

BUTTERFIELD SPECIFIC PLAN

APPROVED BY BANNING CITY COUNCIL APRIL 10, 2012

MINOR MODIFICATION OF SPECIFIC PLAN

APPROVED FEBRUARY 14, 2017

SCH # 2007091149

CITY OF
BANNING, CALIFORNIA

APPLICANT:



PREPARED BY:

Michael Baker
INTERNATIONAL

**BANNING CITY COUNCIL
APPROVAL
APRIL 10, 2012**

**MINOR MODIFICATIONS
OF SPECIFIC PLAN
APPROVED
FEBRUARY 14, 2017**

BUTTERFIELD SPECIFIC PLAN

Amendment to the Previously
Adopted Deutsch Specific Plan

City of Banning,
California



Michael Baker
INTERNATIONAL

BUTTERFIELD SPECIFIC PLAN

**(Amendment and Restatement of the Previously Adopted Deutsch
Property Specific Plan)**

Approved By Banning City Council on April 10, 2012

Minor Modification of Specific Plan Approved February 14, 2017

FINAL

CITY OF BANNING, CALIFORNIA

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1.0 INTRODUCTION

1.0 PROJECT INTRODUCTION

1.1 EXECUTIVE SUMMARY

The Butterfield Specific Plan proposes a multi-use community within the 1,543-acre Specific Plan area in the northwestern corner of the City of Banning¹. Butterfield is to be predominately residential, comprised of simple, architecturally designed single-family, detached homes. Neighborhood parks, community parks, schools, open spaces, retail and commercial parcels are also integrated into the community. The Butterfield Specific Plan proposes a variety of residential opportunities including small, medium and standard lot single family detached homes; various configurations of single family detached cluster residences and attached single family or multi-family dwellings.

The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment. The community landscape concept combines the existing natural character of the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls, and other similar materials and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species. Butterfield's high profile areas such as monumentation, parks, and other community facilities will be highlighted and reinforce the California ranch theme.

The outdoor lifestyle is an important design concept, one that is supported by residential plan types, parks and pedestrian connections linking the neighborhoods of Butterfield and by the community's immediate adjacency to the San Bernardino Mountains. This location provides an ideal setting for an active outdoor lifestyle and for residents to enjoy access to trails and close-up mountain views as their backdrop.

The land itself offers a dynamic setting that transitions from flatland to foothill to the San Bernardino Mountains – all within view of Butterfield residents. The open space plan neatly encompasses natural drainage paths and centrally organizes open spaces within the community. Community landscapes, parks and open spaces include the central open space, waving grasses and wildflowers edging community areas and select specimen trees providing landmark entries to the community. Butterfield's Design Guidelines are intended to facilitate diverse and varied streetscapes while maintaining a cohesive sense of place. Butterfield's architecture and landscapes are intended to be compatible with the surrounding environmental character. Design elements and landscape will consist of harmonious styles, forms, massing, color, materials, orientation and rooflines.

Proposed Low Density Residential single family lot sizes range from a minimum of 5,000 square feet to a minimum average of 7,500 square feet in some planning areas of the plan area. Medium Density single family lot sizes range from a minimum of 3,400 square feet to a minimum average of 7,200 square feet. The cluster development to be allowed in the project site is proposed to have lots ranging in minimum size from 2,000 to 2,800 square feet or as detached condominium units. High Density Residential attached townhomes or other types of attached dwellings are also proposed for potential development in three of the Specific Plan planning areas. A total of up to 4,862

¹ See Page 1-2 and Section 1.4 for further discussion of the Specific Plan area.

residential units are proposed for development within approximately 862 acres of the project site².

In addition to the proposed residential development, a total of approximately 496 acres of open space is proposed consisting of parks, natural open space, landscaped slope areas, easement areas, drainage areas, and the central open space integrated with the proposed realigned Smith Creek. To serve the future residents of Butterfield, two commercial sites totaling 36 acres are proposed. Other public facilities uses include two school sites constituting 27 acres, a 4.2 acre utility substation site, a potential 1.6 acre fire station site and approximately 101 acres reserved for the backbone roadway network. Further discussion of the Butterfield Specific Plan's proposed land uses is provided in Section 3.1 *Land Use Plan*, of this Specific Plan.

Approximately 1,527.6 acres of the total adopted Specific Plan area lies within the current limits of the City of Banning. In the Specific Plan area's northwest corner, approximately 15.4 acres are included in the adopted Specific Plan area, which are located on the east side of Highland Springs Avenue and southeast of the easterly end of Brookside Avenue that is located within the City of Banning's General Plan Planning Area, but is not currently within the City of Banning's Sphere of Influence or city limits. This area is not part of the Pardee Homes property holdings and is currently owned by the Highland Springs Country Club Owners Association. The Butterfield Specific Plan will not apply to this area unless this area is brought into Banning's Sphere of Influence and annexed to the City, if annexation is sought by the owners of this area.

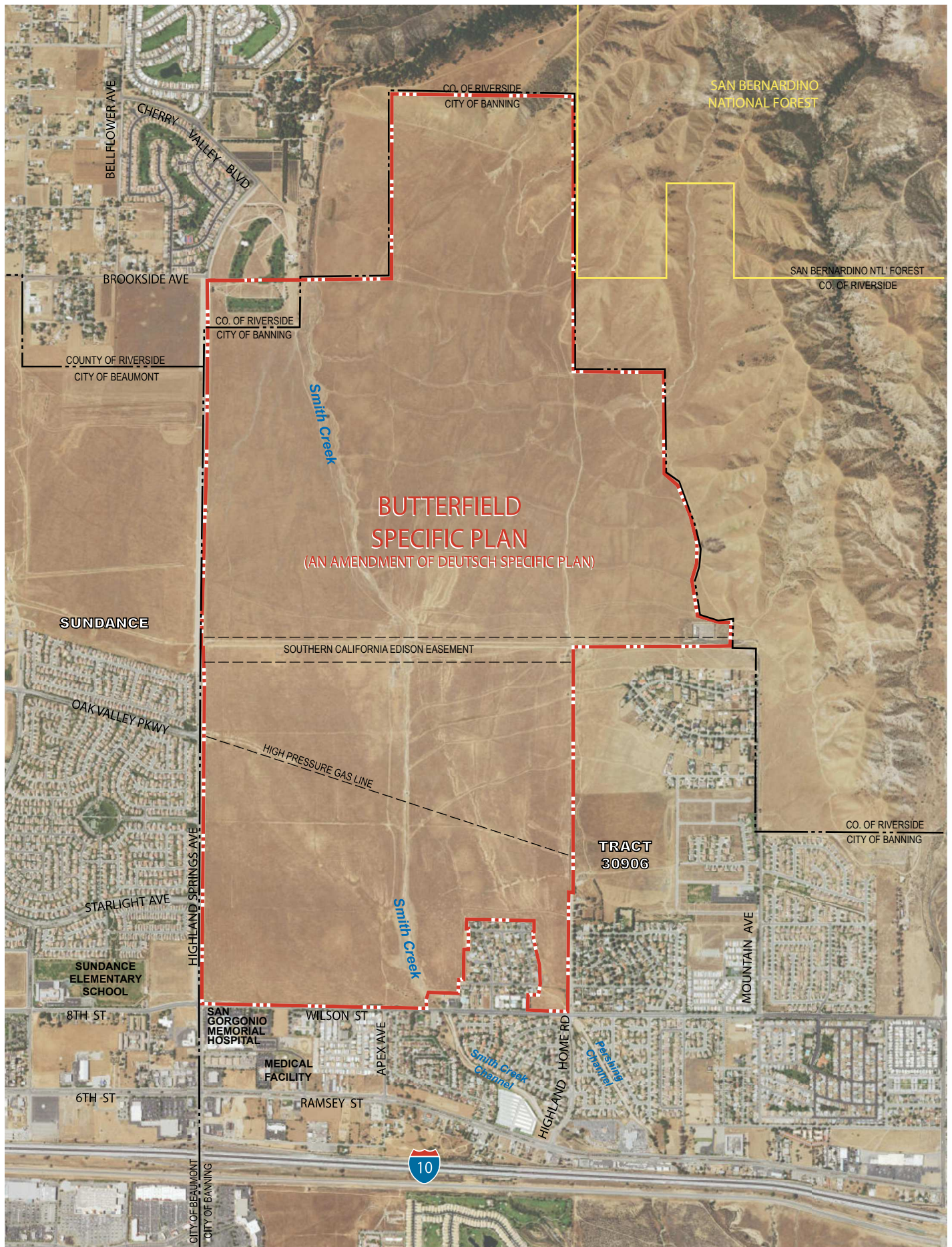
The Butterfield Specific Plan aims to fulfill the City of Banning's development objectives by creating a development that responds to community needs, incorporates existing amenities, and provides a variety of open space amenities and uses. The variety of residential uses provides housing at different affordable price levels for a variety of income levels. Through the use of effective planning, the proposed Butterfield Specific Plan responds to the community's vision by providing a desirable high-quality planned community that integrates evenly distributed residential development.

1.2 PROJECT LOCATION & SETTING

The Butterfield Specific Plan area is located within the northwest portion of the City of Banning in the County of Riverside. The project site is located in the San Gorgonio Pass area joining Riverside and Perris Valley with Palm Springs and the Coachella Valley lower desert. Several major freeways connect the project site to Western Riverside and San Bernardino County including Interstate 10 (I-10), and State Highways 60 (SR-60), 79 (SR-79), and 243 (SR-243). Regional access to the site is provided by I-10 from Highland Springs Avenue. The site is generally bounded by Wilson Street to the south, Highland Springs Avenue to the west; Riverside County unincorporated land to the north and northeast, and portions of Highland Home Road to the east. The San Bernardino National Forest is further north of the project site. Refer to Exhibit 1.1, *Regional Location*, and Exhibit 1.2, *Vicinity Map*.

² An alternate residential use of the school and commercial sites is permitted, if the school districts determine that the school sites are not needed or if the commercial sites are found not viable for commercial sites. The school sites could be alternatively developed with single family detached homes at up to 10 DU/AC, and the Commercial designated Planning Areas 17 and 18 could be developed with single family detached homes at up to 4.5 DU/AC and 10 DU/AC respectively as long as total of 4,862 dwellings units are not exceeded for the project. In addition, the Specific Plan allows Commercial as an alternative use for Residential PA's 3, 4, 9B and 20 and Park PA 26. Please consult Section 3.1 for further details.

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SOURCE: ESRI World Imagery 2016

Michael Baker
INTERNATIONAL

NOT TO SCALE

2/15/2017 JN 152356

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN
Local Vicinity Map

EXHIBIT 1.2

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1.3 SPECIFIC PLAN BACKGROUND

1.3.1 Deutsch Specific Plan 1993

The planning process for the original Deutsch property (as it was identified prior to being renamed Butterfield) began in October of 1981 and culminated in the approval of the original Deutsch Property Specific Plan. In April, 1984, a comprehensive entitlement program was initiated by Deutsch with the City of Banning in order to have the City formally adopt the Deutsch Specific Plan. The City's process required preparation of General Plan Amendment, Specific Plan, Zoning and Environmental Impact Report (EIR). Those studies were completed in October 1984. On April 18, 1985, the Banning City Council certified the Final EIR and on June 25, 1985 the Council approved a General Plan Amendment, Specific Plan, Zoning and Pre-Zoning for the Deutsch Property. A subsequent request (Specific Plan Amendment No. 1992-03) was filed to amend and enlarge the Specific Plan which the Banning City Council certified a new EIR on October 26, 1993 and adopted the amended Specific Plan on November 9, 1993 by Ordinance No. 1133. A majority of the specific plan area was annexed to the City of Banning in 1985. The remainder (except the 15.4 acres noted above in Section 1.1) was annexed to the City in 1995.

As part of the previous entitlement process, a development agreement was entered into between the City and the property owner and its successors, which committed both parties to the development program described in the Specific Plan. The agreement is binding, and exempts the Specific Plan from changes to codes, plans, resolutions, or voter approved initiatives that might yield a different development scenario. The approved and executed Development Agreement outlines the City responsibilities as well as the construction requirements for specified public improvements, facilities and services. On November 9, 1993, the Banning City Council adopted Ordinance No. 1134, which approved the Deutsch Specific Plan Development Agreement No.1992-02.

1.3.2 Butterfield Specific Plan 2012

The City of Banning received an application on August 20, 2007 from Pardee Homes, the current property owner, for a comprehensive amendment of the Deutsch Specific Plan to provide for an updated plan renamed the Butterfield Specific Plan that would allow up 5,387 dwelling units. A new Environmental Impact Report (EIR) (SCH No. 2007091149) was prepared for the Butterfield Specific Plan. After public information meetings and the required public review, the Banning City Council on March 27, 2012 approved and adopted Resolution No. 2012-24 certifying the EIR. On March 27, 2012 the Banning City Council also held public hearings on the Butterfield Specific Plan, related Development Agreement and other project considerations. The City Council at this meeting also adopted Resolution No. 2012-25 approving related General Plan Amendment No. 11-2501 and Zone Change No. 11-3501, and adopted Resolution No. 2012-27 approving the Water Supply Assessment for the Butterfield Specific Plan. On April 10, 2012 the Banning City Council adopted Ordinance No. 1450 adopting the Butterfield Specific Plan with Conditions of Approval and Ordinance No. 1451 adopting the Development Agreement. Ordinance No. 1450 with attached Conditions of Approval is contained in the appendix to this Specific Plan.

1.3.3 Butterfield Specific Plan & Settlement Agreement 2015-2017

In April and June of 2012 certain parties filed a legal challenge to the City of Banning's actions on the Butterfield Specific Plan pursuant issues regarding compliance with the California Environmental Quality Act (CEQA) which was consolidated into a single

matter under Riverside County Superior Court Case No. 1296246. After the Court issued a preliminary Statement of Decision in December of 2013, the City, Pardee Homes and the other parties in the action filed a Stipulation to Stay the Action for the purpose of compromising and settling the claims raised in the action and avoid further litigation. After negotiations, the parties agreed to a settlement agreement in the later part of 2014. On December 9, 2014 the Banning City Council approved the Settlement Agreement as signed by all parties. The Court approved the Settlement Agreement on February 9, 2015.

The approval of the Settlement Agreement allows the development to proceed 30 plus years after the Project site was proposed for development. The Settlement Agreement allows for the multitude of benefits provided by the Project to the City to be realized, such as a wide range of high quality housing opportunities for residents, additional local job opportunities, increased tax revenues and a fire station. The Project, as amended, will provide various new housing opportunities, new commercial uses, new school sites, new recreational opportunities, new infrastructure, new employment opportunities, and added economic benefits for the community.

The key provisions of the Settlement Agreement that have had an effect on the Butterfield Specific Plan can be summarized as follows:

A. Land Use Terms of Settlement Agreement

- Delete Road Extension to Brookside Ave. or Cherry Valley Blvd.: The proposed northerly extension of Highland Home Rd. in the Butterfield Specific Plan will not be proposed to be extend to Brookside Ave. or to Cherry Valley Blvd. This provision for eliminating the extension was also included in the City's 4/10/2012 approval of the Specific Plan (Condition of Approval #86B). The City agrees also to consider amend their General Plan Circulation Element to remove such a connection.
- Eliminate Planning Areas 60 and 61 and Planning Area 43B: Planning Areas 60 and 61 were previously proposed in the northerly portion of the Specific Plan were to be eliminated for the purposes of eliminating residential development in this area. This area is to be preserved as open space. Limited development is allowed for utility infrastructure and associated access roads, water tanks, a potential fire station, landscaping, and drainage/debris detention basins and related storm drain appurtenances. In the Specific Plan area's northwest corner, approximately 15.4 acres are included in the adopted Specific Plan area, which are located on the east side of Highland Springs Avenue and southeast of the easterly end of Brookside Avenue, and currently not within city limits. The 2012 Specific Plan, Condition of Approval No. 24 attached to 2012 Ordinance No. 1450, and Section 4 of the Settlement Agreement refer to this area as Planning Area 43B and/or the 21-acre property (actually 15.4-acres). Consistent with the provisions of these documents, the Butterfield Specific Plan indicates no development is proposed within this area pursuant to the specific plan. The Planning Area 43B designation has been removed from the Butterfield Specific Plan.
- Relocation of Veteran's Tree: The existing oak tree located along Highland Springs Avenue on the Butterfield property known as the Veteran's Tree will be relocated to a prominent location within the Project and near its current location.

- Elimination of Golf Course: As permitted by the Development Agreement, the Specific Plan, and the Conditions of Approval, the golf course use is eliminated from the Project. Recreational areas including parks and natural open space and other uses permitted by the Specific Plan and approved by the City are allowed as replacement uses in the Central Open Space or area previously proposed for the golf course. This area may also include areas for flood control, drainage and Project-related groundwater recharge.

Pursuant to Section 8.1.3 of the Development Agreement, the revised plan for the area previously proposed for the golf course shall incorporate active recreational use including biking and pedestrian trails, turnouts for exercise, viewing and educational facilities, all linkable to other residential tracts, parks and open space, landscaping and providing full access.

- Maximum Number of Dwelling Units: The Butterfield Specific Plan total number of dwelling units allowed shall not exceed 4,862 which is 525 units less than what the City previously approved (5,387).

B. Water Conservation Terms of Settlement Agreement

- Homeowner-Provided Landscaping: All residential development in the Specific Plan, through covenants, conditions, and restrictions, will be required to comply with the City's water conservation measures by applying the xeriscape principles set forth in Banning Municipal Code section 13.16.030 (Water Conservation Using Xeriscape Principles).
- Non-Potable Project-Related Water Infrastructure: Development in the Specific Plan will fund or construct all Project-related infrastructure and facilities required to allow the Project's use of non-potable water supplies when the City of Banning makes non-potable water available to the Project.
- Availability of Non-Potable Water: Issuance of building permits for any portion or phase of the Project within the Butterfield Specific Plan shall be contingent upon the availability of non-potable water supplies to serve any non-potable demands within the City in an amount greater than or equal to the non-potable demands of the portion of the Project for which building permits are requested.
- Plumbing: Development within the Specific Plan will include ultra-low flow toilets at 1.28 gallons per flush throughout the Project.

C. Energy Conservation Terms of Settlement Agreement

- Solar Photovoltaic Systems: Solar photovoltaic systems (or the equivalent renewable energy generating technology) will be installed on multi-family residential developments of 18 units per acre or more with a common wall.
- Electric Vehicle Charging: Electric car charging stations will be installed in at least 3% of the parking spaces in the commercial units and multi-family residential units within the Project.
- Efficiency Standards: All developer-installed appliances within the Project will meet or exceed Energy Star efficiency standards.

