum Lot Width	
Interior	60'
Corner	65'
Minimum Lot Frontage	35'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
• Swing-In Garage	10'
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living	10'
Rear	
• Living	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	50% two-story; 70% one-story
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

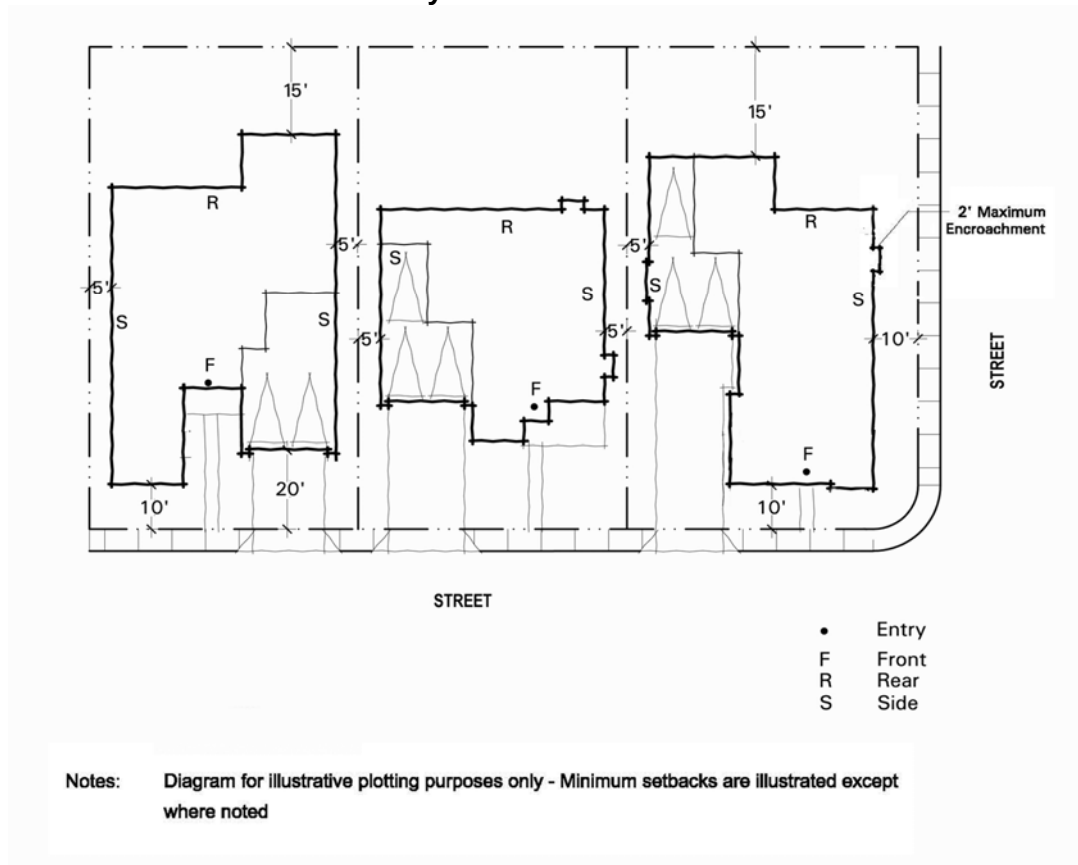
* Minimum average lot size shall be calculated as a mean average by dividing the total area of all residential lots in a planning area (excluding street right-of-way and open space lots) by the total number of residential lots in the planning area.

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

5.2.3 Low Density Residential Lots – Illustrative Plot

Figure 5.1 provides an illustration of a concept plotting for Low Density Residential homes, which is expected to be typical of those developed within the Butterfield Specific Plan.

Figure 5.1
Low Density Residential Illustrative Plot



William Hezmalhalch Architects

5.3 MEDIUM DENSITY RESIDENTIAL (MDR)

5.3.1 Medium Density Permitted Uses

Per Section 3.1, the Medium Density Residential land use designation applies to 324 acres within this Specific Plan. Approximately 140 acres of the 324 acres designated for Medium Density Residential could be developed as age-restricted, or “active adult” homes. Table 5-5 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. Areas designated Medium Density Residential consist of Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 51, 53, 54, 57 and 58 per the current Specific Plan Land Use Plan (Exhibit 3.1).

Table 5-5
MDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 51, 53, 54, 57 and 58

Land Uses	Density Residential	Medium Density Residential
Residential Uses		
Assisted Living Facility	C	C
Bed & Breakfast	X	X
Community Care Facility	C	C
Condominiums & Townhouses	P	P
Day Care Center	C	X
Homeless Shelters	X	X
Multi-Family Dwellings	X	X
Nursing Home & Congregate Care	P	P
Planned Unit Development	P	P
Residential Care Facilities	C	C
Second Dwelling Unit	X	X
Single Family Dwelling	P	P
Equestrian Uses		
Stables, Private	X	X
Stables, Commercial	X	X
Tack & Feed Stores	X	X
Veterinary Offices and Hospitals	X	X
Agricultural Uses		
Grazing of Animals	X	X
Kennels and Catteries, Commercial	X	X
Locally Adaptive Farming	X	X
Factory Farms with Genetic Monocultures	X	X
Ranching	X	X
Recreational Uses		
Clubhouses/Community Centers	C	C
Golf Courses and Related Facilities	C	C
Swimming Pool/Sports Club	C	C
Parks, Sports Courts and Fields	C	C
Accessory Uses		
Telecommunications Antennae	X	X
Rooftop Solar Energy/Water Heating Panels	P	P
In-Garage Electric/Natural Gas Fueling Station	P	P
Garages ²	P	P

Table 5-5 (continued)
MDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 51, 53, 54, 57 and 58

Land Uses	Density Residential	Medium Density Residential
Other Uses		
Cemeteries	X	X
Churches	C	C
Fire Station	P	P
Utility Facilities ³	P	P
Private Schools	C	C
Neighborhood Oriented Retail Stores ⁴	X	X
Temporary Uses ⁵	T	T

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Intended for vehicles storage only, in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

3 This use category shall include development of a wastewater treatment plant to serve the Butterfield Specific Plan area.

4 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee bars or similar uses, less than 5,000 in SF in total square footage.

5 Include such uses as model sales complexes and trailers, and construction offices special events. Temporary uses required a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance as modified by this Specific Plan.

Land uses permitted within the Medium Density Residential planning areas shall comply with the following use and development standards provisions. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.3.2 Conventional Medium Density Development Standards

Conventionally plotted Medium Density Residential would consist of detached single-family homes on individual lots with private yards. These homes may have either street or alley vehicle access to the garage. Typically, conventional lots within this land use designation range from 38 to 50 feet in width. The standards below can be applied to Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 51, 53, 54, 57 and 58. Medium-density, age-restricted housing is a further option which could be developed in compliance with these standards. These standards may also be applied in any of the High Density Residential designated planning areas as well as in Planning Areas 18, 20 and 68 if alternative residential uses are allowed in these areas.