- Ride Sharing Lot Request: A ride sharing lot subject to the approval of the responsible transportation agencies will be provided within the Project before 1,000 units are built.
- Transportation Coordination: Development within the Butterfield Specific Plan will coordinate with the Banning Pass Transit Agency, the Riverside Transit Agency, and the City for service within the Specific Plan area on future bus routes and scheduled bus service, which are based upon demand.

The Butterfield Specific Plan has been updated as of June 2016 to reflect the applicable provisions of the Settlement Agreement, and other minor modifications, including the following adjustments:

- Adjustment of remaining planning areas and backbone street system in Specific Plan to accommodate approved Settlement Agreement directed adjustments.
- Adjustment of land use mix as reflected in Table 1-1, Comparative Land Use Summary, per the Settlement Agreement adjustments.
 - Residential use area reduced.
 - Open Space area increased.
- Realignment of previous proposed "B" Street through Butterfield Specific Plan area as an easterly extension of Oak Valley Parkway to Highland Home Road. Realignment necessary to accommodate the upgrading of the Southern California Gas Co. transmission line through the Specific Plan area and maintain it in a roadway area for maintenance and safety purposes. Line to be upgraded to current standards, but not increased in size.
- Adjustment of planning areas and backbone street system in the southern half of Specific Plan to accommodate realignment of Oak Valley Parkway/"B" Street for gas line.
- Relocate Planning Area 20 school site pursuant to School District request.

The Banning City Council on February 14, 2017 adopted Resolution No. 2017-07 concurring with and approving minor modifications to the Butterfield Specific Plan, subject to new conditions of approval. The minor modifications, in compliance with the Settlement Agreement as noted above and as otherwise noted, were found to be in substantial conformance with the Specific Plan as approved in 2012, as allowed by Section 6.1.2 of the Specific Plan. Resolution No. 2017-07 also approved General Plan Amendment No. 16-2501 amending the Banning General Plan Circulation Element to reflect the removal of the proposed extension of Highland Home Road to Brookside Avenue and Cherry Valley Blvd., consistent with the provisions of the Settlement Agreement, and approving an Addendum to the Butterfield Specific Plan Final EIR.

1.4 **DEUTSCH SPECIFIC PLAN AND BUTTERFIELD SPECIFIC PLAN (2012 & 2016) – COMPARISON OF PLANS**

The following Table 1-1, *Comparative Land Use Summary*, compares the 2016 Butterfield Specific Plan Land Use Plan update pursuant to the 2015 Settlement Agreement and other modifications with the approved 2012 Butterfield Specific Plan amendment Land Use Plan and with the 1993 adopted Deutsch Specific Plan Land Use

Plan. For a graphic comparison representation of the 1993 Specific Plan, the 2012 Specific Plan, and the 2016 Specific Plan Land Use Plans, refer to Exhibit 1.3, *Specific Plan Comparison*. The gross density of the Butterfield Specific Plan over the entire site, 3.2 dwelling units to the acre is less than the 3.5 dwelling units to the acre for the previously adopted Deutsch Specific Plan.

Table 1-1
2017, 2012 and 1993 Specific Plans
Comparative Land Use Summary

Land Use	1993 Approved Deutsch Specific Plan		2012 Approved Butterfield Specific Plan		2017 Butterfield Specific Plan	
	Gross Acres (% of Total)	Dwelling Units	Gross Acres (% of Total)	Dwelling Units	Gross Acres (% of Total)	Dwelling Units
Residential						
Low Density 0-5 DU/AC (LDR)	656.0 (42.3%)	1,946	539.2 (35.0%)	2,222	487.9 (31.6%)	2,201
Medium Density 0-10 DU/AC (MDR)	390.0 (25.1%)	1,950	324.4 (21.0%)	1,960	335.8 (21.7%)	2,095
High Density 11-18 DU/AC (HDR)	89.0 (5.7%)	1,184	73.8 (4.8%)	1,205	38.4 (2.5%)	566
Very High Density 18 DU/AC+ (HDR)	16.0 (1.0%)	320	(0)	(0)	(0)	(0)
Residential Subtotals	1,151.0 (74.2%)	5,400	937.4 (60.8%)	5,387	862.1 (55.8%)	4,862
Open Space						
Golf Course/Drainage	193.0 (12.4%)		253.9 (16.5%)		(0)	
Parks	75.0 (4.8%)		66.5 (4.3%)		78.4 (5.1%)	
Natural/Landscape/Drainage	(0)		108.4 (7.0%)		418.1 (27.1%)	
Open Space Subtotals	268.0 (17.3%)		428.8 (27.8%)		496.5 (32.2%)	
Other						
Commercial Office ¹	25.0 (1.6%)		36.0 (2.3%)		36.7 (2.4%)	
Schools ²	24.0 (1.5%)		23.0 (1.5%)		27.1 (1.8%)	
Utility Substation	(0)		4.2 (0.3%)		4.2 (0.3%)	
Fire station ³	1.0 (0.06%)		1.6 (0.1%)		1.6	
Backbone Roads	83.0 (5.3%)		113.6 (7.4%)		101.0 (6.5%)	
Other No Development Area ⁴	(0)		(0)		15.4	
Other Subtotals	133.0 (8.5%)		176.8 (11.4%)		184.4 (12.0%)	
Specific Plan Totals	1,552.0 (100%)	5,400	1,543.0 (100%)	5,387	1,543.0 (100%)	4,862

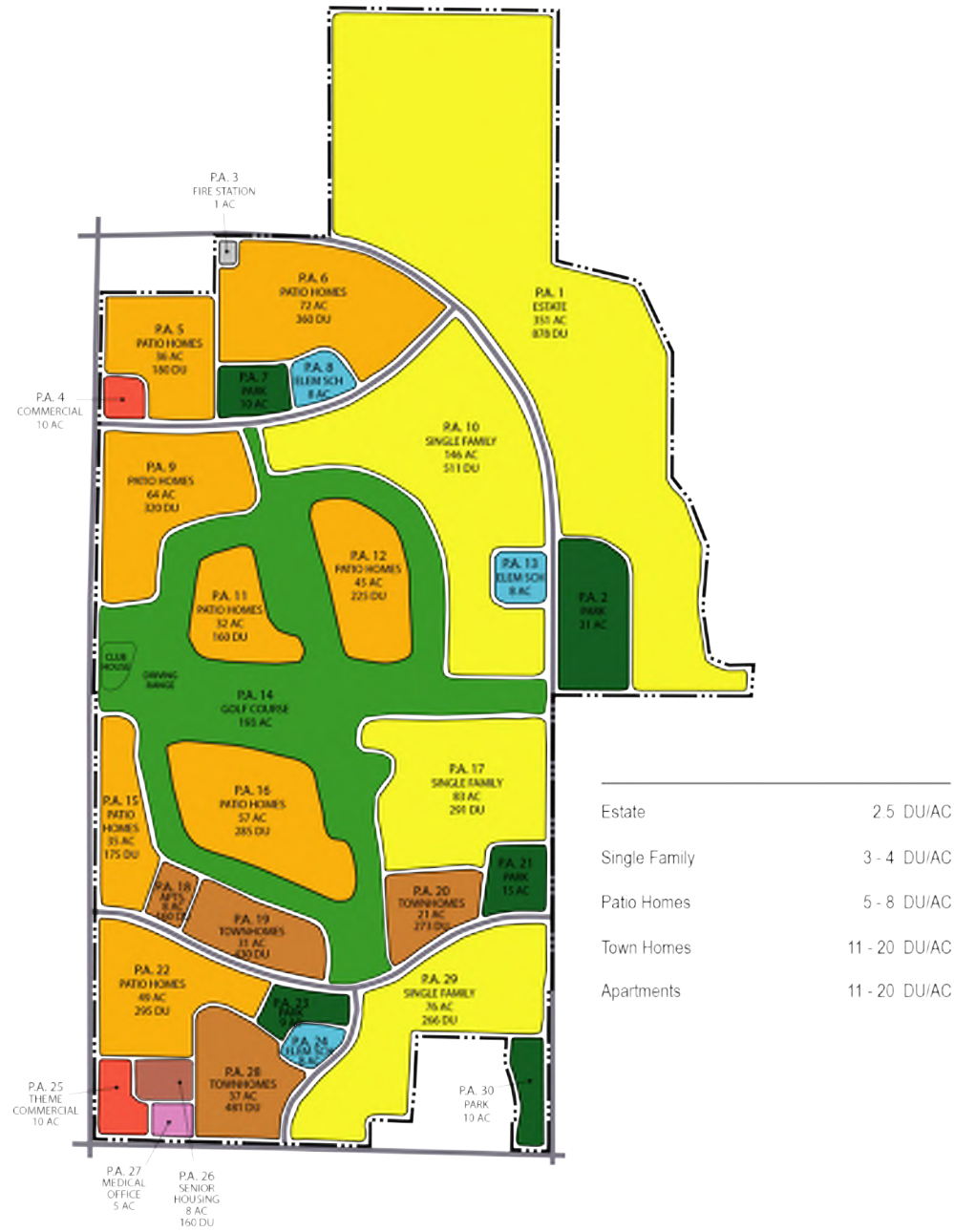
¹ Within the Butterfield Specific Plan, alternate Residential use or mixed use of the Commercial sites is provided, for PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR), as long as the overall DU total for the Specific Plan does not exceed 5,387 ~~4,862~~ DU.

² Alternate Residential use of school sites at up to 10 DU/AC is provided for within the Butterfield Specific Plan as long as the overall DU total for the Specific Plan does not exceed 5,387 ~~4,862~~ DU.

³ A fire station site is designated as a permitted use in any of the Residential, Open Space, Commercial or School Planning Areas, Except PA's 36, 37, 38, 39, 69, 73, 74, and 75 in the Butterfield Specific Plan. The 1.6 acre fire station site area is included in the area of open space land use areas for the 2017 Specific Plan.

⁴ The 2017 Modified Specific Plan eliminated previous Planning Area 43B designated in the 2012 Specific Plan, but this area remained in the 2017 Specific Plan area as a No Development Proposed area, consistent with the Settlement Agreement.

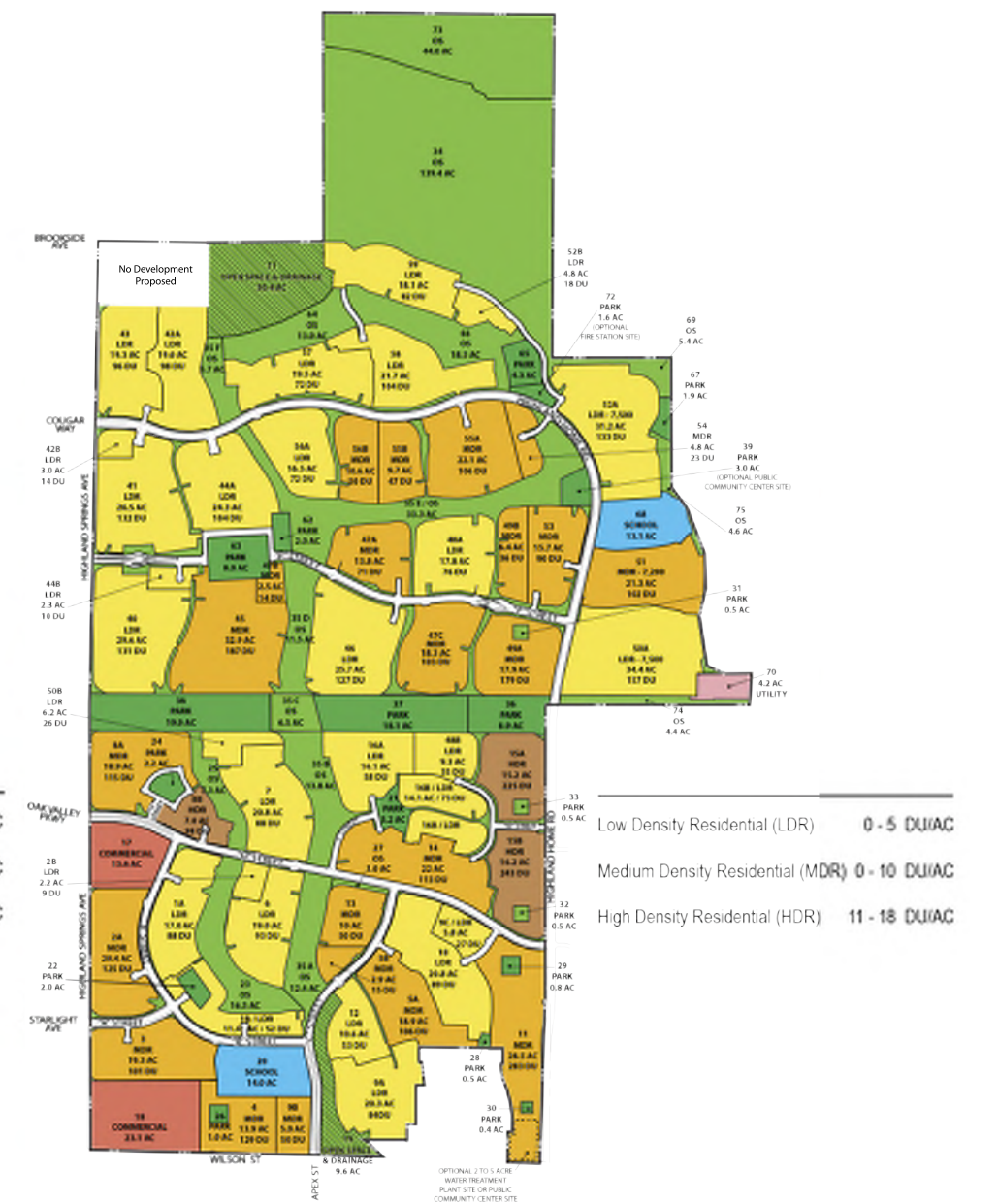
PREVIOUSLY ADOPTED 1993 DEUTSCH SPECIFIC PLAN



2012 APPROVED BUTTERFIELD SPECIFIC PLAN



2017 BUTTERFIELD SPECIFIC PLAN



See Table 1-1, Comparative Land Use Summary, for a land use statistical comparison of these two Specific Plans.

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The total area of the Butterfield Specific Plan (1,543 acres) is less than that listed in the 1993 Deutsch Specific Plan (1,552 acres). The reasons for this discrepancy are not entirely certain, but it may be in part attributed to a refinement in calculating the Specific Plan area and to what extent perimeter streets are included in the calculations. The 1993 Deutsch Specific Plan included in the boundary shown as part of that document an additional approximately 30 acre area on the northeast side that was not included in the 1995 annexation, and is not currently within the Banning city limits, and is not shown as part of the specific plan area on either the Banning General Plan or Zoning maps. The Butterfield Specific Plan acreage includes anticipated additional street right-of-way dedication on Highland Springs Avenue, Wilson Street and Highland Home Road, but it does not include existing right-of-way on these streets. The 2012 Specific Plan included a proposed Planning Area 43B in the northwest corner of the Specific Plan that was outside current Banning city limits and outside of Pardee Homes property ownership. The Settlement Agreement calls for this previously proposed PA 43B not to be developed in conjunction with the Specific Plan, therefore the PA 43B designation was removed in the 2017 Specific Plan; however, this area remains in the Specific Plan boundary as adopted in 2012, but as a No Development Proposed area.

1.5 BUTTERFIELD SPECIFIC PLAN APPROACH AND OBJECTIVES

The Butterfield Specific Plan is designed to ensure that development will occur in a manner responsive to site characteristics and community improvements. Butterfield's relationship to the General Plan is discussed in greater detail in Section 7.0, *General Plan Consistency*.

The objectives of the Butterfield Specific Plan Project are to:

- **Master Planned Community:** Design and implement the development of a creatively-designed master planned community that expresses and embodies the City's vision of its future as articulated in the fundamental land use principles, policies, and objectives of the City's General Plan.
- **Update the Deutsch Specific Plan:** Update the prior approved 1993 Deutsch Property Specific Plan based on current and projected market conditions while maintaining the Plan's underlying concept of comprehensive and cohesive development planning that allows for the appropriate physical and economic development of the property.
- **Provide a Quality, Livable Community:** Provide a quality, livable community through the implementation of a Specific Plan that will ensure a consistent quality of design, allow for the provision and maintenance of community amenities, and create a collection of cohesive, well-defined neighborhoods that provide residents with a clear sense of place and identity within the diverse fabric of the larger community.
- **Provide a Wide Range of Housing Opportunities:** Provide a range of high quality housing opportunities by developing a diverse range of housing types available at a variety of price points, responsive to market demand, varying lifestyles, and the developing economic profile of the community.
- **Promote Sustainability:** Promote the concept of sustainable community development by implementing green building practices in the selection of construction materials,

- the recycling of construction waste, and the use of energy and water efficient building practices.
- **Incorporate Water and Energy Efficiency:** Incorporate energy and water efficient design and technology into the homes, commercial buildings, and landscape of the Butterfield development.
 - **Conserve Water Resources:** Conserve water resources and reduce demand for potable water within the Specific Plan area by maximizing the use of recycled water wherever appropriate, including the potential development of onsite recycled water treatment capacity, if needed.
 - **Increase Employment Opportunities:** Increase local job opportunities through the approximate 30 year build out.
 - **Ease of Navigation:** Create a community that it easy to navigate through careful use of landscape, signage, and entry design based on the Specific Plan's design objectives.
 - **Recreational Amenities:** Provide recreational amenities which will serve the needs of neighborhood residents and others in the City of Banning as well as nearby communities.
 - **Safe and Efficient Circulation:** Provide a safe and efficient roadway network, linking all internal elements of the planned community with the surrounding area.
 - **Encourage Alternative Transportation:** Encourage alternative transportation choices through the creation of a walkable community with well-defined pedestrian linkages between neighborhoods, amenities, schools, and commercial uses, the provision of bike paths, the creation of LSV/NEV linkages, and the development of multi-purpose trails.
 - **Promote Community Security:** Promote community security and safety through appropriate outdoor lighting, the incorporation of "defensible space" concepts in the design of multifamily developments, and by encouraging community involvement through the area's master homeowners association.
 - **Address Drainage and Water Quality Issues:** Provide adequate drainage, flood control and water quality improvements, which satisfy applicable local, state and federal criteria while respecting and enhancing/preserving natural drainage functions and features.
 - **Ensure Provision of Public Services:** Ensure provision of adequate public services, utilities and infrastructure in a timely manner as development occurs; and
 - **School Facilities:** Ensure provision of adequate education facilities within the planned community, pursuant to applicable school district and state requirements.

1.6 DOCUMENT PURPOSE AND FORMAT

The purpose of the Butterfield Specific Plan is to plan and regulate the development of the 1543-acre project site located within the northwestern part of the City of Banning. The Specific Plan will serve as the implementation and regulatory tool for the orderly development of the project. The Specific Plan has been prepared in conformance with the City of Banning's General Plan and Zoning Code as it relates to the preparation of specific plans and other aspects as applicable. The Specific Plan provides an overall land use concept and defines the development regulations, requirements, and design guidelines for the development of the land uses within the plan. This plan will establish the type, location, intensity, and character of the development, while still allowing for creative and imaginative design concepts.