Table 5-6 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's conventionally-plotted Medium Density Residential homes in Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58. Minimum lot sizes of 3,400 square feet are allowed. See Section 5.3.3 for an example of details on plotting and setback requirements for the Conventional Medium Density Residential areas.

Table 5-7 provides additional required development standards for Planning Area 51 that requires a minimum lot area of 4,500 square feet a minimum average lot size of 7,200 square feet in this particular planning area.

Table 5-6
Conventional Medium Density Residential (MDR) Development Standards
for Planning Areas 1B, 1C, 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	3, 400 square feet
Minimum Lot Width	
• Interior	38'
• Corner	43'
Minimum Lot Frontage	20'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living Area	10'
Rear	
• Living Area	10'
• Garage/Patio	5'
• Living Over Garage	10'
Minimum Building Height	
Main Structure	35'
Maximum Projections	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	70%
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

**Table 5-7
Medium Density Residential (MDR) – 7200
Development Standards for Planning Area 51**

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	4,500 square feet
Minimum Average Lot Area *	7,200 square feet
Minimum Lot Width	
• Interior	45'
• Corner	50'
Minimum Lot Frontage	30'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living Area	10'
• Front-Facing Garage	20' door face to back of sidewalk
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living Area	10'
Rear	
• Living Area	15'
• Garage/Patio	5'
• Living Over Garage	10'
Minimum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	70%
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

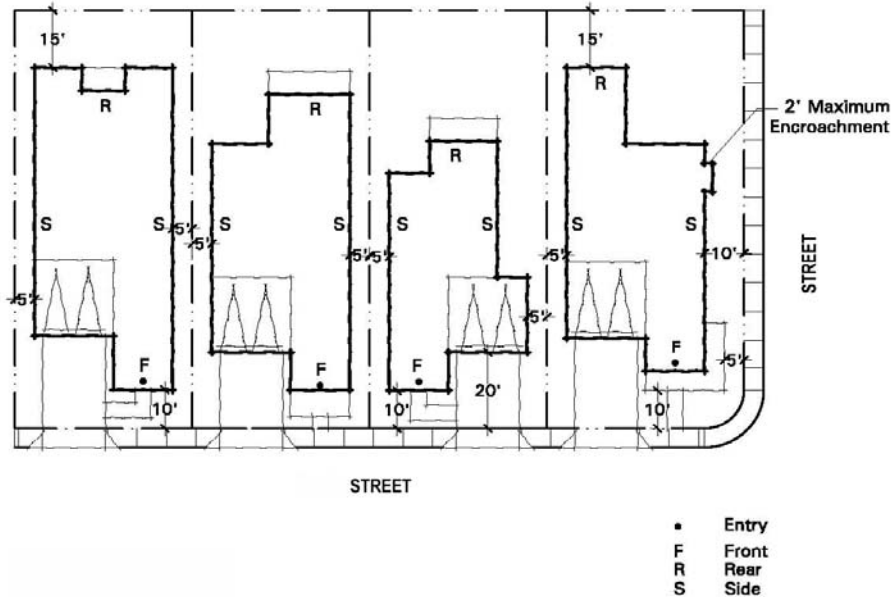
* Minimum average lot size shall be calculated as a mean average by dividing the total area of all residential lots in a planning area (excluding street right-of-way and open space lots) by the total number of residential lots in the planning area.

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

5.3.3 Conventional Medium Density Residential Lots – Illustrative Plot

Figure 5.2 provides an illustration of a conceptual plotting for Medium Density Residential homes, which is expected to be typical of conventionally developed product within this density category of the Butterfield Specific Plan.

Figure 5.2
Conventional Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.3.4 Cluster Medium Density Permitted Uses

As an alternative to conventionally-plotted Medium Density Residential development, a cluster approach to developing within the Medium Density Residential land use designation may be applied to Planning Areas 4, 5, 8, 9, 10, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58. Table 5-8 summarizes potential land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Cluster Medium Density Residential planning areas shall be permitted in accordance with the following use and development standard provisions of this Section. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

**Table 5-8
Cluster Medium Density Residential
Permitted, Conditional and Prohibited Land Uses**

Land Uses	Green Court Cluster MDR	Motor Court Cluster MDR	Stub St. Court Cluster MDR
Residential Uses			
Assisted Living Facility	C	C	C
Bed & Breakfast	X	X	X
Community Care Facility	C	C	C
Condominiums & Townhouses	P	P	P
Day Care Center	C	C	C
Homeless Shelters	X	X	X
Multi-Family Dwellings	X	X	X
Nursing Home & Congregate Care	P	P	P
Planned Unit Development	P	P	P
Residential Care Facilities	C	C	C
Second Dwelling Unit	X	X	X
Single Family Dwelling	P	P	P
Equestrian Uses			
Stables, Private	X	X	X
Stables, Commercial	X	X	X
Tack & Feed Stores	X	X	X
Veterinary Offices and Hospitals	X	X	X
Agricultural Uses			
Grazing of Animals	X	X	X
Kennels and Catteries, Commercial	X	X	X
Locally Adaptive Farming	X	X	X
Factory Farms with Genetic Monocultures	X	X	X
Ranching	X	X	X
Recreational Uses			
Clubhouses/Community Centers	C	C	C
Golf Courses and Related Facilities	C	C	C
Swimming Pool/Sports Club	C	C	C
Parks, Sports Courts and Fields	C	C	C
Accessory Uses			
Telecommunications Antennae	X	X	X
Rooftop Solar Energy/Water Heating Panels	P	P	P
In-Garage Electric/Natural Gas Vehicle Fueling	P	P	P
Garages ²	X	X	X

Table 5-8 (continued)
Cluster Medium Density Residential
Permitted, Conditional and Prohibited Land Uses

Land Uses	Green Court Cluster MDR	Motor Court Cluster MDR	Stub St. Court Cluster MDR
Other Uses			
Cemeteries	X	X	X
Churches	C	C	C
Fire Stations	P	P	P
Utility Facilities	C	C	C
Private Schools	C	C	C
Neighborhood Oriented Retail Stores ³	X	X	X
Temporary Uses ⁴	T	T	T

NOTES:

- 1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).
- 2 Intended for vehicles storage only, in excess of the parking required under Chapter 17.28, Banning Zoning Ordinance.
- 3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee bars or similar uses, less than 5,000 SF in total square footage.
- 4 Include such uses as model sales complexes and trailers, and construction offices. Temporary require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

5.3.5 Cluster Medium Density Development Standards

5.3.5.1 Green Court Cluster Development Standards

Table 5-9 establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's green court cluster Medium Density Residential homes. Minimum lot sizes of 2800 square feet for green court homes are allowed. See Section 5.3.5.2 for an example of plotting and setback requirements