The original Deutsch Property Specific Plan was accompanied by an Environmental Impact Report (EIR) and supplemental technical studies, which addressed the environmental impacts of the original project. The Butterfield Specific Plan is an amendment and restatement of the Deutsch Property Specific Plan document. A new EIR was prepared on the 2012 Butterfield Specific Plan which was adopted by the City of Banning. This EIR updates the environmental analysis contained in the previously adopted EIR and complies with the requirements of the California Environmental Quality Act (CEQA).

Cities are authorized by the State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450 to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The Government Code specifies that Specific Plans may be adopted by resolution or ordinance and are required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for Specific Plans including provisions of a land use plan, a plan for infrastructure and services, criteria and standards for development, and implementation measures. The Government Code also states that Specific Plans may address any other subjects, which in the judgment of the City are necessary or desirable for the implementation of the General Plan. As such, the Butterfield Specific Plan is organized into the following chapters:

Section 1 – Introduction: This chapter provides a general overview of the project, including the project location, project background, and the entitlements and actions necessary to adopt and implement the Specific Plan amendment. In addition, this chapter describes the approach and objectives of the Specific Plan in relation to the project vision and community needs.

Section 2 – Existing Conditions: This chapter describes the existing land uses of the site and surrounding development, General Plan and Zoning designations, existing landform and topography, and circulation and access points of the project site. Also included is a discussion of the existing infrastructure and utilities, geology and soils, vegetation and wildlife, and the site historic or cultural resources.

Section 3 – Development Plan: This chapter establishes plans for the land use, circulation, infrastructure and phasing components of the project. This chapter also establishes the land uses for the project, including residential, open space areas, commercial uses, and school sites designations.

Section 4 – Development Design Guidelines: This chapter sets forth the design programs and requirements for the project, identifying the characteristics of the architectural theme and landscape program for the project.

Section 5 – Development Regulations: This chapter establishes the land use and development standards for development of the Specific Plan area, such as lot sizes and setbacks, and serves as the zoning regulation for the project site.

Section 6 – Administration and Implementation: This chapter sets forth the mechanisms that govern development within the Specific Plan. These mechanisms include provisions for amendment and modification of the Specific Plan.

Section 7 – General Plan Consistency: This chapter describes the projects consistency with the goals and programs set forth in the City of Banning's General Plan which are applicable and furthered by the Butterfield Specific Plan.

Appendix: The appendix to the Butterfield Specific Plan includes the following documents:

- A. City of Banning Ordinance No. 1450 (April 10, 2012) approving the Butterfield Specific Plan and adopting Conditions of Approval.
- B. Banning City Council Resolution No. 2017-07 (February 14, 2017), including approving Minor Modifications to the Butterfield Specific Plan and adopting new Conditions of Approval.

1.7 REQUIREMENTS OF THE SPECIFIC PLAN

The Butterfield Specific Plan amendment has been prepared pursuant to the provisions of California Government Code Section 65450 through 65457, which grants local government agencies the authority to prepare specific plans for any area covered by a General Plan. California Government Code Sections 65450 through 65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate that Specific Plans be consistent with the General Plan within which they are included.

According to Section 65451, a Specific Plan shall include a text and a diagram or diagrams, which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the Specific Plan Area.
- The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities to be located within the Specific Plan area and which are needed to support the land uses described in the Plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, public works projects, and financing measures necessary to carry out the project.

- A statement of the relationship of the Specific Plan to the General Plan.

1.8 DISCRETIONARY ACTIONS AND APPROVALS

Concurrent with the approval of this Specific Plan in 2012, the project applicant applied for and received approval of a General Plan Amendment and Zone Change as necessary and amended Development Agreement, Tentative Tract Maps, and Design Review will be additional requested and required related approvals that may be subsequent or concurrent considerations with the Specific Plan. The General Plan Amendment and Zone Change applications allows Specific Plan land use designations and overlay zones to be established on the project site that reflect the adoption of the amended Specific Plan. The Design Review application allows for the approval of architectural plans for the proposed residential development. The City of Banning is the Lead Agency for preparation of the appropriate California Environmental Quality Act (CEQA) documents in support of approval of these applications as required. The CEQA documentation analyzes the impacts associated with the proposed development and would require certification prior to approval of any discretionary actions.

2.0

**EXISTING
CONDITIONS**

SECTION 2

BUTTERFIELD SPECIFIC PLAN

2.0 EXISTING CONDITIONS

2.1 EXISTING AND SURROUNDING LAND USES

The Butterfield Specific Plan project site is comprised of approximately 1,543 acres (see description of project site acreage as part of Sections 1.1 and 1.4). It is generally bounded by Wilson Street to the south, Highland Springs Avenue to the west, Riverside County unincorporated land to the north and northeast, and portions of Highland Home Avenue to the east. Approximately 1,527.6 of these acres are currently in the Banning city limit. The other approximately 15.4 acres included in the adopted Specific Plan area are located in the northwest corner of the Specific Plan on the east side of the Highland Springs Avenue and the south side of a proposed easterly extension of Brookside Avenue.

The following is a description of existing conditions as reported for the Specific Plan area as of 2011. No significant change to the project site has been observed or is anticipated to have occurred to the site. The site is used intermittently for agriculture and livestock grazing and has been extensively disturbed by man. Disturbance includes grazing, disking and contour farming. Vegetation types within the project site consist primarily of annual grassland and mixed chaparral. Dominant plant species are non-native, including wild oat and brome grasses.

Smith Creek currently runs from north to south within the project site boundaries. Within the project boundary, Smith Creek is a natural earthen channel approximately 30 feet wide and ranges from three to five feet deep. The channel is mostly barren soil with a sandy bottom and soil sidewalls. Pershing Channel exists along the east boundary in the lower southwest portion of the Specific Plan Area.

The existing topography of the site is relatively level due to its past farming and grazing disturbances. However, the site begins to slope upward towards the northeast corner of the site since the San Bernardino Mountain range has its southern boundary along the edge of the site. The elevation of the southern portion of the project area is approximately 2,560 feet; at the project site's highest point in the northeast corner, the elevation is approximately 3,400 feet.

Exhibit 2.1, *Surrounding Development*, depicts the project site in the context of other proposed developments in the vicinity. The lands surrounding the project site to the north and to the east are vacant foothills. Further to the north are portions of the San Bernardino National Forest. The land to the west of the project site is comprised of the Sundance Specific Plan within the City of Beaumont and is currently being developed, with the majority of the remaining undeveloped portions of the site covered with non-native grasses. To the northwest of the site, across Brookside Avenue, the land is developed as the Highland Springs Country Club Golf Course area within the unincorporated County area. There is also existing low-density, single family housing west of Highland Springs Avenue, which is part of the Highland Springs Country Club. Further northwest of the project site, there is the Highland Springs Mobile Home Village. To the south of the project site, north of Wilson Street, the land is occupied primarily by high-density, multiple-family housing (8.1-16 du/acre), and low-density, single-family

housing (2.4 to 4.1 du/acre). Additionally, south of Wilson Street, and north of I-10, property is designated as Highway and Community Commercial and Residential.

2.2 GENERAL PLAN AND ZONING DESIGNATIONS

The City of Banning General Plan (adopted January, 2006) identified six land use categories for the project site. In conformance with the General Plan, a Specific Plan overlay has been designated for the project site. The 15.4-acre area in the northwest corner of the project site is located outside of Banning's city limits, but it is located within the City of Banning's Planning Areas as designated on their General Plan Land Use Map. The previous General Plan designations on the Specific Plan area reflected the Deutsch Specific Plan (1993) approved land uses. Exhibits 2.2 and 2.3 depict the City's General Plan and zoning designation as amended for the project site as Specific Plan Area and the existing designations for the project vicinity.

2.3 CIRCULATION AND ACCESS

Table 2-1, *Existing Circulation Network*, provides a description of the existing roadways within the project area. Table 2-1 includes the General Plan designation and number of existing lanes. Roadways in the project vicinity include Highland Springs Avenue to the west of the project boundary, Wilson Street to the south and portions of Highland Homes to the east.

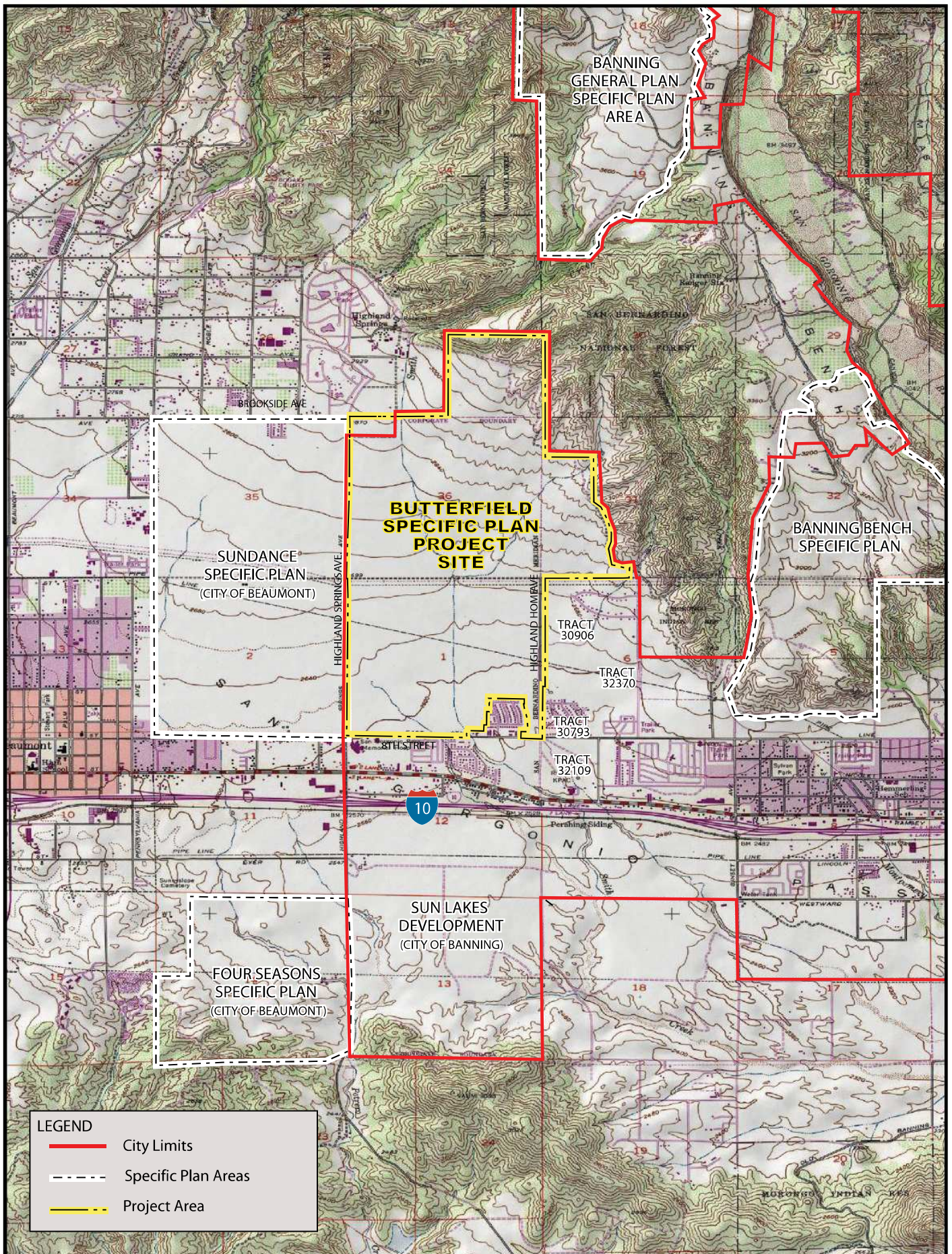
**Table 2-1
Existing Circulation Network**

Roadway	General Plan Designation	Existing Lanes
Highland Springs Ave. (south of Wilson Street)	Urban Arterial	4 lanes, undivided
Highland Springs Ave. (north of Wilson Street)	Arterial or Major Highway	2-4 lanes, undivided
Highland Home Road	Arterial or Major Highway	Partial 2 lanes, undivided
Wilson Street	Arterial or Major Highway	4 lanes, undivided

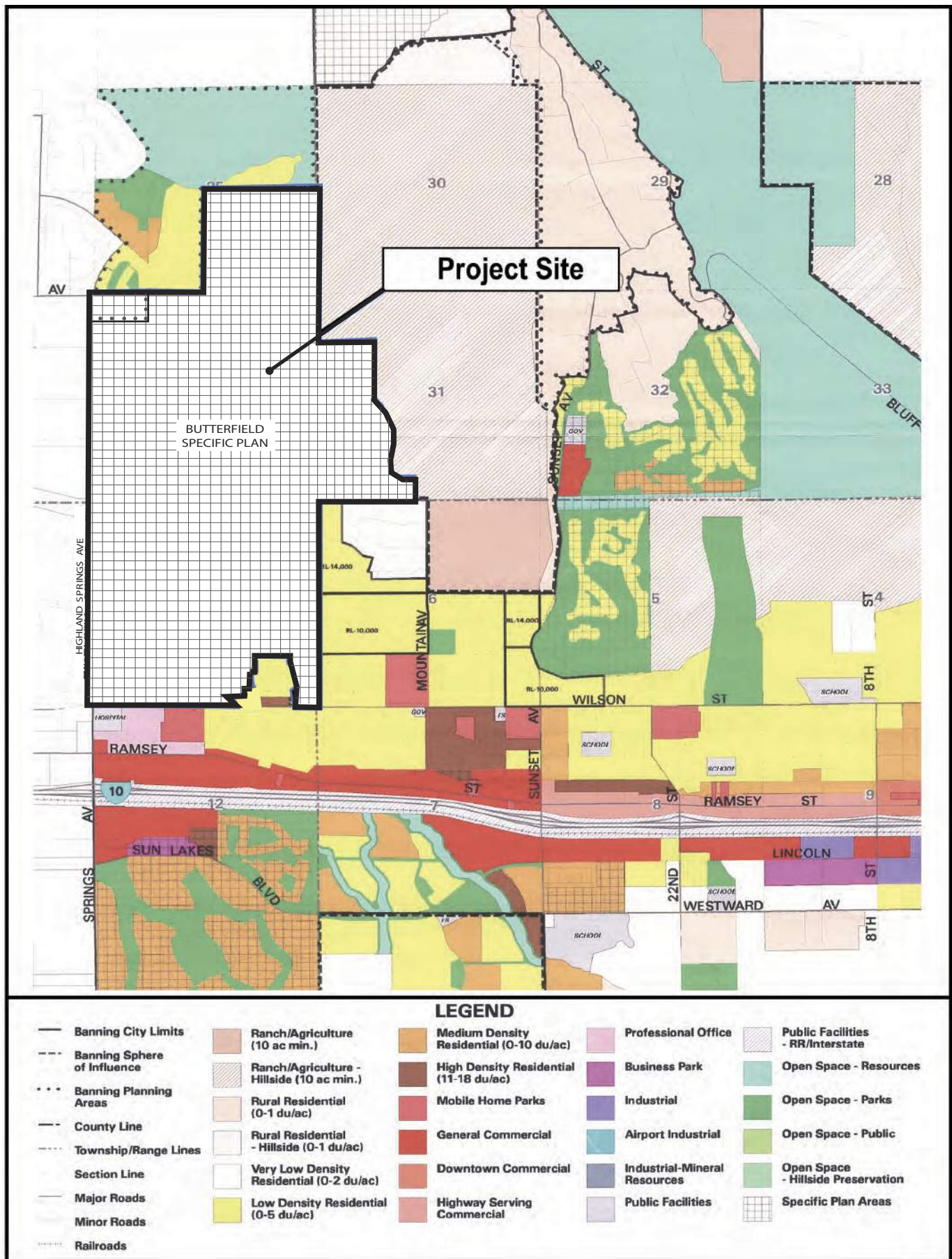
2.4 GEOLOGY, SEISMICITY, AND SOILS

2.4.1 Soil, Groundwater and Geologic Conditions

The project area is positioned north of the Peninsular Range geologic province of California which includes the San Jacinto Mountains. The San Bernardino Mountains rise to the north and are part of the Transverse Range Province. These mountain ranges rise to 11,000 feet Above Mean Sea Level (AMSL) and are composed of Jurassic and Cretaceous granitic rocks, which contain intruded and metamorphosed older rocks.

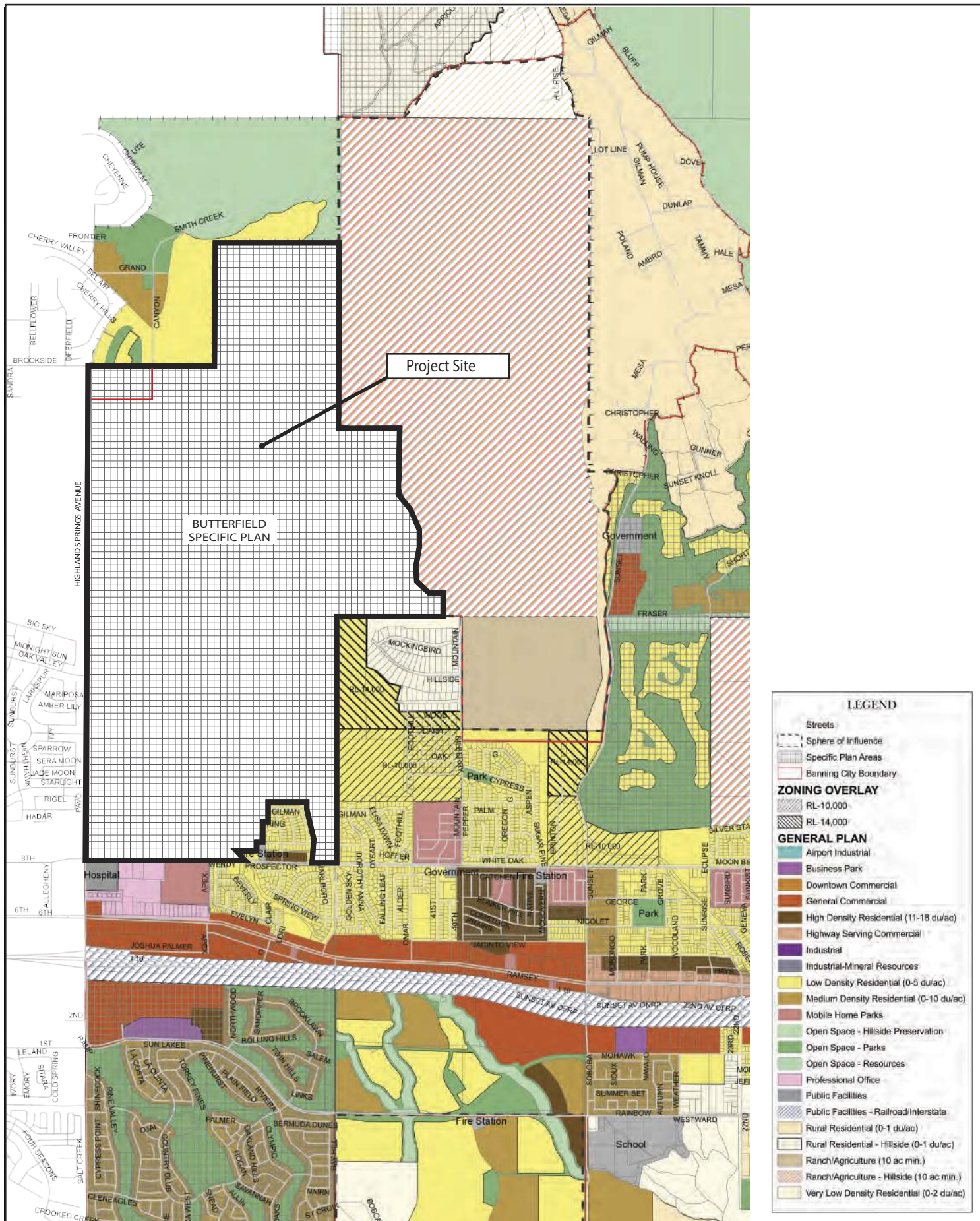


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Source: City of Banning General Plan Land Use Map

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SOURCE: City of Banning Zoning Map

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The parcel sits at the base of and is separated from the San Bernardino Mountains by the Banning Branch of the San Andreas Fault System. Erosion along the San Andreas Fault is responsible for the development of San Gorgonio Pass. Sediments that range in age from late Miocene, Pliocene, and Holocene crop out in the pass. Younger sediments consist of alluvial debris from the San Bernardino Mountains to the north. A view of project site and area topography is provided in Exhibit 2.4, *USGS Topographic Map*.