Green court clusters are intended to accommodate detached single-family homes oriented on a paseo (green court), rather than a street. These homes have vehicular access through an alley, with guest parking provided on the street or in a common parking area. These standards could also be applied to green court-oriented, medium-density, age-restricted housing. The standards below can be applied to Planning Areas 4, 5, 8, 9, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

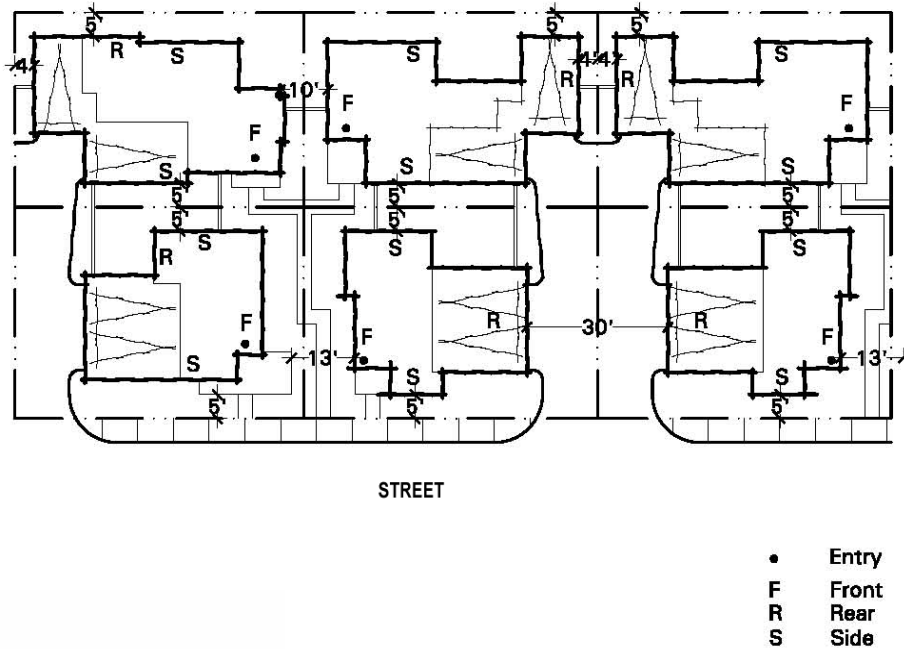
**Table 5-9
Green Court Cluster
Medium Density Residential Development Standards**

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,800 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Minimum Setbacks	
Street-side yard	
<ul style="list-style-type: none"> Living – (Front entry) to back of sidewalk 	10'
<ul style="list-style-type: none"> Side (no entry) to back of sidewalk 	5'
<ul style="list-style-type: none"> Porch - to back of sidewalk 	5'
Rear yard – to alley edge	
<ul style="list-style-type: none"> Living 	10'
<ul style="list-style-type: none"> Garage face to Alley (Apron) 	3'
<ul style="list-style-type: none"> Garage (Swing-In Side Wall) 	4'
<ul style="list-style-type: none"> Living Over Garage 	2' minimum, minimum 3' from a P/L 3' maximum cantilever
Minimum Building Separation	
Front to Front (entries) – at green court	15'
Side to side (no entries)	10'
2 nd -Story Living Rear to Rear at alley	24'
Garage Door to Door at alley	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	150 square feet with a minimum 10' dimension
Parking	
<ul style="list-style-type: none"> Resident 	2 spaces per unit within a garage
<ul style="list-style-type: none"> Guest 	.33 spaces per unit

5.3.5.2 Green Court Cluster – Typical Illustrative Plot

Figure 5.3 provides an illustration of a conceptual plotting for green court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.3
Green Court Cluster Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.3.5.3 Motor Court Cluster Development Standards

Table 5-10 establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's motor court cluster Medium Density Residential homes. Minimum lot sizes of 2000 square feet for motor court homes are allowed. See Section 5.3.5.4 for an example of plotting and setback requirements.

Motor court clusters are intended to accommodate detached single-family homes on a common driveway, with guest parking provided on the street or in a common parking area. These standards could also be applied to motor court-oriented, medium-density, age-restricted housing. The standards below can be applied to PAs 4, 5, 8, 9, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

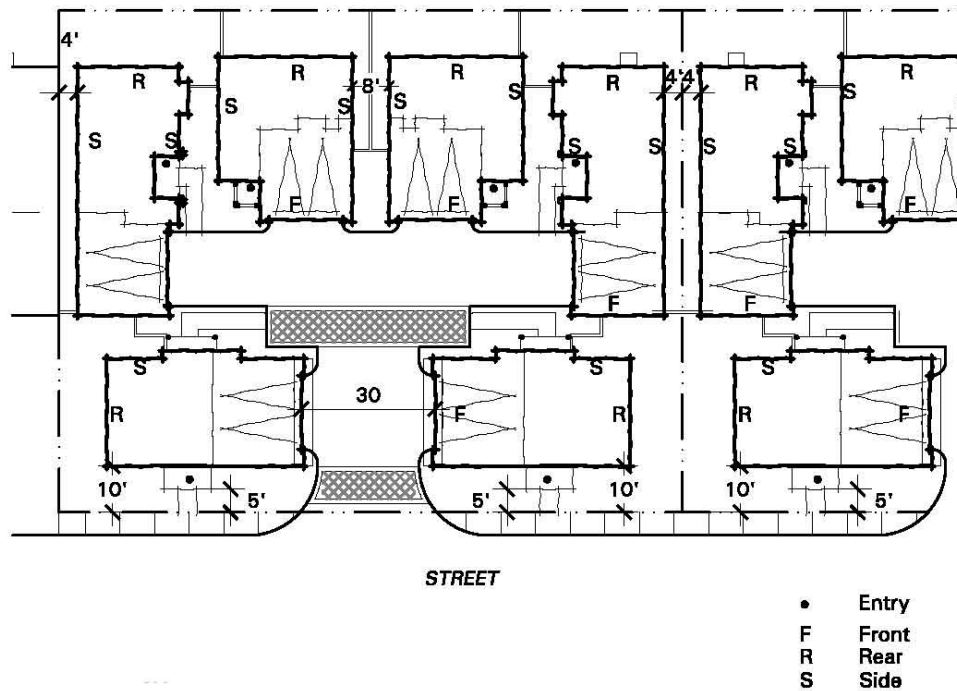
Table 5-10
Motor Court Cluster
Medium Density Residential Development Standards

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,000 square feet
Minimum Lot Width	30'
Minimum Lot Depth	60'
Minimum Setbacks	
Front Setback (From Shared Drive or ROW)	
• Garage	4'
• Garage to Alley (Apron)	3'
• Living Over Garage	2' minimum, 3' minimum from a P/L 3' maximum cantilever.
Street-side Yard	
• Living - to back of sidewalk	10'
• Porch - to back of sidewalk	5'
Rear yard – to P/L	
• Living	10'
• Porch	5'
Minimum Building Separation	
Front to Front (entries)	15''
Front to Side (entries)	15'
Side to Side (no entries)	8'
2 nd -Story Front to Front Living	24'
Garage Door to Garage Door	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	300 square feet with a minimum 10' dimension
Parking	
• Resident	2 spaces per unit within a garage
• Guest	.33 spaces per unit