The site is underlain by relatively thick alluvial deposits that have washed down from the foothills of the San Bernardino Mountains, located to the north. The thickness of these materials may range from a few feet within the northeast portion of the site up to approximately 30 to 40 feet along the southern boundary. Alluvial deposits generally consist of silty sand and clayey sand with occasional layers of gravel and cobble. The alluvium is underlain by granitic rock. The alluvium reduces in thickness towards the San Bernardino Mountains.

2.4.2 Geologic/Seismic Hazards

The project site does not lie in an Alquist-Priolo Earthquake Fault Zone. However, the Butterfield Specific Plan area is situated in an earthquake-prone region of Southern California and can be subjected to moderate to strong ground shaking typical of the region. The active faults in the area are the San Gorgonio Pass Fault located within the northern portion of the project site and the Banning Fault located at the north end of the property. The Banning Fault is a right-lateral strike-slip and in two segments. The fault segment that is located within the project site is considered potentially active. The San Gorgonio Pass fault zone is an east-west trending fault zone with the most recently active strands of faults occurring at the base of the Banning Bench, in the central part of Banning. Per the City of Banning General Plan's EIR, the Highland Scarp along the western edge of the City is considered an active segment of the San Gorgonio Pass Fault Zone. The San Gorgonio active fault has the potential to generate maximum credible earthquakes in the 6.9 to 7.3 range.

No evidence of deep-seated landslides has been identified within the Specific Plan area, which is consistent with the relatively flat to gently sloping topography and the overall uniformity of the site soil conditions (i.e., site is essentially underlain completely by alluvium). Additionally, no historical data indicates the presence of liquefaction in the project area. Liquefaction occurs in loose cohesion- less soils located below water table that are subjected to large accelerations during strong earthquakes.

2.5 DRAINAGE

Most of the Butterfield Specific Plan area currently drains to Smith Creek, which runs north to south down the center of the project site. Only 140 acres (approximately) in the southeast corner of the Specific Plan area drain the Pershing Channel located along Highland Home Road just north of Wilson Street. Smith Creek currently exists as a natural earthen channel that conveys down the center of the site, where it connects to the existing culvert under Wilson Street and the existing channel south of the street. The channel is approximately 30 feet wide and ranges from three to five feet deep and consists of a sandy bottom with soil sidewalls.

Pershing Channel connects with the project site along its southeastern edge and is conveyed along Highland Home Road where it travels under Wilson Street via a culvert and into an existing channel south of the street.

2.6 BIOLOGICAL RESOURCES

2.6.1 Sensitive Resources

In general, the Project site provides only marginally suitable habitat for special status plant species because of its disturbed condition, the result of historic agricultural and grazing uses. No sensitive plant species have been detected on the Project site or within proposed offsite improvement areas; refer to the complete list of special status species and community occurrences in the regional study area, located in Table II of Appendix C1, *Biological Resources Assessment*, of the Specific Plan EIR. This Table II also provides information regarding sensitive wildlife species in the region.

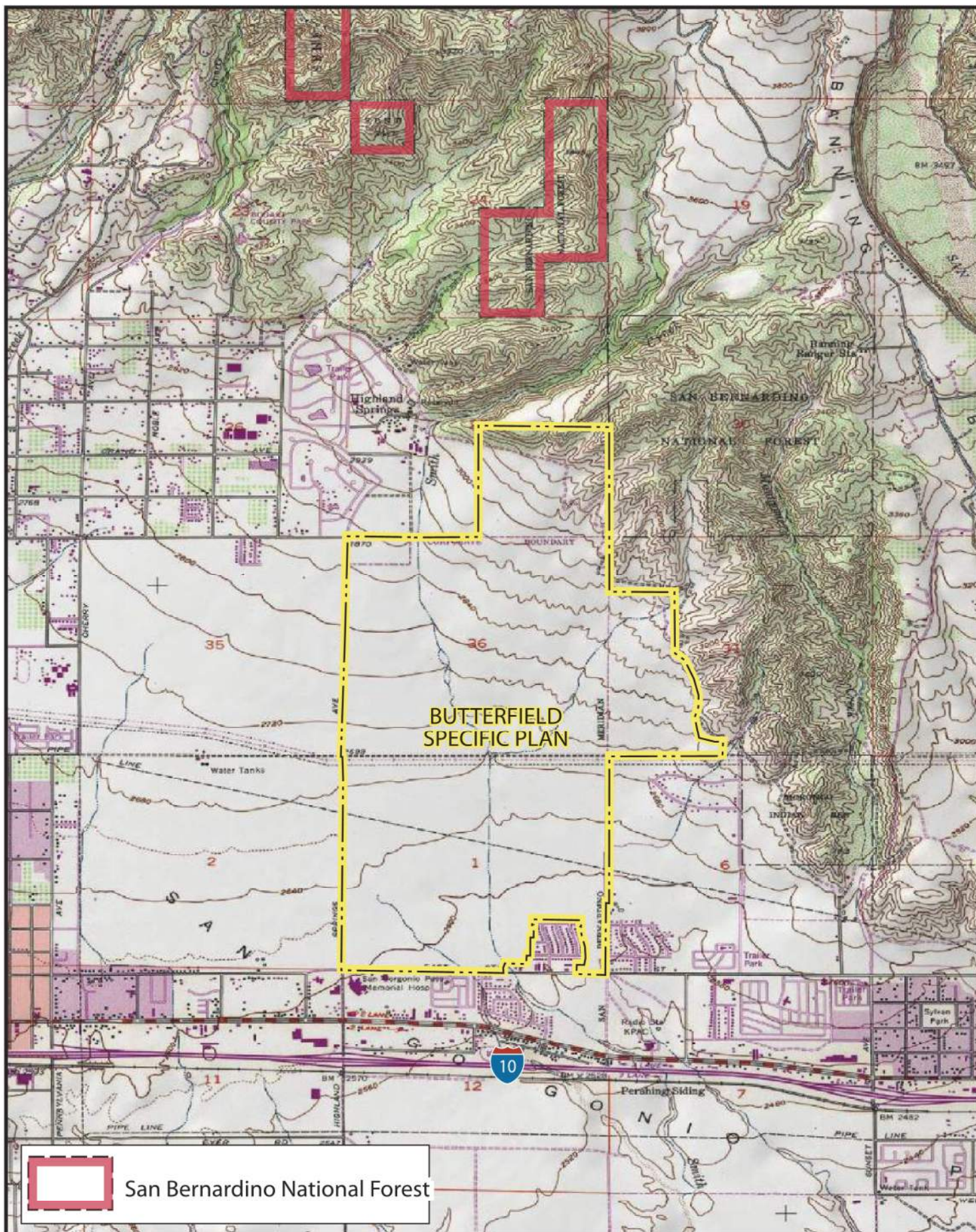
The site contains marginally suitable habitat for the burrowing owl (*Athene cunicularia*) and many-stemmed dudleya (*Dudleya multicaulis*). Burrowing owls were detected on site during focused surveys in 2007 and 2010. A total of six other special status wildlife species were also observed on the site. These species include double-crested cormorant (*Phalacrocorax auritus*), northern harrier (*Circus cyaneus*), California horned lark (*Eremophila alpestris actia*), loggerhead shrike (*Lanius ludovicianus*), coyote (*Canis latrans*), and San Diego black-tailed jackrabbit (*Lepus californicus bennettii*).

There are a total of seven vegetation communities that exist onsite: agriculture, annual grassland, mixed chaparral, disturbed coastal sage scrub, southern willow scrub, sandy wash, and landscaping. The site also includes approximately 226 acres of disturbed/developed classified land, in addition to the agriculture. The dominant community is agriculture and consists of 1,220 acres of the project area. Typical species in the agricultural vegetation community consist of brome grasses, Mediterranean barley, goldentop, and oats. No special vegetation types were found to be onsite.

2.6.2 Western Riverside County MSHCP Compliance

The Western Riverside County Multi Species Habitat Conservation Plan (MSHCP) was developed to meet the legal requirements of the Federal Endangered Species Act (FESA) and the Natural Communities Conservation Planning (NCCP) Act. The Western Riverside County MSHCP is an effort to conserve open space, nature preserves, and wildlife while streamlining regulatory review related to endangered species. The plan was designed to protect 146 species and conserve over 500,000 acres in Riverside County west of the San Jacinto Mountains. The MSHCP was approved by the County of Riverside in June 2003 and received permitting approval by the USFWS in June 2004.

Areas covered by the MSHCP are divided into 16 units called Area Plans. Portions of each area plan especially important to the MSHCP's conservation goals are divided into Subunits for which biological issues and considerations and target acreages have been specified. These Subunits, also called Criteria Areas, are further divided into numbered cells of approximately 160 acres in size with additional conservation goals.



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The project site is located within the Pass Area Plan but is outside all subunit or criteria cell areas. The site is located within the habitat assessment/survey areas for narrow endemic plant species and the burrowing owl but is outside all other mammal and amphibian survey areas. Focused Surveys for special status plants and burrowing owls were conducted as noted above and in the EIR.

2.6.3 Wetlands and Waterways

Regulatory specialists of Glenn Lukos Associates, Inc (GLA) examined the project site in 2005 and in 2010 to determine the limits of (1) United States Army Corps of Engineers (Corps) jurisdiction pursuant to Section 404 of the Clean Water Act, and (2) California Department of Fish and Game (CDFG) jurisdiction pursuant to Division 2, Chapter 6, Section 1600 of the Fish and Game Code. Corps jurisdiction of the site totals approximately 10.05 acres, none of which consist of jurisdictional wetlands. All drainage features on the Project site are ephemeral and exhibit flow only during severe storm events. A majority of the depressional swale features on site were determined not to be Corps jurisdictional waters since they did not exhibit an Ordinary High Water Mark (OHWM) or other signs of stream flow.

Corps jurisdiction at the site as of 2010 totals approximately 9.82 acres, of which less than 0.01 consist of jurisdictional wetlands. Pursuant to proposed Project grading plans, permanent impacts associated with the Project will total approximately 1.17 acres. Temporary impacts total approximately 8.65 acres, none of which consist of jurisdictional wetlands.

CDFG jurisdiction at the site as of 2010 totals approximately 11.67 acres, of which 0.43 acres consist of vegetated riparian habitat. Pursuant to proposed Project grading plans, permanent impacts to CDFG jurisdiction total approximately 2.47 acres, of which 0.41 acre consist of vegetated riparian habitat. Temporary impacts to CDFG jurisdiction total approximately 9.22 acres, of which 0.02 acre consist of vegetated riparian habitat.

Glenn Lukos Associates, Inc., found site conditions documented in 2005 and 2010 were about the same. GLA in a memorandum dated October 13, 2016 reported that although this jurisdictional delineation is approximately six years old, it is unlikely that site conditions have changed due to the lack of significant rainfall measured in the City of Banning during southern California's five-year plus drought, a review of historic aerial photography, and recent reviews of the property. GLA will be conducting an updated jurisdictional delineation for the Project site in 2016/2017 for regulatory permitting purposes.

2.7 PALEONTOLOGY AND ARCHAEOLOGY

2.7.1 Prehistoric and Historic

The early inhabitants of the project area are known as Cahuilla. The Cahuilla were not a politically unified group, but did share broad cultural and linguistic traits. The Cahuilla occupied permanent villages sited to take maximum advantage of local animal, vegetable, and water resources. The Cahuilla culture was quite complex and was based on full exploitation of available resources. The use of literally hundreds of plant species has been documented. The Cahuilla were influenced by the appearance of the Spanish,

and they were used by the Spanish on expeditions through the San Gorgonio Pass area and later to carry mail. Two reservations were established in the project vicinity in 1876 and the majority of Cahuilla are living there to date.

The San Gorgonio Pass is believed to be the single most important route connecting the desert hinterlands of California and Arizona with the coastal beaches. Near the project area the pass was mainly a Cahuilla trail.

The San Gabriel Mission established a station at Banning Water Canyon as early as 1821 and cattle were being raised there by 1823. A ranch operated by the San Gabriel Mission called the San Gorgonio Rancho encompassed a large portion of the San Gorgonio Pass. An undivided third of this land was sold to a man named Isaac Smith who built a ranch on what is now occupied by the Highland Springs Resort. The ranch became a stagecoach stop called "Smith's Station" for the period of 1862-1877. In 1884 Smith's Station was sold to the Highland Home Company. A three-story building was erected which was eventually sold in 1929 and became the Highland Springs Resort.

In 1875, the Southern Pacific Railroad established tracks through the Pass. With inexpensive railroad transportation available, the raising of hay and grain crops began to replace stock raising on local ranches. The settlements of Cabazon and Beaumont began in 1875 as water stops for the railroad.

2.7.2 Archaeology

An intensive survey of the Butterfield Specific Plan Project in the City of Banning was conducted by LSA Associates, Inc. in 2006. Three previously undocumented historic period cultural resources were identified. These have been evaluated and considered not eligible for the National or California Registers. Therefore, under CEQA, LSA recommends that this project is not likely to have a significant effect on any historical resources; and under NHPA, LSA recommends a finding of no historic properties affected. Historic research has revealed; however, there remains a minimal data potential within the refuse scatter (LSA-PDH0601-H-2). Any earthmoving activity taking place within 30 meters of this resource should be monitored by a qualified archaeologist. If archaeological remnants are discovered during monitoring, the archaeologist will have the authority to divert construction in order to assess the significance of the find.

If any cultural resources are identified during grading activities, a qualified archaeologist should be retained to assess the significance of the find. If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.

3.0 DEVELOPMENT PLAN

SECTION 3

BUTTERFIELD SPECIFIC PLAN

3.0 DEVELOPMENT PLAN

This section of the Specific Plan presents the plans and standards that will govern the overall development of the Butterfield Specific Plan project in Banning. Presented herein is the land use program and description of major development components, including circulation, grading, drainage, water, sewer, public services, recreation, and open space.

3.1 LAND USE PLAN

The proposed land use plan is comprised of 90 Planning Areas (PAs), including subareas¹. Table 3-1 is a general summary of the extent of land uses proposed within the Specific Plan. Table 3-2 provides a planning area listing and statistical summary by land use category. In Exhibit 3.1, *Land Use Plan*, the land use pattern is illustrated.

3.1.1 Land Use Plan Description

The Butterfield Specific Plan is envisioned as a high-quality residential community, integrating low and medium density single family detached, small lot and cluster single family detached, high density single family or multi-family attached, commercial, parks, schools, roadways, open space and related uses on 1,543 acres. Exhibit 3.1, depicts how these land uses are organized within the Butterfield Specific Plan area.

3.1.1.1 RESIDENTIAL

The area of Butterfield Specific Plan's basic residential component, 862.1 acres, constitutes approximately 55.8% of the project's total land area. The residential component includes Planning Areas 1A and 1B, which could be used for model homes development, in addition to other areas. The model homes will demonstrate the type of products available per lot size within various density designations.

Fifty-four planning areas, including subareas, as reflected on Exhibit 3.1 are allotted for development of residential uses within the project; 29 Low Density Residential planning areas, 22 Medium Density Residential planning areas and 3 High Density Residential planning areas. Proposed Low Density Residential single family lot sizes range from a minimum of 5,000 square feet to a minimum average of 7,500 square feet in selected areas. Medium Density single family lot sizes range from a minimum of 3,400 square feet to a minimum average of 7,200 square feet in selected areas. Cluster Medium Density Residential could be developed in a number of different housing types (described and depicted in Section 5.0 of this Specific Plan) as detached condominium units or for single family homes whose lot sizes would range in minimum size from 2,000 to 2,800 square feet.

The proposed residential density within the Low Density Residential designation is up to 5.0 DU/AC; within the Medium Density Residential designation the density is up to 10.0 DU/AC; and within the High Density Residential designation the density is between 11.0

¹ The Specific Plan Planning Areas are numbered 1 through 75 and include subarea PA's 1A, 1B, 2A, 2B, 5A, 5B, 8A, 8B, 9A, 9B, 9C, 15A, 15B, 16A, 16B, 35A, 35B, 35C, 35D, 35E, 35F, 42A, 42B, 44A, 44B, 47A, 47B, 47C, 48A, 48B, 49A, 49B, 50A, 50B, 52A, 52B, 55A, 55B, 56A and 56B. There are no PAs 60 and 61 designations used due to their removal as development areas per the Settlement Agreement.

and 18.0 DU/AC. Each residential land use designation of the Butterfield Specific Plan includes as development options the residential development types permitted in lesser density designations. Therefore, within all PAs designated Medium Density Residential (irrespective of minimum lot size), Low Density Residential uses may be developed. Also, within all PAs designated High Density Residential, Low Density Residential and Medium Density Residential uses may be developed.

Table 3-1
2017 Butterfield Specific Plan
General Land Use Summary

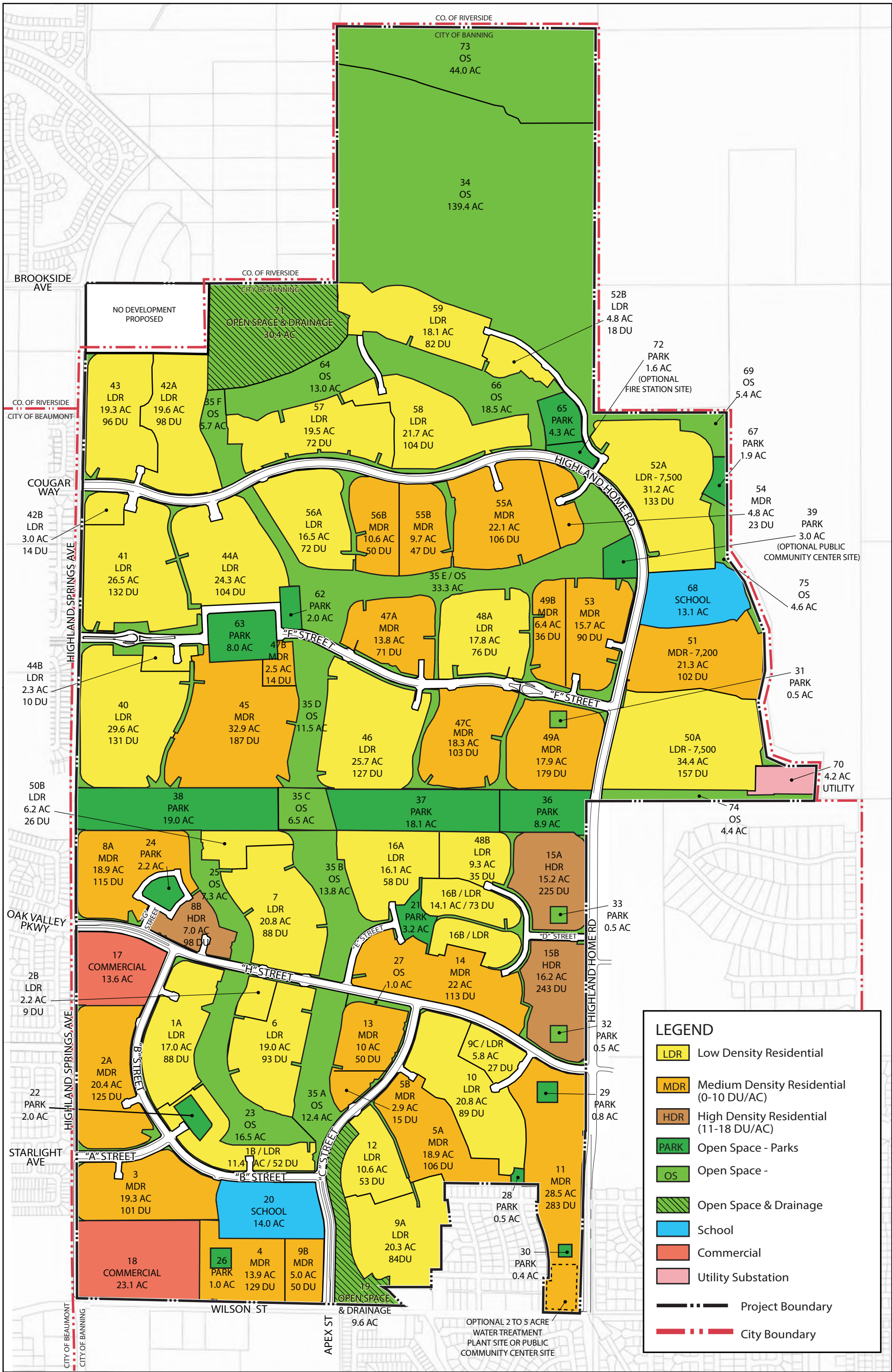
LAND USE	2017 BUTTERFIELD SPECIFIC PLAN				
	Gross Acres	% of Area	Dwelling Units	% of Dwelling Units	Average Gross Density
Residential					
Low Density 5 DU/AC (LDR)	487.9	31.6%	2,201	45.3%	4.5
Medium Density 0-10 DU/AC (MDR)	335.8	21.7%	2,095	43.1%	6.2
High Density 11-18 DU/AC (HDR)	38.4	2.5%	566	11.6%	14.7
Residential Totals	862.1	55.8%	4,862	100.0%	5.6
Open Space					
Central Open Space/ Drainage	139.5	9.0%			
Parks	78.4	5.1%			
Natural/Landscape/Easement	238.6	15.5%			
Drainage	40.0	2.6%			
Open Space Subtotals	496.5	32.2%			
Other					
Commercial/Office **	36.7	2.4%			
Schools *	27.1	1.8%			
Utility Substation	4.2	0.3%			
Backbone Roads	101.0	6.5%			
Other No Development Area***	15.4	1.0%			
Other Subtotals	184.4	11.1%			
SPECIFIC PLAN TOTALS	1,543.0	100.0%	4,862	100.0%	3.2

Notes:

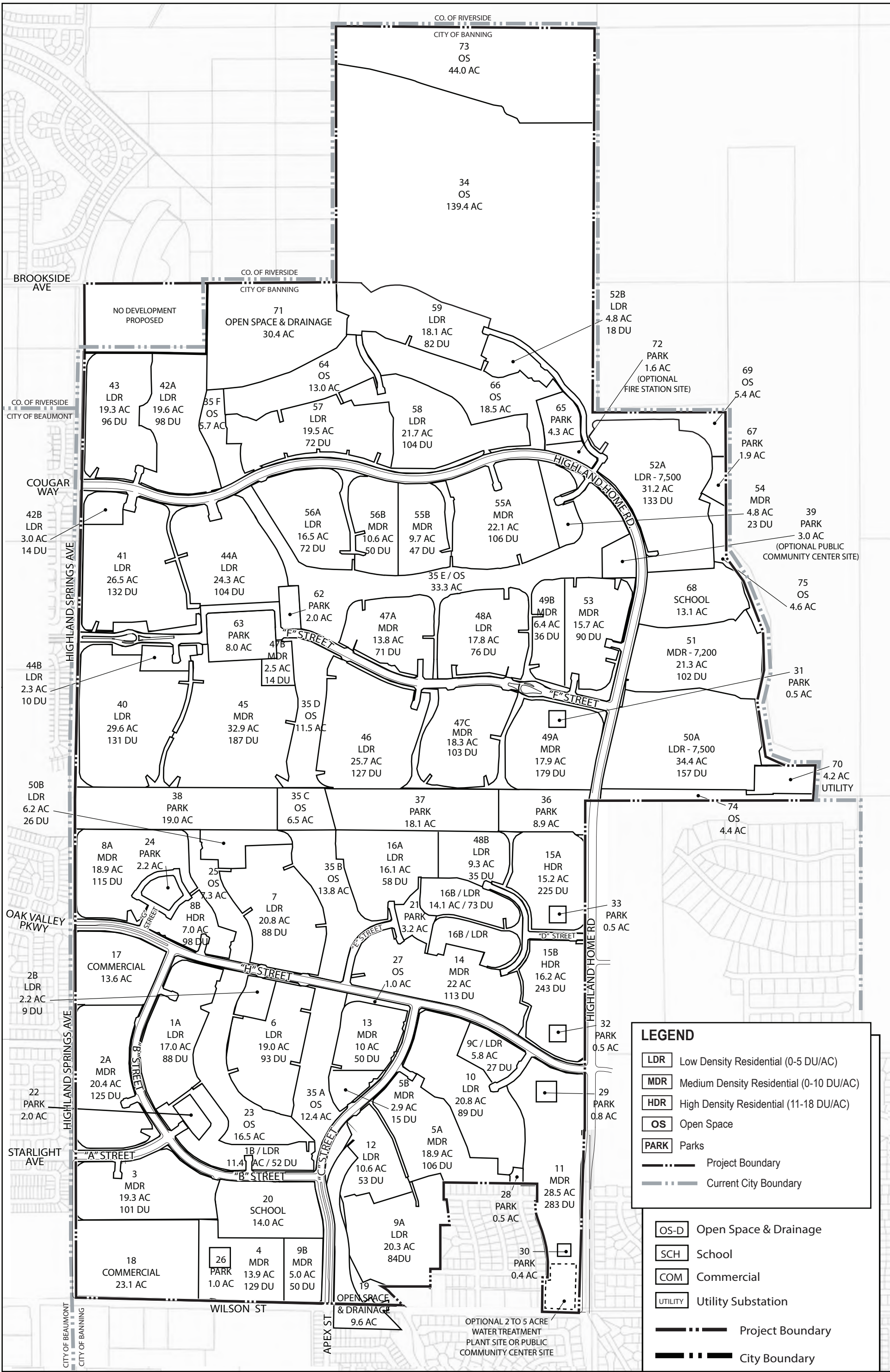
* Alternate Residential use of school sites at up to 10 DU/AC is provided.

** Alternate Residential use or mixed use of Commercial sites is provided for with PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR). The overall dwelling unit total for the Specific Plan shall not exceed 4,862 DUs. In addition, Commercial is allowed as an alternate use for all or a portion of Residential PA's 3, 4, 9B and 20 and Park PA 26 (approximately. 53.0 acres combined).

*** The 2017 Modified Specific Plan eliminated previous Planning Area 43B designated in the 2012 Specific Plan, but this area remained in the 2017 Specific Plan area as a No Development Proposed area, consistent with the Settlement Agreement.



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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Land Use Plan

EXHIBIT 3.1B

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Table 3-2
2017 Butterfield Specific Plan
Planning Areas Statistical Summary

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
RESIDENTIAL:						
1A	LDR	17.0		88		5.0
1B	LDR	11.4		52		4.6
2A	MDR	20.4		125		6.1
2B	LDR	2.2		9		4.1
3	MDR	19.3		101		5.2
4	MDR	13.9		129		9.3
5A	MDR	18.9		106		5.6
5B	MDR	2.9		15		5.2
6	LDR	19.0		93		4.9
7	LDR	20.8		88		4.2
8A	MDR	18.9		115		5.6
8B	HDR	7.0		98		14.0
9A	LDR	20.3		84		4.1
9B	MDR	5.0		50		10.0
9C	LDR	5.8		27		4.7
10	LDR	20.8		89		4.3
11	MDR	28.5		283		9.9
12	LDR	10.6		53		5.0
13	MDR	10.0		50		5.0
14	MDR	22.0		113		5.1
15A	HDR	15.2		225		14.8
15B	HDR	16.2		243		15.0
16A	LDR	16.1		58		3.6
16B	LDR	14.1		73		5.0
40	LDR	29.6		131		4.4
41	LDR	26.5		132		5.0
42A	LDR	19.6		98		5.0
42B	LDR	3.0		14		4.7
43	LDR	19.3		96		5.0
44A	LDR	24.3		104		4.3
44B	LDR	2.3		10		4.4
45	MDR	32.9		187		5.7
46	LDR	25.7		127		4.9
47A	MDR	13.8		71		5.1
47B	MDR	2.5		14		5.6
47C	MDR	18.3		103		5.6
48A	LDR	17.8		76		4.3
48B	LDR	9.3		35		3.8
49A	MDR	17.9		179		10.0
49B	MDR	6.4		36		5.6
50A	LDR-7,500	34.4		157		4.6
50B	LDR	6.2		26		4.2
51	MDR-7,200	21.3		102		4.8

LDR: Low Density Residential 0-5 DU/AC
MDR: Medium Density Residential 0-10 DU/AC
HDR: High Density Residential 11-18 DU/AC

LDR-7,500: Min. Avg. Lot Size = 7,500 SF
LDR-10,000: Min. Avg. Lot Size = 10,000 SF
MDR-7,200: Min. Avg. Lot Size = 7,200 SF
(Table 3-2 continued on next two pages)

Table 3-2 (continued)
2017 Butterfield Specific Plan
Planning Areas Statistical Summary

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
52A	LDR-7,500	31.2		133		4.3
52B	LDR	4.8		18		3.8
53	MDR	15.7		90		5.7
54	MDR	4.8		23		4.8
55A	MDR	22.1		106		4.8
55B	MDR	9.7		47		4.9
56A	LDR	16.5		72		4.4
56B	MDR	10.6		50		4.7
57	LDR	19.5		72		3.7
58	LDR	21.7		104		4.8
59	LDR	18.1		82		4.5
RESIDENTIAL TOTALS		862.1		4,862		5.6
OPEN SPACE						
Central Open Space/Drainage						
23	Central Open Space/Drainage	16.5				
25	Central Open Space/Drainage	7.3				
27	Central Open Space/Drainage	1.0				
35A	Central Open Space/Drainage	12.4				
35B	Central Open Space/Drainage	13.8				
35C	Central Open Space/Drainage	6.5				
35D	Central Open Space/Drainage	11.5				
35E	Central Open Space/Drainage	33.3				
35F	Central Open Space/Drainage	5.7				
64	Central Open Space/Drainage	13.0				
66	Central Open Space/Drainage	18.5				
	Subtotal	139.5				
Parks						
21	Neighborhood Recreation Park	3.2				
22	Neighborhood Park	2.0				
24	Neighborhood Park	2.2				
26	Neighborhood Park	1.0				
28	Neighborhood Park	0.5				
29	Neighborhood Park	0.8				
30	Neighborhood Park	0.4				
31	Neighborhood Park	0.5				
32	Neighborhood Park	0.5				
33	Neighborhood Park	0.5				
36	Community Park	8.9				
37	Community Park	18.1				
38	Community Park	19.0				
39	Community Park/Center	3.0				
62	Neighborhood Park	2.0				
63	Neighborhood Recreation PK	8.0				
65	Neighborhood Park	4.3				
67	Neighborhood Park	1.9				
72	Neighborhood Park	1.6				
	Subtotal	78.4				

(Table 3-2 continued on next page)

Table 3-2 (continued)
2017 Butterfield Specific Plan
Planning Areas Statistical Summary

Planning Areas	Land Use	Gross Acres		Dwelling Units		Density (DU/AC)
Natural/Landscape/Easement						
34	Northerly Open Space	139.4				
69	Open Space/Fuel Mod.	5.4				
73	Northerly Open Space	44.0				
74	Landscape Easement	4.4				
75	Open Space/Fuel Mod.	4.6				
	Other Landscape O. S.	40.8				
	Subtotal	238.6				
Drainage/ Open Space						
19	South Channel	9.6				
71	North Basin	30.4				
	Subtotal	40.0				
	OPEN SPACE TOTALS	496.5				
SCHOOLS¹						
20	Beaumont U .S .D.	14.0				
68	Banning U. S. D.	13.1				
	Subtotal	27.1				
COMMERCIAL/OFFICE²						
17	Commercial Parcel	13.6				
18	Commercial Parcel	23.1				
	Subtotal	36.7				
70	UTILITY SUBSTATION	4.2				
	No Development Area ³	15.4				
ROW	BACKBONE ROADS	101.0				
SPECIFIC PLAN TOTALS		1,543		4,862		3.2

Notes:

1. Alternate Residential use of School sites at up to 10 DU/AC is provided. The overall dwelling unit total for the Specific Plan shall not exceed 4,862 DU in any case.
2. Alternate Residential use or mixed use of the Commercial sites is provided with PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR). The overall Dwelling Unit total for the Specific Plan shall not exceed 4,862 DU in any case. In addition, Commercial or mixed use Residential and Commercial is allowed as an alternate use for all or a portion of Residential PA's 3, 4, 9B and 20 and Park PA 26.
3. The 2017 Modified Specific Plan eliminated previous Planning Area 43B designated in the 2012 Specific Plan, but this area remained in the 2017 Specific Plan area as a No Development Proposed area, consistent with the Settlement Agreement.

Low Density Residential (0-5 DU/AC)

The Low Density Residential (LDR) land use designation within the Butterfield Specific Plan area is proposed at approximately 487.9 acres (31.6%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas (PAs) 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43, 44A, 44B, 46, 48A, 48B, 50A, 50B, 52A, 52B, 56A, 57, 58 and 59. A total of 2,201 dwelling units are anticipated in these PAs at an average gross density of 4.5 dwelling units per acre. The minimum lot size in this designation is 5,000 square feet. Planning Areas 50 and 52 designated LDR-7500 shall have a minimum lot size of 5,000 square feet, with a

minimum average (or mean average) lot size of 7,500 square feet. The planning areas with a larger minimum or average lot size are located in the northeast portions of the Specific Plan area. A fire station site is permitted in most of the Specific Plan Planning areas (see section 5.0 for list of permitted uses in the planning areas). Low Density Residential is also allowed in all Medium Density and High Density Residential planning areas. Section 6.1.2 of the Specific Plan sets forth what are considered Minor Adjustments and Modifications that could be made to the Specific Plan and limitations for such minor adjustments.

Medium Density Residential (0-10 DU/AC)

Single family detached homes on individual lots are proposed within the Medium Density Residential (MDR) land use designation of the Butterfield Specific Plan area. The MDR designation is proposed to include approximately 335.8 acres (22%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 14, 45, 47A, 47B, 47C, 49A, 49B, 51, 53, 54, 55A, 55B and 56B. A total of 2,095 dwelling units are anticipated in the MDR PAs at an average gross density of 6.2 dwelling units per acre. Minimum lot sizes for most MDR-designated planning areas are indicated below, based on the potential development approach chosen.

Conventional Homes Development: As may be developed under the Medium Density Residential designation, the conventional home development approach would be single family detached homes on their own individual lots that would have private front and side yards completely separated from adjacent lots. These conventionally-sited homes would be oriented toward the street. The minimum lot size proposed for conventional home development in this designation is 3,400 square feet. However, Planning Area 51 designated MDR-7,200 shall have a minimum lot size for conventionally-sited homes of 4,500 square feet, with a minimum average lot size of 7,200 square feet.

Cluster Homes Development: Alternatively, the single family detached homes developed under the Medium Density Residential designation can be developed in one of several cluster patterns on small individual lots or possibly detached homes held in condominium ownership. Green court, motor court and stub street court clusters are examples of the type of homes envisioned for cluster development. The arrangement of housing and vehicle access with each cluster product would vary. Green court cluster homes would be oriented on a paseo (green court), with vehicular access to garages taken off an alley. Motor court cluster homes would be oriented on a common driveway, while stub street court cluster homes would be oriented on a short alley or stub street. These homes have private yards at sides or rear. The minimum lot size for cluster home development would be 2,000 square feet for homes proposed on individual lots. PA 51 with a required minimum lot size of 4,500 square feet and a minimum average lot size of 7,200 square feet shall not include cluster development.

Between 2 to 5 acres of the south end of Medium Density Residential-designated Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment facility as an alternative for project wastewater treatment (see Section 3.5, *Water, Recycled Water and Sewer Service Plan*, in this Specific Plan for further description of this alternate use). This southerly area of PA 11 may also be provided as a site for a public community recreation center pursuant to the project Development Agreement.