5.3.5.4 Motor Court Cluster – Typical Illustrative Plot

Figure 5.4 provides an illustration of a conceptual plotting for motor court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.4
Motor Court Cluster Home Illustrative Plot
Medium Density Residential



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5.3.5.5 Stub Street Court Cluster Development Standards

Tables 5-11 establish the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's stub street court cluster Medium Density Residential homes. Minimum lot sizes of 2200 square feet for stub street court homes are allowed. See Section 5.3.5.6 for an example of plotting and setback requirements

Detached condo lots are intended to accommodate detached single-family homes oriented on a short stub street or alley. Guest parking for these homes is provided on the street or in a common parking area. These standards may also be applied to medium density detached condo cluster, age-restricted housing. The standards below are applicable to Planning Areas 4, 5, 8, 9, 11, 12, 13, 42, 43A, 43B, 49, 53, 54, 57 and 58. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

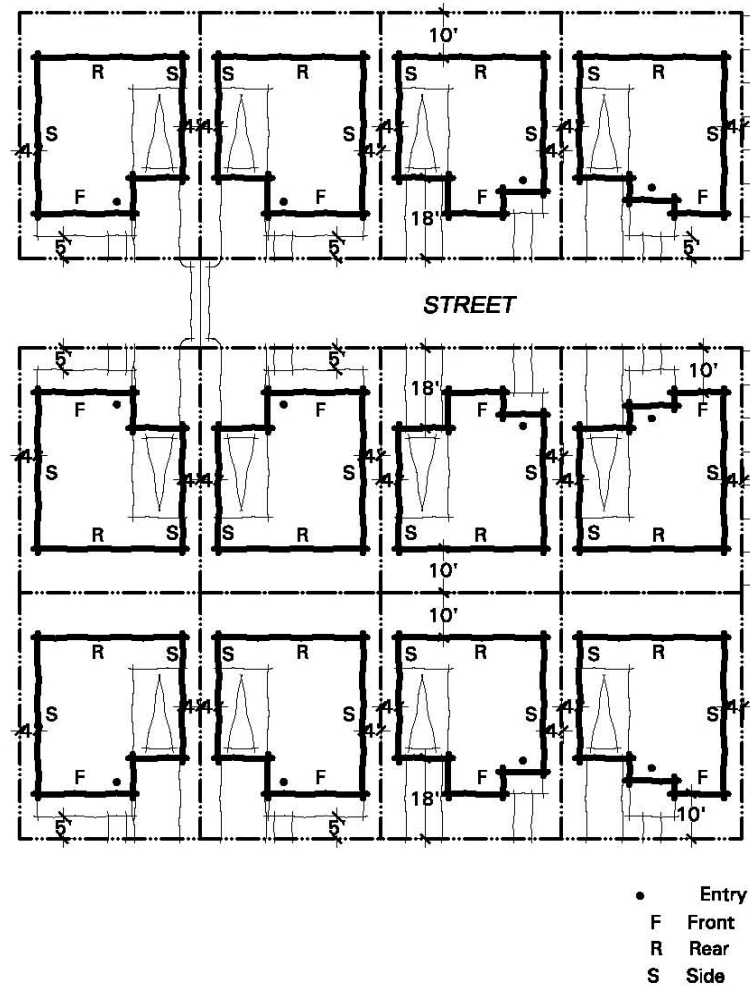
Table 5-11
Stub Street Court Cluster
Medium Density Residential Development Standards

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,200 square feet
Minimum Lot Width	40'
Minimum Lot Depth	55'
Minimum Setbacks	
Front Setback (From back of sidewalk or curb)	
• Porch	5'
• Living	10'
• Garage	18'
Side Yard	4'
Rear	10'
Minimum Building Separation	
Building to Building	8'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	300 square feet with a minimum 10' dimension
Parking	
• Resident	2 spaces per unit, one within a garage
• Guest	.33 spaces per unit

5.3.5.6 Stub Street Court Cluster – Typical Illustrative Plot

Figure 5.5 provides an illustration of a conceptual plotting for stub street court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.5
Stub Street Court Cluster Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.4 HIGH DENSITY RESIDENTIAL (HDR)

5.4.1 High Density Residential Permitted Uses

Per Section 3.1, the High Density Residential land use designation applies to 73.8 acres within this Specific Plan. Approximately 17.5 acres of the 73.8 acres designated for High Density Residential could be developed as age-restricted, or “active adult” homes. Table 5-12 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. Areas designated High Density Residential consists of Planning Areas 15, 16 and 59.

Land uses permitted within the High Density Residential planning areas shall comply with the following use and development standards provisions. Single family detached homes (i.e. Low Density Residential or Medium Density Residential uses and development standards) may also be utilized and developed under this development designation. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.4.2 High Density Residential Development Standards

High Density Residential lots are intended to accommodate attached single-family dwellings with semi-private courtyards and common green spaces. These homes may be oriented either toward the street front, a common motor court or common ‘green court’ area. The standards below can be applied to Planning Areas 15, 16 and 59. Age-restricted housing is a further option which could be developed in compliance with these standards. Low Density and Medium Density Residential development may be developed in the HDR planning areas.

Table 5-13 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan’s conventionally-plotted High Density Residential homes in Planning Areas 15, 16 and 59. See Section 5.4.3 for an example of details on plotting and setback requirements for the High Density Residential areas.

Table 5-12
HDR Permitted, Conditional and Prohibited Land Uses
for Planning Areas 15, 16 and 59

Land Uses	High Density Residential
Residential Uses	
Assisted Living Facility	C
Bed & Breakfast	X
Community Care Facility	C
Condominiums & Townhouses	P
Day Care Center	C
Homeless Shelters	X
Multi-Family Dwellings	P
Nursing Home & Congregate Care	P
Planned Unit Development	P
Residential Care Facilities	C
Second Dwelling Unit	X
Single Family Dwelling	P
Equestrian Uses	
Stables, Private	X
Stables, Commercial	X
Tack & Feed Stores	X
Veterinary Offices and Hospitals	X
Agricultural Uses	
Grazing of Animals	X
Kennels and Catteries, Commercial	X
Locally Adaptive Farming	X
Factory Farms with Genetic Monocultures	X
Ranching	X
Recreational Uses	
Clubhouses/Community Centers	P
Golf Courses and Related Facilities	C
Swimming Pool/Sports Club	P
Parks, Sports Courts and Fields	P
Accessory Uses	
Telecommunications Antennae	X
Rooftop Solar Energy/Water Heating Panels	P
In-Garage Electric/Natural Gas Fueling Station	P
Garages ²	X

Table 5-12 (continued)
HDR Permitted, Conditional and Prohibited Land Uses
for Planning Areas 15, 16 and 59

Land Uses	High Density Residential
Other Uses	
Cemeteries	X
Churches	C
Fire Station	P
Utility Facilities	C
Private Schools	C
Neighborhood Oriented Retail Stores ³	X
Temporary Uses ⁴	T

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Intended for vehicles storage only, in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery stores or green grocer, video rental, drug stores, sit down restaurants , coffee shops or coffee bars, or similar uses, less than 5,000 SF in total square footage.

4 Include such uses as model sales complexes and trailers, and construction offices. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

**Table 5-13
High Density Residential (HDR) Development Standards
for Planning Areas 15, 16 and 59**

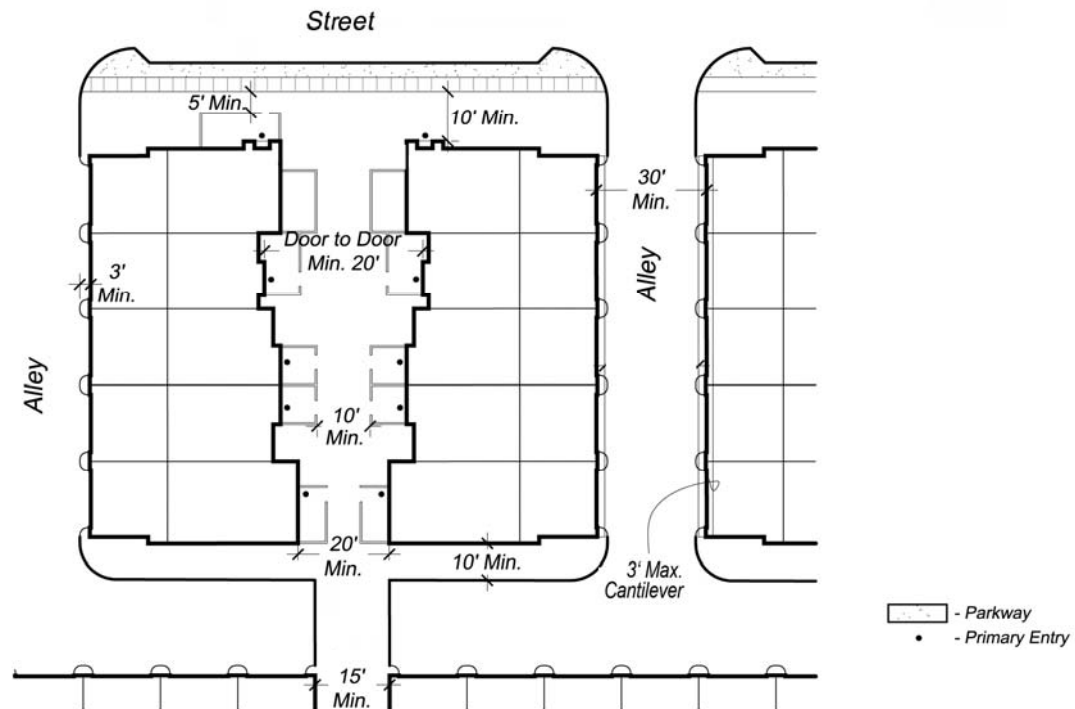
Category	Standard
Lot Dimensions	
Maximum Density	18 DU/AC
Minimum Lot Area*	1 acre
Minimum Lot Width	55'
Minimum Setbacks	
Street-side Yard	
• Living - to back of sidewalk	10'
• Porch - to back of sidewalk	5'
Rear – to alley edge	
• Living Over Garage at alley	3' maximum cantilever, w/ minimum 3' from all P/L
• Garage to Alley (Apron)	3'
Minimum Building Separation	
Living Front to Front (entries)	20'
Living Side to Side (no entries)	15'
Living Front to Side (entry)	15'
Opposing Porches, Balconies, courtyard walls	10'
Garage Door to Garage Door at alley	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	50 square feet
Parking	
• Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
• Guest	0.5 spaces per unit

* Development of single family detached or cluster homes at proposed densities of less than 10 DU/AC would comply with minimum lot area and other development standards for LDR (Table 5-2), conventional MDR (Table 5-6) or cluster MDR (Table 5-9, 5-10 or 5-11) as applicable.

5.4.3 High Density Residential Lots – Illustrative Plot

Figure 5.6 provides an illustration of a concept plotting for High Density Residential, which is expected to be typical of high density attached homes to be developed within the Butterfield Specific Plan, at a density of 10-18 DU/acre.

Figure 5.6
High Density Residential Illustrative Plot



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5.5 COMMERCIAL

5.5.1 Commercial Permitted Uses

Within the Butterfield Specific Plan, 36 acres have been designated Commercial in Planning Areas 17 and 18. While conventional retail and office uses are those primarily intended for PA 17, PA 18 may combine a number of uses onsite, some of which may complement those of the expanded Banning Healthcare complex nearby. A senior-oriented residential project, a restaurant, and a community care facility are potential additional elements of a mixed use development.

Table 5-14 summarizes potential land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Commercial planning areas shall be permitted in accordance with the following use and development standards provisions. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

5.5.2 Commercial Development Standards

General commercial allows a broad range of uses including food and drug stores, retail stores and services uses that serve the general neighborhood. The design of commercial areas will take into consideration the surrounding use. The standards below can be applied to Planning Areas 17 and 18. These standards shall also apply to Planning Areas 3, 4, 5, 26 and 27 if alternate commercial use as allowed are proposed in these areas. Table 5-15 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's general commercial development.

If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 5, 26 and 27, approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.

**Table 5-14
Commercial Permitted, Conditional and Prohibited Land Uses**

Land Uses	Commercial Pas 17, 18
Recreation / Education / Public Assembly Uses	
Adult entertainment	X
Adult day care facilities	C
Automobile race track	X
Billiard parlors/pool halls	X
Churches	P
Community centers	P
Convention facilities	X
Day Care Centers	C
Health/fitness facilities	P
Indoor recreation centers	P
Libraries	P
Membership organization facilities	X
Museums	P
Outdoor commercial recreation	P
Public parks and playgrounds	X
Recreational vehicle (RV) parks	X
Recreational vehicle (RV) storage	C
Schools	P
Sport facilities and outdoor public assembly	C
Studios for dance, art, music, photography	P
Theatres and meeting halls	P
Retail Uses	
Accessory retail uses	P
Alcoholic Beverage Sales, on- or off-site	C
Antique stores	P
Art Galleries	P
Mobile home & motor vehicle sales, new	X
Mobile home & motor vehicle sales, new & used	X
Bakeries, retail	P
Bars and drinking establishments	X
Building material stores	X
Certified farmers' markets	T
Convenience Stores	P
Convenience Stores, no liquor sales	P
Department stores	P
Drive-in and drive-through sales	C
Drug stores	