Low Density Residential development may be developed in the MDR planning areas. MDR development is also allowed in the High Density Residential planning areas.

High Density Residential (11-18 DU/AC)

Single family or multi-family attached homes are proposed within the High Density Residential (HDR) land use designation of the Butterfield Specific Plan area and approximately 38.4 acres (2.5%) of the Specific Plan area as depicted in Exhibit 3.1. This density category is represented by Planning Areas 8B, 15A and 15B. A total of 566 dwelling units are allowed in these PAs at a maximum gross density of 14.7 dwelling units per acre. Low Density Residential or Medium Density Residential uses may also be developed within the HDR planning areas.

Age-Restricted Active Adult Residential Alternative

While the base proposal for Butterfield is that housing in all residential planning areas may be open to all age groups, two other alternative proposals would allow an age-restricted eligibility criterion to apply to certain PAs. Alternative A provides for 13 of the proposed residential planning areas (PAs 40, 41, 42B, 44A&B, 45, 46, 47A-C, 48A&B, 49A&B and 53) in the northwestern part of the Specific Plan area to be designated as exclusively age restricted, "active adult" homes. As shown on the Land Use Plan (See Exhibit 3.1), these age-restricted planning areas would take primary access off of "F" Street. Under an age-restricted, "active adult" homes scenario, "F" Street could be proposed as a gated, access-controlled private roadway. Alternative B would expand to 25 the number of planning areas designated age-restricted, including PAs 40-49 and 53-59. In alternative B the additional age restricted PAs may also have private streets and controlled gated access from Highland Home Road.

3.1.1.2 COMMERCIAL

The Butterfield Specific Plan proposes approximately 36.7 acres (2.4%) of Commercial land use within the Specific Plan area as depicted in Exhibit 3.1. These commercial areas are proposed in Planning Areas 17 and 18, both of which are located on the western edge of the Specific Plan area. Planning Area 17 is a 13.6-acre site situated southeast of the intersection of Highland Springs Avenue and Oak Valley Parkway. Planning Area 18 is a 23.1-acre site positioned at the corner of Wilson Street and Highland Springs Avenue.

If eventual market factors indicate that all or a portion of the commercial designated areas are not needed or viable for commercial use, it is intended that alternate residential uses or mixed use of the commercial sites would be allowed. Under an alternate use scenario, Planning Area 17 could provide up to 4.5 dwelling units per acre within the Low Density Residential land use category and PA 18 could yield up to 10 dwelling units per acre within the Medium Density Residential land use category. This would require an offsetting reduction in dwelling units to be realized elsewhere in the Butterfield project, such that the project total of 4,862 DUs is not exceeded. It is envisioned potentially that (1) portions of the commercial planning areas could be converted to residential use, or (2) residential use could be mixed with commercial use, or (3) residential use in commercial areas could include uses such as assisted living facilities for the elderly.

In addition, if demand for commercial space increases, the Specific Plan allows Commercial or mixed use Residential and Commercial as an alternate use for all or portions of Residential PAs 3, 4, 9B and 20 and Park PA 26 (approximately 53 acres combined). If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 20 and 26, approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.

3.1.1.3 CENTRAL OPEN SPACE

The Butterfield Specific Plan proposes an approximately 139.5 acre central open space area (Planning Areas 23, 25, 27, 35A-F, 64 and 66) that is located throughout the central portions of the Specific Plan area. See Section 3.6, *Recreation and Open Space Plan*, for further description of anticipated uses.

The central open space areas are designed to take both physical and aesthetic advantages of the site terrain. The proposed realignment of Smith Creek will convey drainage via basins, drainage ways, and culverts that will eventually connect to the existing Smith Creek culvert under Wilson Street and the existing channel south of this street. The central open space will accommodate drainage flows and overflows from Smith Creek, contain water quality features to treat project-related urban runoff, and provide areas for groundwater recharge. In addition, besides landscaped project amenities, the central open space will also incorporate native landscaping for biological mitigation purposes which aims to replicate natural conditions. The central open space uses a fault zone identified with the project in the northern areas (PAs 64 & 66) that is not recommended for residential, but can accommodate portions of the open space routing.

Uses of Planning Areas 23, 25, 27, 35A-F, 64 and 66 shall include open space with active and passive recreational uses, such as walking or biking trails, turnouts for exercise, viewing and educational facilities, parks and native type vegetation landscaping all linkable to the project's residential tracts, other parks and open spaces, and providing full public access.

3.1.1.4 PARKS

Nineteen park planning areas are proposed within the Butterfield Specific Plan area as depicted on Exhibit 3.1. Ranging in size from 0.4 acres to 19 acres, these parks are allocated within the Butterfield Specific Plan area to provide recreational opportunities for all residential neighborhoods. The gross park acreage is proposed to total approximately 78.4 acres (5.1%) of the Specific Plan area.

Planning Areas 22, 24, 26, 28, 29, 30, 31, 34, 62, 65, 67 and 72 are neighborhood park sites identified to serve Low and Medium Density Residential neighborhoods. Neighborhood-mini parks within Planning Areas 32 and 33 would serve the High Density Residential neighborhoods. These parks are expected to include various combinations

of tot lots, play areas, sport courts, picnic areas, benches and other basic related facilities. Larger neighborhood recreation parks of 3-8 acres for residents of the project will be located at park sites designated Planning Areas 21 and 63. These larger park areas could also include buildings for community functions and meetings and community swimming pools. The location of proposed neighborhood parks can be adjusted and remain in substantial conformance with the intent of this Specific Plan. Larger community park sites are proposed within portions of the existing central SCE easement. Planning Areas 36, 37 and 38 are intended to be used for active and passive recreational use, including ballfields, sports courts, play areas, jogging trails and parking areas. In addition, joint use of school facilities for recreational needs is also anticipated. PA 38 could contain a variety of recreational and agricultural uses. Land use options for Planning Area 38 are covered more fully within Section 3.6 and within the permitted uses of Section 5.0 of this Specific Plan.

The Butterfield Project Development Agreement calls for the development of a site within the project for a public Community Recreation Center and proposes that PA 39 could be the site for such a center. The 3-acre Planning Area 39 site is reserved as a community park site in the Specific Plan and can be used as site for a community recreation center for the City of Banning if the City determines this is appropriate. Other areas in the Specific Plan that allow for development may also be used for the proposed community recreation center site, including the south end of PA 11 as indicated in the Development Agreement.

PA 72 located on the proposed northerly extension of Highland Home Road has been identified as a potential fire station site (1.6 acres) option, if the City determinates that an additional station is needed and that this location is appropriate, otherwise the site is designated for park use.

3.1.1.5 OTHER OPEN SPACE

In addition to the central open space and park areas, another 278.6 acres (18.2%) within the Butterfield Specific Plan area is designated as additional open space. In addition to the central open space and parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities. The far northern and eastern portions of the Specific Plan area (PAs 34, 69, 73 and 75) are designated natural open space area. Open space will include landscaped areas throughout the project, fuel modification setback zone locations (PAs 69 and 75), drainage ways with walking paths and park areas (PA 19) and a drainage retention basin that provides open space (PA 71). In addition, there is approximately 40 acres of additional designated open space proposed to be devoted to landscaped greenbelts and parkways that is not identified by a specific planning area number (see additional green areas on Exhibit 3.1A that does not have a planning area number designation). Central Open Space, Parks, Natural/Landscape/Easement, and Drainage/Open Space categories considered together are approximately 32.2% (496.5 acres) of the Specific Plan area devoted to open space.

3.1.1.6 SCHOOLS

Two elementary school sites have been designated in the Butterfield Specific Plan that comprise an approximate total of 27.1 acres (1.8%) of the Specific Plan area. Planning Area 20, a 14 acre site, is located in the southern portion of the Specific Plan area and

within the jurisdiction of the Beaumont Unified School District. Planning Area 68, a 13.1 acre site, is located in the easternmost portion of the Specific Plan area, east of Highland Home Road. Planning Area 68 is within the Banning Unified School District's jurisdiction. Alternatively, if it is determined that one or both of the School Districts do not require an identified school site, it is intended that residential development of the school site(s) at up to a density of 10 dwelling units per acre would be allowed, as long as the overall dwelling unit total for the Specific Plan does not exceed 4,862 DUs. Additional school sites are permitted elsewhere in the Specific Plan area pursuant to State and District location requirements and shall be designated if requested by the School Districts.

3.1.1.7 UTILITY SUBSTATION AND OTHER POTENTIAL USES

Planning Area 70 is a 4.2 acre site owned by the City of Banning for use as an electrical substation facility. The substation site was acquired by the city in 2008 and they have built a electrical substation facility on a portion of the site. Because this area has been previously designated as a part of the Specific Plan, it has remained in the Specific Plan. This City substation site facilitates interconnection with SCE's transmission lines because of its location just north and adjacent to the east-west easement that runs through the mid-portion of the project site.

Between 2 to 5 acres of the south end of Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment as an alternative for project wastewater treatment (see Section 3.5 in this Specific Plan for further description of this alternate use).

A potential 1.6 acre fire station site is proposed on Planning Area 72 off of the proposed extension of Highland Home Road if the City determines it is needed, and that this location is appropriate, otherwise the site is designated for park use. A fire station site is designated as a permitted use in any pf the Specific Plan residential, open space commercial or school planning areas, except PA's 36, 37, 38, 69, 74 and 75.

3.1.1.8 NO DEVELOPMENT PROPOSED AREA

In the Specific Plan area's northwest corner, approximately 15.4 acres are included in the adopted Specific Plan area, which are located on the east side of Highland Springs Avenue and southeast of the easterly end of Brookside Avenue that is located within the City of Banning's General Plan Planning Area, but is not currently within the City of Banning's Sphere of Influence or city limits. This area is not part of the Pardee Homes property holdings and is currently owned by the Highland Springs Country Club Owners Association. The Butterfield Specific Plan will not apply to this area unless this area is brought into Banning's Sphere of Influence and annexed to the City, if annexation is sought by the owners of this area.

3.1.1.9 BACKBONE ROADWAYS

Exhibit 3.1 shows proposed Specific Plan backbone roadways (collector level or larger), which will comprise an approximate total of 101 acres (6.6%) of the Specific Plan area. All roadways shown on the Land Use Plan are expected to be designed at a collector roadway classification or greater pursuant to the recommendations of the project's traffic

study. The proposed circulation system will provide direct access to individual residential areas as well as access to parks, schools, and commercial areas within the Butterfield Specific Plan area. Refer to Section 3.2, *Circulation Plan*, of this Specific Plan for a more detailed discussion of the circulation network.

3.1.2 Land Use Plan Development Standards

To ensure the orderly and coordinated development of land uses proposed for the Butterfield Specific Plan, development objectives have been established for implementation of the Specific Plan Land Use Plan, as discussed below. In addition to these general guidelines, specific development standards for each land use are detailed in Section 4, Development Regulations.

1. The Project shall be developed with a range of uses including residential, commercial, parks, and open space pursuant to Exhibit 3.1, *Land Use Plan*.
2. The Project can be developed with a maximum total of 4,862 dwelling units in the residential planning areas covering approximately 862.1 acres designated within the Specific Plan.
3. Under alternative development assumptions for Planning Areas 17, 18, 20 and 68, these planning areas can be developed with a maximum total of 572 dwelling units covering 63.9 acres. In no case shall the Specific Plan total of 4,862 DUs be exceeded. If residential use is developed on the commercial or school areas, a like amount of residential units must be reduced in the residentially-designated planning areas to avoid exceeding 4,862 DUs.
4. Uses and development standards will be in accordance with this Specific Plan and the City of Banning Zoning Ordinance. Such uses and standards will be applied in future residential subdivision maps, plot plans, and/or conditional use permits.
5. The Project shall provide adequate areas for collection and loading of recyclable materials in accordance with state law. Such areas shall be provided within the residential areas where solid waste is collected and loaded. The proposed Lower Density and Medium Density Residential homes on individual lots will have individual trash pick up. The Medium Density Residential Cluster homes may have central solid waste collection and pick up areas which serve four or more units.
6. The Project shall satisfy applicable criteria within Title 24, Chapter 2-71, of the California Administrative Code ensuring accessibility for persons with disabilities, where applicable.
7. Development activities to entitle, prepare and develop the site shall conform to City of Banning ordinances applicable state laws.
8. Prior to obtaining subsequent development permit approvals from the City of Banning, the applicant shall document that all pertinent conditions relating to the site under development have been satisfied.
9. Common areas identified in the Butterfield Specific Plan shall be owned and maintained as follows:

- a. Permanent homeowners associations shall be established for the Butterfield Specific Plan area, to assume ownership and maintenance responsibility for all common areas, private streets/drives, recreation areas, open space, and landscaped areas not dedicated to the City/public. Merger with an area-wide or local maintenance district shall be acceptable for any area dedicated to the City for public use provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. Private neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organizations upon approval of implementing development applications or upon recordation of any appropriate conveyance subdivision.
 - c. The maintenance organizations shall be established prior to, or concurrent with, recordation of the first land division or issuance of the first building permit for construction within that land division. The ownership and maintenance responsibility shall be identified for each open space lot upon submittal of the tentative map application, which would create the subject open space lot.
10. An initial study (i.e. environmental assessment) shall be conducted pursuant to CEQA to determine potential environmental impacts attributable to any land use application required to implement the Butterfield Specific Plan.
 11. All project lighting plans shall be in accordance with applicable City of Banning standards.
 12. Electric vehicle charging facilities or stations shall be considered permitted or conditionally uses in all residential, commercial, park and school use areas of the Specific plan, subject to all applicable State and local regulations for such uses. Compressed natural gas vehicle fueling and hydrogen vehicle fueling facilities or stations shall be allowed, subject to a Conditional Use Permit, in commercial use areas, subject to all applicable State and local regulations for such uses.
 13. Electric car charging stations will be installed in at least 3% of the parking spaces in the commercial units and multi-family residential units within the Project.
 14. Roof mounted panels for solar generation of electricity or water heating shall be considered permitted uses in all residential and commercial use areas of the Specific plan, subject to all applicable State and local regulations for such uses.
 15. Solar photovoltaic systems (or the equivalent renewable energy generating technology) will be installed on multi-family residential developments of 18 units per acre or more with a common wall.
 16. All developer-installed appliances within the Project will meet or exceed Energy Star efficiency standards.

17. A ride sharing lot subject to the approval of the responsible transportation agencies will be provided within the Project before 1,000 units are built.
18. Development within the Butterfield Specific Plan will coordinate with the Banning Pass Transit Agency, the Riverside Transit Agency, and the City for service within the Specific Plan area on future bus routes and scheduled bus service, which are based upon demand.
19. A maintenance easement shall be recorded over areas designated as required fuel modification zones within private lots adjacent to wildland fire hazard areas that would allow the master homeowners association or maintenance district to enter the property to ensure adequate and uniform maintenance of fuel modification zones.
20. No permanent structures shall be permitted within the Southern California Edison (SCE) transmission line easements within the Specific Plan area. The SCE easements are also not appropriate areas for groundwater recharge facilities, storm water retention facilities, or as environmental mitigation areas.
21. Subsequent more detailed development plans when prepared and involving areas in and immediately adjacent to the SCE easements within the Specific Plan area shall be reviewed by SCE as part of the review process with the City.
22. All residential development in the Specific Plan, through covenants, conditions, and restrictions, will be required to comply with the City's water conservation measures by applying the xeriscape principles set forth in Banning Municipal Code section 13.16.030 (Water Conservation Using Xeriscape Principles).
23. The Project will include ultra-low flow toilets at 1.28 gallons per flush throughout the Project.

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3.2 CIRCULATION PLAN

The Circulation Plan of the Butterfield Specific Plan establishes the general layout and design standards for vehicular roadways and non-vehicular paths within the project area. The main objectives of the Circulation Plan are to provide direct and convenient access to the residential project area and other areas, and to substantially implement the Circulation Element of the City of Banning General Plan. The Circulation Plan meets these objectives by extending existing circulation and creating efficient new circulation routes throughout the project site.

Exhibit 3.2, *Vehicular Circulation Plan*, identifies the location and classification of roads, which have been organized under the categories of *Arterial Highway (Modified)*, *Major/Arterial Highway (Modified)*, *Major Highway (Modified)*, *Divided Collector Streets*, and *Local Roadways (Modified)*. Roadway cross-sections are provided on Exhibits 3.3A, 3.3B, 3.3C, 3.3D and 3.3E, *Roadway Cross Sections*, which show travel lane dimensions, sidewalk and parkway widths, and other roadway specific details. Exhibit 3.3F, *Secondary Access Drives*, provides typical concepts for secondary access to neighborhoods where routes other than a local roadway might be used. Exhibit 3.4, *Backbone Non-Vehicular Circulation Plan*, establishes the trail plan with a network of non-vehicular circulation routes.

3.2.1 Street System

The vehicular circulation network for the Butterfield Specific Plan includes the following elements, discussed according to relative roadway classification.