Table 5-14 (continued)
Commercial Permitted, Conditional and Prohibited Land Uses

Land Uses	Commercial Pas 17, 18
Factory outlet centers	P
Farm and ranch supply stores	X
Furniture, furnishings, home equipment stores	P
Gift shops	P
Grocery stores, retail butchers and greengrocers	P
Hardware/lumber stores	P
Liquor stores (off-site consumption)	X
Outdoor retail merchandise display/activities	X
Outdoor retail sales, temporary	T
Pawn shops	X
Pet stores and grooming	P
Restaurants, no beer, wine or liquor sales	P
Restaurants, serving beer, wine or liquor	C
Restaurants, drive-in, take-out, fast food	X
Retail stores, general merchandise	P
Second hand/thrift stores	X
Shopping centers, 15,000 SF +	P
Video rental stores	P
Warehouse or club stores	P
Resource and Open Space Uses	
Plant nurseries, with on-site sales	X
Plant nurseries, without on-site sales	X
Surface Mining	X
Cargo/Storage Containers	P
Services	
Freestanding ATM Machines	P
Banks and financial establishments/services	P
Barber Shops and Beauty Shops	P
Bed and breakfast establishments	X
Business support/secretarial services	P
Car wash	X
Columbriums and mortuaries	X
Construction storage (indoor &/or outdoor)	X
Drive-in and drive-through services	C
Dry cleaning, retail	P
Equipment rental yards	X

Table 5-14 (continued)
Commercial Permitted, Conditional and Prohibited Land Uses

Land Uses	Commercial Pas 17, 18
Government offices	P
Hotels and motels	P
Laundry, coin operated	X
Massage Parlors	X
Medical services, clinics and labs	P
Vehicle fueling/service stations (gas & electric)	C
Professional offices	P
Public parking	C
Public utility and safety facilities	P
Real estate offices	P
Repair/maintenance of consumer products	X
Repair and maintenance of motor vehicles	X
Research and development facilities	P
Storage, accessory, including self-storage	X
Veterinary clinics, animal hospitals, grooming	C
Residential Uses	
Senior Housing	P
Elder Care Housing	P
Assisted Living Facility	P
Other Uses	
Public Utility Facilities	P
Fire Stations	P
Telecommunications Antennae/Towers	P
Day Care Centers	C
General Retail / Gift Shops (ancillary use)	C
Restaurants (ancillary use)	C
Group Homes	X
Social Service Agency Offices	X
Rooftop Solar Energy/Water Heating Panels	P
Electric/Natural Gas Vehicle Fueling Station (acillary use)	P
Temporary Uses ³	T

NOTES:

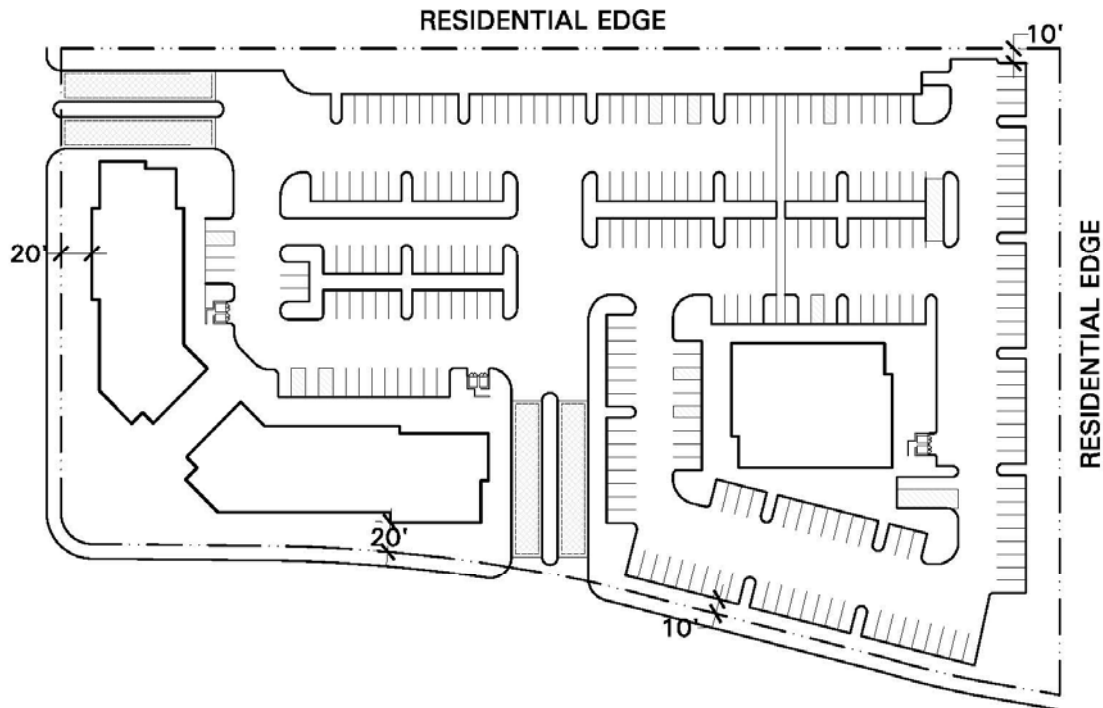
- 1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).
- 2 Parking requirements for commercial and/or other uses shall be determined through a parking demand study provided in connection with processing a development application(s) to approve particular uses for implementation on each of these sites.
- 3 Include such uses as model sales complexes and trailers, construction offices, Christmas tree sales lots, and special events. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

**Table 5-15
Commercial Development Standards**

Category	Standard
Lot Dimensions	
Minimum Lot Area	6,000 square feet
Minimum Lot Width	60'
Minimum Setbacks	
Front Setback	
• Parking	10'
• Building	20'
Side Yard	
• Parking adj. to Residential	10'
• Building adj. to Residential	20'
• Other	0'
Street Side Yard	
• Parking	10'
• Building	20'
Rear	
• Parking adj. to Residential	10'
• Building adj. to Residential	20'
• Other	0'
Maximum Building Height	
Main Structure	50'
Others	
Lot Coverage by Buildings	35%
Parking	Per Chapter 17.28, Parking and Loading Standards, of the Banning Zoning Ordinance

5.5.3 General Commercial – Typical Illustrative Plot

Figure 5.7
General Commercial – Typical Illustrative Plot



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

William Hezmalhalch Architects

5.6 ACTIVE OPEN SPACE

5.6.1 Recreational Permitted Uses

Within the Butterfield Specific Plan, approximately 320 acres have been designated for active recreational uses, within Planning Areas 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 62, 63, 64, 65, 66, 67 and 72. The golf course and its related facilities within Butterfield are located in PAs 35 and 39. Mini-Neighborhood, Recreation and Community Parks are proposed for the remaining planning areas. Only Planning Areas 21, 35, 39 and 63, as specified in Section 5.6.2 of the Specific Plan, would propose buildings to house any recreational-related uses.

Table 5-16 summarizes potential active recreational land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Table 5-16
Active Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Neighborhood Mini Parks (PA's 22-34,62, 64-67, 72)	Neighborhood Recreation Parks (PA's 21, 63)	Community Parks (PA's 36, 37, 38)	Golf Course / Drainage (PA's 35, 39)
Recreational Uses				
Clubhouses	X	P	X	P
Community Centers	X	P	X	P
Golf Courses and Related Facilities	X	X	P	P
Interpretive or Visitor Information Centers	X	C	P	C
Playgrounds	P	P	P	P
Buildings/Grounds/Equipment Maintenance	P	P	P	P
Restroom Facilities	P	P	X	P
Theatres and Amphitheaters	X	P	X	C
Trails	P	P	P	P
Passive Open Space	P	P	P	P
Habitat Conservation Areas	P	P	P	P
Parks, Sports Courts and Fields	P	P	P	P
Lakes	X	X	P	P
Commercial Recreation Facilities	X	X	X	P

Table 5-16 (continued)
Active Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Neighborhood Mini Parks (PA's 22-34,62, 64-67, 72)	Neighborhood Recreation Parks (PA's 21, 63)	Community Parks (PA's 36, 37, 38)	Golf Course / Drainage (PA's 35, 39)
Other Uses				
Administrative Offices	X	P	X	P
Fire Stations	P	P	X	P
Telecommunications Antennae/Towers	X	C	X	X
Hotel	X	X	X	C
General Retail / Gift Shops	X	C	X	P
Restaurants (with Alcohol Sales)	X	X	X	P
Day Care Centers	P	P	X	C
Banquet Facilities / Rental Halls	X	X	X	P
Swimming Pool/Sports Club	P	P	X	C
Additional Parking	X	X	P	P
Rooftop Solar Energy/Heating Panels	P	P	P	P
Electric Vehicle Fueling Stations	P	P	P	P
Stables	X	X	X	C
Plant Nurseries and Agriculture	X	X	X	P
Locally Adaptive Farming	X	X	C	C
Grazing of Animals	X	X	C	X

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Parking requirements for recreational and related uses shall be determined through a parking demand study provided in connection with processing a development application(s) to approve particular uses for implementation on each of these sites.

3 In addition to the parking determined to be required for PAs 35 & 39 which is expected to be provided within PA 39, overflow parking for permitted uses as well as special events may be provided on PA's 36,37 and 38.

Land uses permitted within the Parks or Golf Course planning areas shall be permitted in accordance with the use and development standards provisions of Section 5.6. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

5.6.2 Community Recreation Development Standards

Community recreation allows for recreational uses including golf course buildings, clubhouses and other recreational structures that may be found in a park or community recreation complex. The design of these recreation facilities will be compatible with the surrounding residential character and are considered to be the cornerstone of the

community. The standards found in Table 5-17 below shall be applied to buildings to be erected in Planning Areas 21, 35, 39 and 63. Landscaping provided to accompany community recreation facilities will be governed by Chapter 4, Design Guidelines, of the Butterfield Specific Plan.

Table 5-17
Community Recreation Standards

Category	Standard
Lot Dimensions	
Minimum Lot Area	5,000 square feet
Minimum Lot Width	60'
Minimum Setbacks	
Front Setback	
• Parking	10'
• Building	20'
Side Yard	
• Parking	10'
• Building	20'
Street Side Yard	
• Parking	10'
• Building	20'
Rear	
• Parking	10'
• Building	20'
Maximum Building Height	
Main Structure	35'
Others	
Lot Coverage by Building	35%
Parking	To be determined through a parking demand study provided during development review

5.7 PASSIVE OPEN SPACE

5.7.1 Passive Open Space

The Natural and Landscaped Open Space consists of natural vegetation and hillsides (Planning Area 73), landscaped SCE easements (Planning Area 74), fuel modification setback areas (Planning Areas 69 and 75), and water facilities. This open space will also include such amenities as trails, vista points, and re-landscaped biological mitigation areas.

Tables 5-18 summarizes potential passive recreational land uses respectively to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Natural / Landscape / Easement or Drainage planning areas shall be permitted in accordance with the following use and development standards provisions. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

Table 5-18
Passive Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Natural / Landscape/ Easement (PAs 69,73,74,75)	Drainage (PA's 19, 71)
Recreational Uses		
Clubhouses	X	P
Community Centers	X	X
Golf Courses and Related Facilities	P	P
Interpretive or Visitor Information Centers	C	X
Playgrounds	P	P
Restroom Facilities	C	P
Theatres and Amphitheatres	X	X
Trails	P	P
Passive Open Space	P	P
Lakes	P	P
Habitat Conservation Areas	P	P
Sports Courts and Fields	P	P
Other Uses		
Water Facilities	P	P
Telecommunications Antennae/Towers	C	C
Campgrounds	C	X
General Retail / Gift Shops (ancillary use)	X	C
Restaurants (ancillary use)	X	C
Swimming Pool/Sports Club	X	P
Stables	X	X
Grazing of Animals	C	C

Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T)

5.7.2 Passive Open Space Development Standards

All recreation facilities shall be designed in accordance with the design requirements of the City of Banning or any other involved maintenance entity.

All recreational facilities will provide parking in accordance with City standards as applicable.

All park facilities and playground equipment will be constructed to meet current State and Federal safety and accessibility standards.

All active and passive recreational facilities will be landscaped and, where necessary, irrigated in a manner conducive to the type of plant material and landscape setting.

Landscaping within Passive Open Space areas will be further governed by Chapter 4, Design Guidelines, of the Butterfield Specific Plan.

The project is subject to fees for neighborhood and community park facilities, in accordance with the City's Parkland Development Fees. These fees shall be paid or facilities provided in lieu of fees for each dwelling unit constructed within the Specific Plan. Credit against these fees shall be granted by the City for all public parkland and improvements provided by the developer of Butterfield.

5.8 PUBLIC FACILITIES

5.8.1 Public Facility Development Standards

The California State Architect, in coordination with the Banning and Beaumont Unified School Districts respectively, has authority over design and permitting requirements for public school construction within PAs 20 and 68 of the Specific Plan area. No permits are required from any local government entity, including the City of Banning. Therefore, no development standards for school facilities are promulgated within Section 5 of this Specific Plan.

Planning Area 70 is a 4.2 acre site for the City of Banning's use as an electrical substation facility. This City substation site facilitates interconnection with SCE's transmission lines because of its location just north and adjacent to the east-west easement that runs through the mid-portion of the project site. The City's own technical requirements for this facility will apply.

Approximately 2 to 5 acres of the south end of Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment as an alternative for project wastewater treatment. The development of a wastewater treatment facility will comply with California state law and with the plan check requirements of the County Environmental Health Department and/or the City of Banning. The maximum height allowed on all structures associated with the satellite wastewater treatment facility will be 35 feet. The minimum structure setback will be 20 feet from all property lines. Screen walls and landscaping are allowed in the setback.