3.2.1.1 ARTERIAL HIGHWAY (MODIFIED)

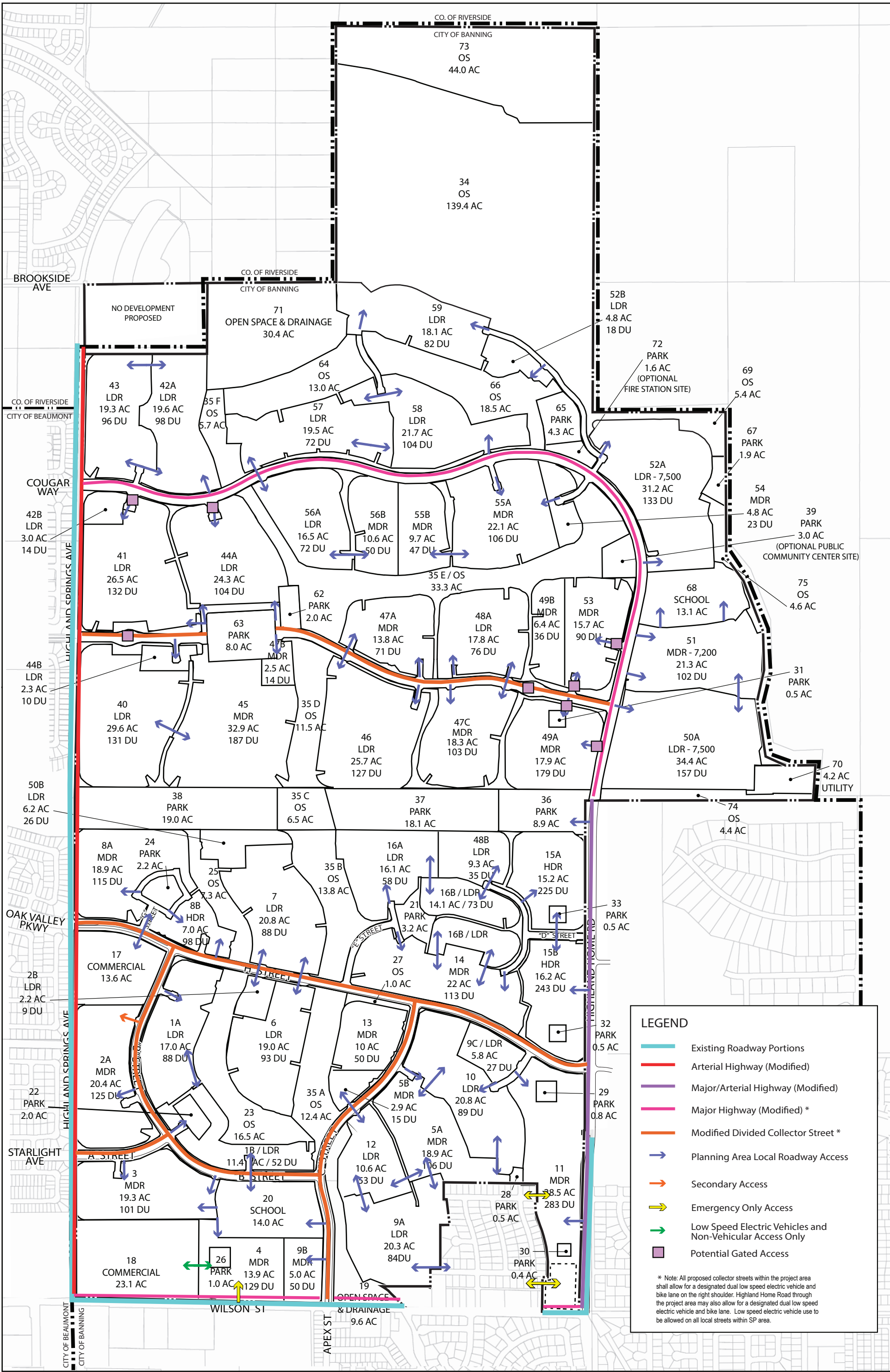
The City of Banning General Plan defines Arterial Highways as those primarily for through traffic with limited access. These roadways are planned for 4 lanes in width at buildout. According to the City, arterials should connect residential, shopping, employment and recreational activities, but should not encroach upon neighborhoods.

Highland Springs Avenue (from Wilson Street to Brookside Avenue)

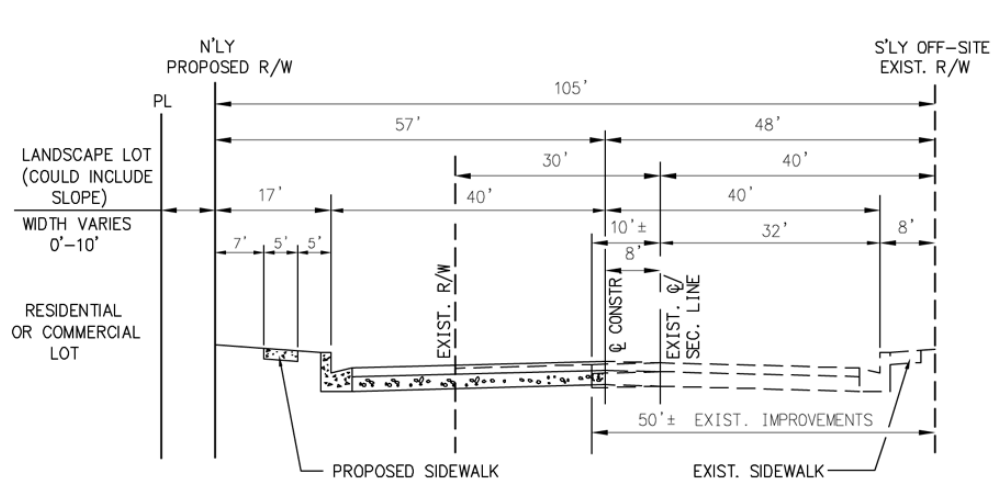
Highland Springs Avenue is a north/south roadway, providing regional access to the I-10 freeway. The City of Banning General Plan Circulation Element defines Highland Springs Avenue as an Arterial Highway in this segment adjacent to the project.

Along the project's western boundary, the Specific Plan assumes Highland Springs to be improved to accommodate an ultimate right-of-way, which will provide a raised median and two travel lanes in each direction, an outside emergency and bike lane on each side, and parkway improvements. The overall total right-of-way width is anticipated to be at least 102 feet encompassing both the Beaumont and Banning sides of the roadway. Due to the constraints of the existing Riverside County flood control channel and right-of-way on the west side of Highland Springs Avenue, it is anticipated the ultimate right-of-way of this roadway will be offset towards the east side or Banning side. As a perimeter roadway to the Specific Plan, Highland Springs Avenue will have restricted access. Four main east/west connections are proposed at "A" Street, "H" Street, "F" Street, and the proposed extension of Highland Home Road. The western section of Highland Springs is within the City of Beaumont. The ultimate improvement of the western half of the street should precede the Butterfield project improvement.

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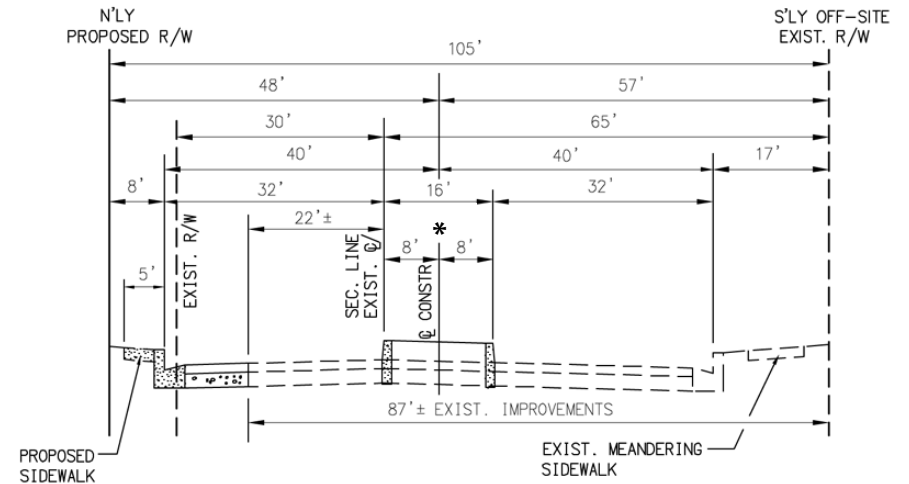


WILSON STREET

(HIGHLAND SPRINGS AVENUE TO C STREET)

MAJOR HIGHWAY (MODIFIED)

- * RAISED LANDSCAPED MEDIAN TO BE PROVIDED WHERE APPROPRIATE AS DETERMINED BY THE CITY PUBLIC WORKS DIRECTOR

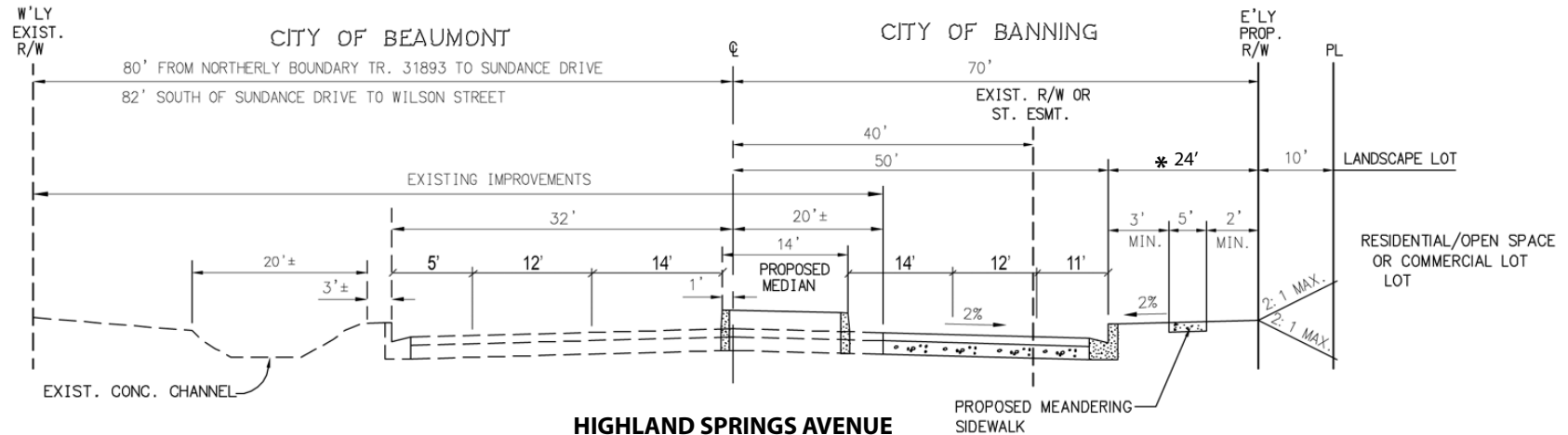


WILSON STREET

(FROM 475'± WEST OF HIGHLAND HOME ROAD TO HIGHLAND HOME ROAD)

MAJOR HIGHWAY (MODIFIED)

- * RAISED LANDSCAPED MEDIAN TO BE PROVIDED WHERE APPROPRIATE AS DETERMINED BY THE CITY PUBLIC WORKS DIRECTOR

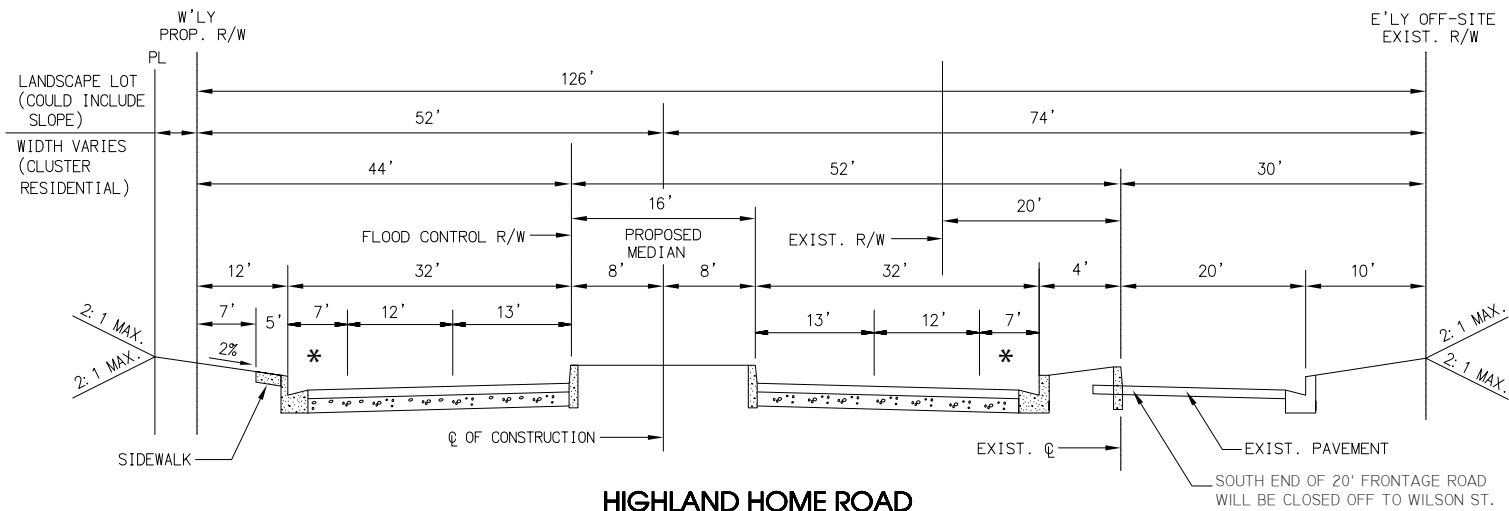


HIGHLAND SPRINGS AVENUE

ARTERIAL HIGHWAY (MODIFIED)

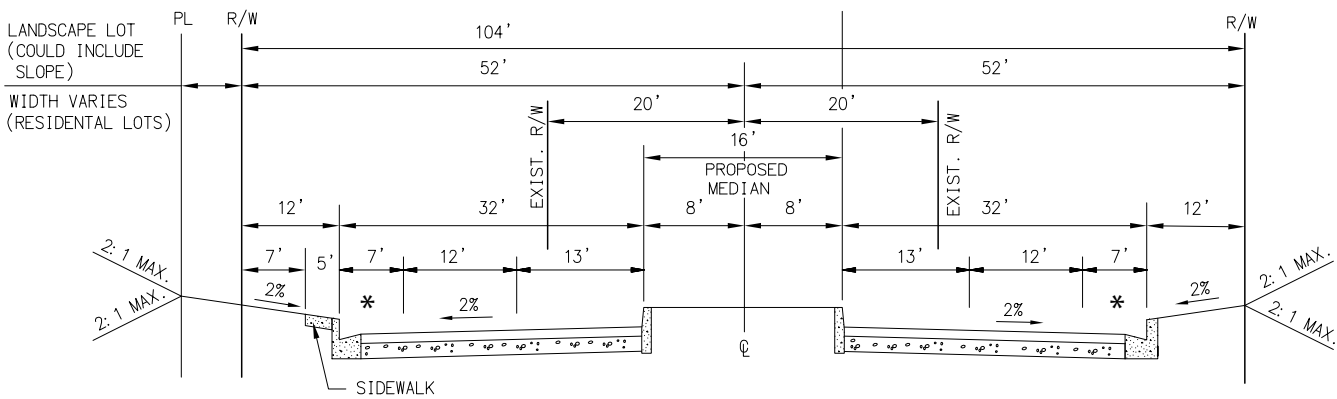
- * PARKWAY WIDTH MAY BE REDUCED TO ALLOW ADDITIONAL PAVEMENT AREA WIDENING

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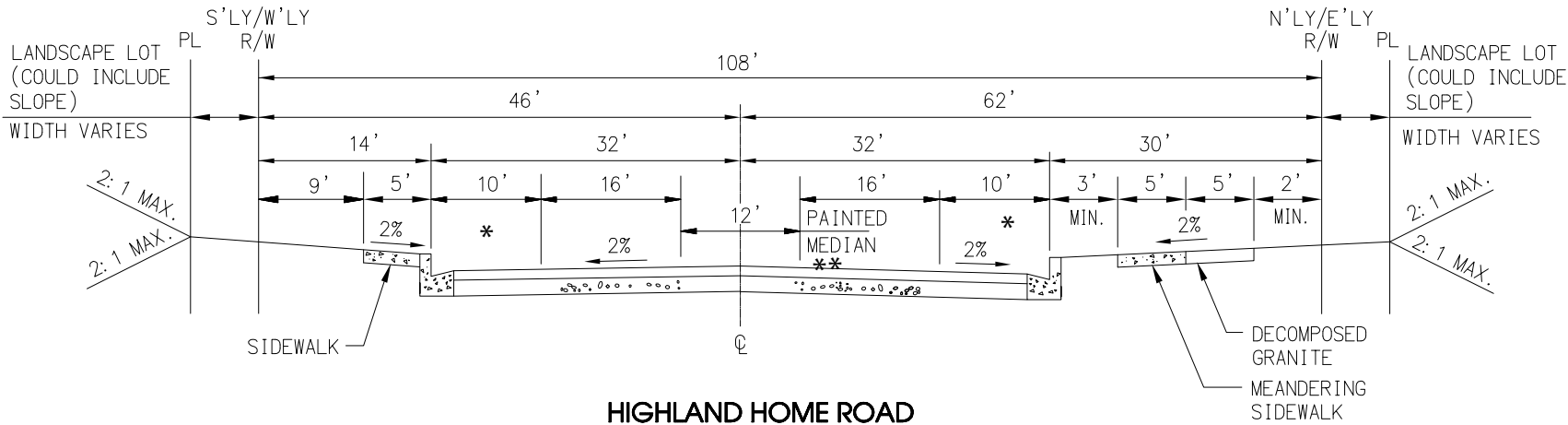
HIGHLAND HOME ROAD
(FROM WILSON ST. TO APPROX. GILMAN STREET)
MODIFIED MAJOR HIGHWAY

* MAY BE DESIGNATED AS A DUAL LOW SPEED ELECTRIC VEHICLE AND BIKE LANE



HIGHLAND HOME ROAD
(FROM APROX. GILMAN ST. TO SCE EASEMENT)
MODIFIED MAJOR HIGHWAY

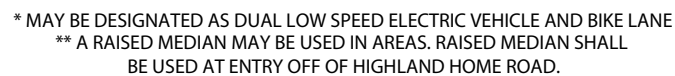
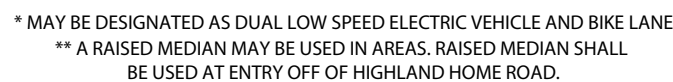
* MAY BE DESIGNATED AS A DUAL LOW SPEED ELECTRIC VEHICLE AND BIKE LANE