SECTION 6

BUTTERFIELD SPECIFIC PLAN

6.0 ADMINISTRATION AND IMPLEMENTATION

6.1 SPECIFIC PLAN ADMINISTRATION

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of the city's General Plan. As with General Plans, the Planning Commission must hold a public hearing before the planning agency can recommend the adoption of a Specific Plan.

The City of Banning's Community Development Director shall be responsible for administering the provisions of the Butterfield Specific Plan in accordance with the provisions of the Specific Plan, the State of California Government Code, the Subdivision Map Act, and the City of Banning General Plan, Zoning Ordinance and Municipal Code. The Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

6.1.1 Interpretation and Determination of Substantial Conformance

The final plans for each planning area for the project may be adjusted or modified, based upon final engineering and the precise plans of a project developer. A minor modification or adjustment to the Butterfield Specific Plan listed under Section 6.1.2 below would not require a Specific Plan Amendment.

Documentation of the proposed project as modified to support an implementing map, plot plan, or use permit, must be submitted for the review and approval of the Community Development Director. The Community Development Director shall have the authority to identify and approve on behalf of the City minor adjustments or modifications which substantially conform to the adopted Specific Plan. If the project proponent seeks a modification or adjustment to the Butterfield Specific Plan which is deemed to be a substantial modification, the Community Development Director shall have the discretion to refer any such requests to the Planning Commission.

The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo such technical review by City agencies as the Community Development Director deems necessary to provide for updated conditions of project approval.

6.1.2 Minor Adjustments and Modifications

The following minor modifications to the Specific Plan would qualify for processing under a Substantial Conformance application instead of as a Specific Plan Amendment, subject to the review and approval of the Community Development Director:

- Changes in the location of infrastructure and public facilities (such as internal roads, drainage facilities, etc.), subject to the review and approval of the Public Works Director also.

- Minor change in roadway alignment and grade, subject to the review and approval of the Public Works Director also.
- Adjustment of planning area boundaries provided the total acreage of the affected planning area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan, notwithstanding the other minor adjustment provisions herein, and except that school, park and open space planning areas may increase more than 20%.
- Revision to the number of dwelling units within a planning area if the total number of units for the Specific Plan area does not exceed the maximum number of units (5,387) allowed by the Butterfield Specific Plan and the maximum density allowed in a planning area.
- Revision in the land use density and applicable use standards to Medium Density Residential within planning areas designated Low Density Residential and located west and south of Highland Home Road, so long as the maximum dwelling units total (5,387) for the Specific Plan is not exceeded.
- Minor change of landscaping materials and/or locations, wall materials within those allowed by the Specific Plan, wall alignment, entry design, and streetscape design which are consistent with the conceptual designs set forth in the Specific Plan Design Guidelines.
- Minor changes to the Design Guidelines set forth in Section 4.0, which are intended to be flexible in nature.
- Changes in the sequencing of the development phasing as discussed in Section 3.7 of this Specific Plan.
- Deviations not exceeding 10% are allowed from the development standards set forth in Section 5.0 of this Specific Plan, subject to the discretion and approval of the Community Development Director.
- The allowed number of dwelling units and allowed density designated for Planning Area 43B may be transferred to other planning areas in the Specific Plan subject to the above provisions, if PA 43B is not annexed to the City of Banning and as long as the total number of dwelling units does not exceed 5,387 for the Specific Plan area.
- Alternative uses of Planning Areas 35 and 39 may include open space with active and passive recreational uses, such as walking or biking trails, parks and native type vegetation landscaping in lieu of a golf course.
- The Neighborhood Mini Parks and Neighborhood Recreation Park (PAs 21-34 and 62-72) may be relocated in their respective areas, including into PA 35, if the golf course is not developed there.
- If it is deemed preferable to locate additional stormwater detention facilities at the south end of the Specific Plan Area along Smith Creek, these facilities may be located in Planning Area 9. The boundaries of Planning Areas 7, 8, 12 and 13 may

be expanded into Planning Area 35, if a golf course is not developed in this area, to offset any proposed residential area displaced in PA 9.

- Alternate uses of PA's 3, 4, 5, 17, 18, 20, 26, 27 and 68 as allowed by Section 3.1.1.3 of this Specific Plan. If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 5, 26 and 27, as allowed by Section 3.1.1.3 approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.
- Other minor modifications similar to those listed above and deemed minor by the Community Development Director, which are in keeping with the intent of the Butterfield Specific Plan.

6.1.3 Specific Plan Amendments

Significant amendments may be proposed to the Butterfield Specific Plan using the same process by which it was adopted. In addition, an amendment to this Specific Plan shall demonstrate that it meets the intent of the Specific Plan, or provide a finding that the amendment enhances the Plan or is necessary to implement the Plan. All sections or portions of the Specific Plan to be changed or that may be affected by the change must be included in the Specific Plan Amendment. A concurrent amendment to the General Plan would not be required provided the City Council determines that substantive changes would not influence the goals, objectives, policies or programs of the City of Banning General Plan.

6.2 SPECIFIC PLAN IMPLEMENTATION

The Butterfield Specific Plan is implemented through City approval of a tentative tract map and design review of site development plans. Any development proposal shall be subject to the review procedures established in this Specific Plan.

6.2.1 Subdivision Maps

Subdivision maps implementing the Butterfield Specific Plan shall be prepared and filed in accordance with the Subdivision Map Act and Chapter 22, *Subdivisions*, of the City of Banning Municipal Code. Approval of the project's Final Tract Map is required in order to create legal lots for the residential development proposed by this Specific Plan.

The City of Banning Planning Commission will review tentative subdivision maps as required by City of Banning Subdivision Ordinance. This planning body makes recommendations of approval or denial to the Banning City Council, which ultimately takes action on the proposed tentative maps.

For purposes of CEQA, the Butterfield Specific Plan is considered a "project". Adoption of the Butterfield Specific Plan, for which an environmental determination shall be made

and mitigation measures adopted, shall be deemed to have satisfied the environmental review requirements for the build out of the Specific Plan area.

6.2.2 Project Design Review

The City of Banning shall administer all project submittals and approvals for development within the Butterfield Specific Plan with regard to the implementation of the Specific Plan through the Design Review process. The Community Development Director shall evaluate all projects subject to the Design Review process and may make the required findings and take final action. The Director may also refer projects to the Planning Commission for final action at their discretion.

6.3 MITIGATION MONITORING

A summary of conditions of project approval shall be prepared to mitigate or avoid significant effects on the environment. An approved Mitigation Monitoring Program shall insure that the Butterfield Specific Plan complies with all applicable environmental mitigation and permit requirements. The final approved Mitigation Monitoring program shall be established upon EIR certification.