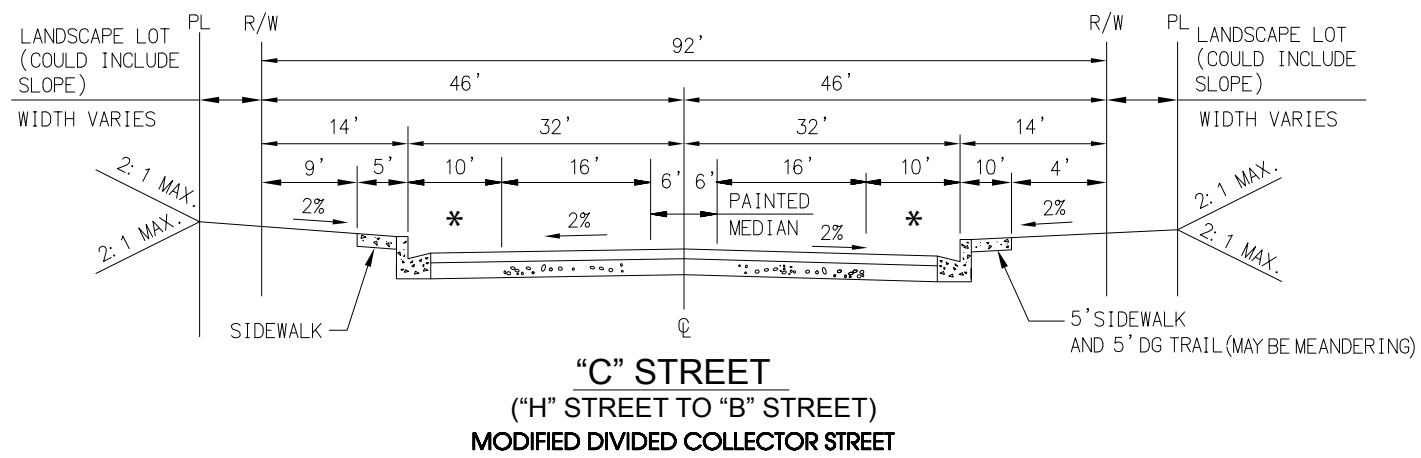
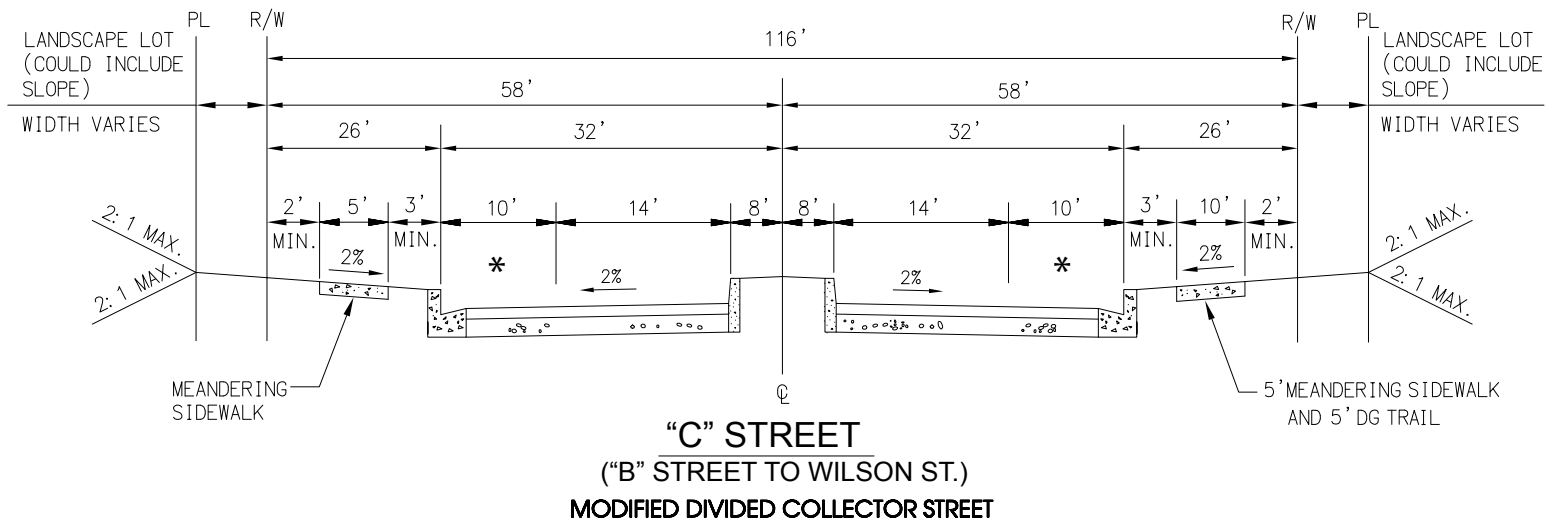
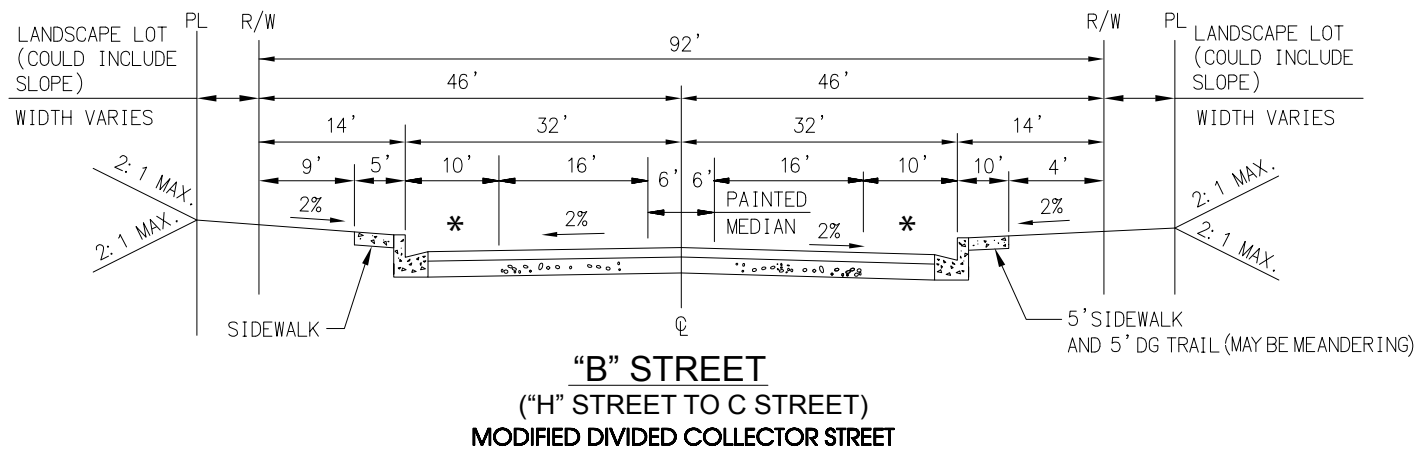
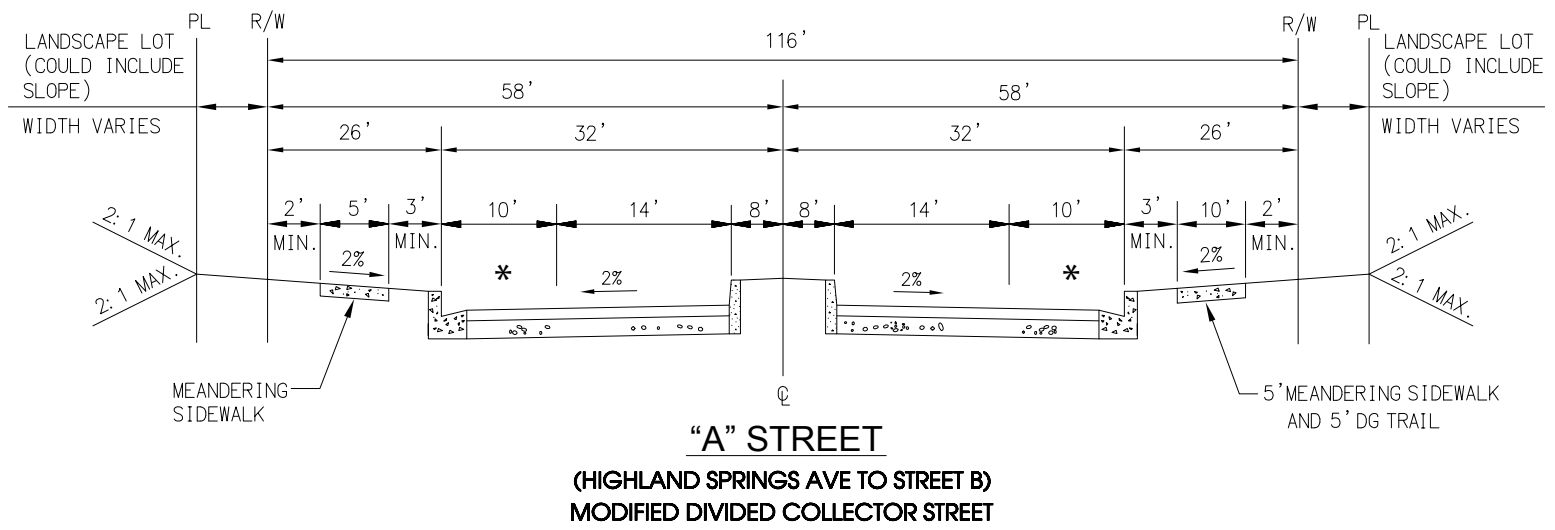
HIGHLAND HOME ROAD
(NORTH OF SCE EASEMENT TO HIGHLAND SPRINGS AVE.)
MODIFIED MAJOR HIGHWAY

*** A RAISED MEDIAN SHALL BE USED AT ENTRY OFF OF
HIGHLAND SPRINGS AVENUE. A RAISED MEDIAN MAY BE USED IN OTHER AREAS.
* MAY BE DESIGNATED AS DUAL LOW SPEED ELECTRIC VEHICLE AND BIKE LANE

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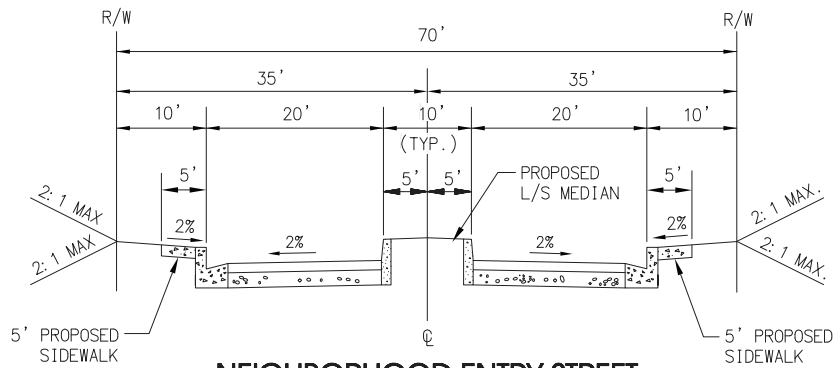


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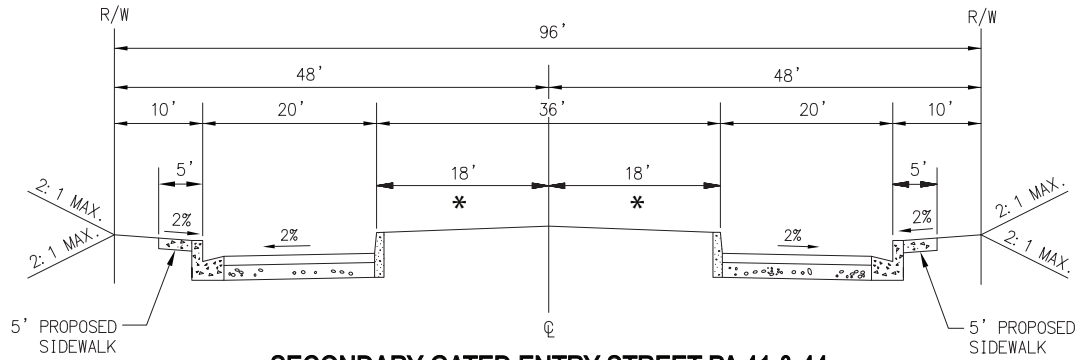
* MAY BE DESIGNATED AS A DUAL LOW SPEED ELECTRIC VEHICLE AND BIKE LANE

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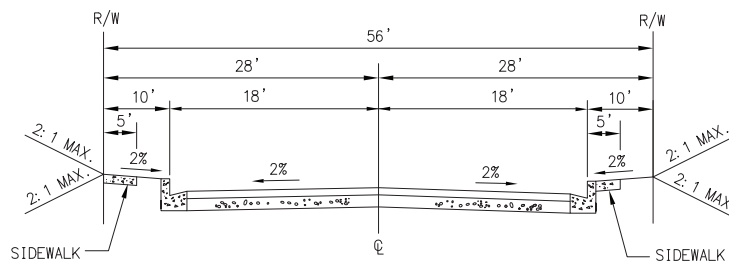
NEIGHBORHOOD ENTRY STREET ("B", "E", "G", "I" STREETS AND OTHER LOCATIONS)

THIS OPTION MAY BE USED ONLY WHERE THE MEDIAN WILL NOT INTERFERE WITH ACCESS TO THE RESIDENTIAL DRIVEWAYS



SECONDARY GATED ENTRY STREET PA 41 & 44

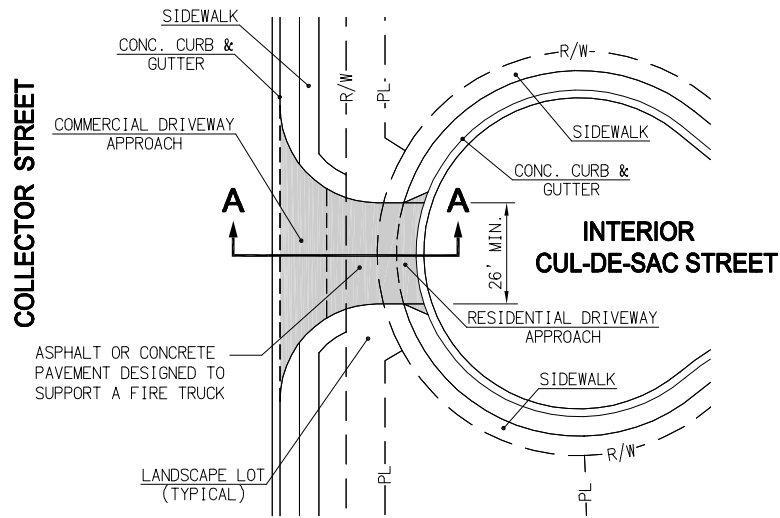
* PRIVATE STREET WHEN GATED



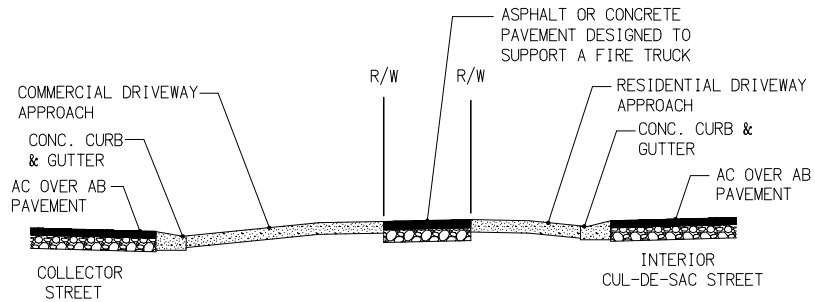
MODIFIED LOCAL RESIDENTIAL STREET

SIDEWALKS ON LOCAL STREETS MAY BE LOCATED ADJACENT TO THE CURB OR SET OFF FROM THE CURB, SEPERATED BY A LANDSCAPE STRIP. THIS SECTION SHOWS BOTH OPTIONS. A WEDGE CURB MAY ALSO BE ALLOWED.

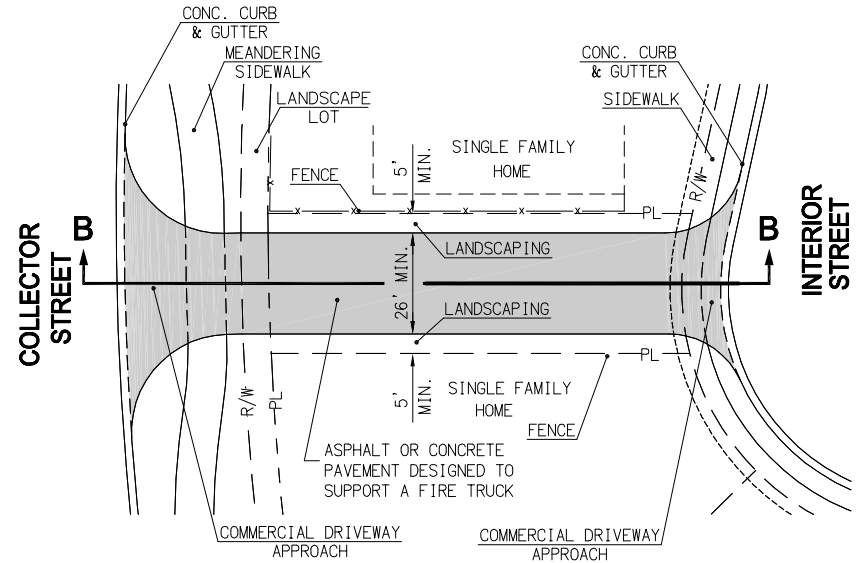
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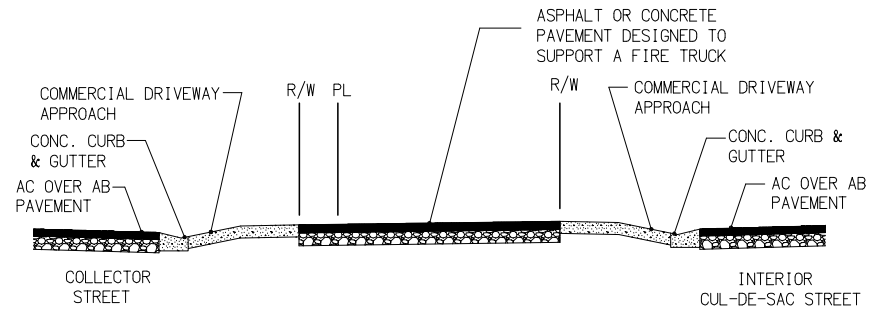
PLAN VIEW
NOT TO SCALE



SECTION A-A
NOT TO SCALE
SECONDARY ACCESS DRIVE
TYPE 'A'
HOA MAINTAINED



PLAN VIEW
NOT TO SCALE



SECTION B-B
NOT TO SCALE
SECONDARY ACCESS DRIVE
TYPE 'B'
HOA MAINTAINED

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3.2.1.2 MAJOR/ARTERIAL HIGHWAY (MODIFIED)**Highland Home Road (from SCE Easement to Wilson Street)**

The City of Banning General Plan Circulation Element defines Highland Home Avenue in this area as a Major/Arterial Highway.

Highland Home Road is a north/south roadway along the east side of the Butterfield Specific Plan. In the northern part of the project, Highland Home Road is proposed to bend to the west and connect with Highland Springs Avenue, opposite Cougar Way in the City of Beaumont. The width of the southerly portion of Highland Home Road is limited pursuant to the existing homes on the east side immediately north of Wilson Street and the previously approved Tract No. 30906 (Fiesta Development) also on the east side further north. See Exhibit 3.3B for proposed roadway cross sections of Highland Home Road.

From existing Gilman Street to the SCE easement area, Highland Home Road is proposed to provide 104' of right-of-way, to include a 16' raised median, two travel lanes on each side (13' travel lane on each side adjacent to the median and 12' outside travel lanes each side), and a 7' emergency or bike/NEV lane per side. This street section matches what the section that was approved by the city with Tract No. 30906 located on the east side of this segment of Highland Home Road. From Gilman Street south to Wilson Street, it is anticipated that the existing Highland Home Road pavement will provide a frontage drive access for existing local homeowners on the east side. This frontage drive will be closed off at the south end and not have access to Wilson Street. The frontage drive will have access to Hoffer Street and Gilman Street. To separate this existing paved area, a 4' parkway median separator between the frontage drive and proposed new Highland Home Road will be provided. In this alternative the existing open Pershing Channel running parallel to Highland Home Road is removed and reconstructed as a buried storm drain under the road. This part of Highland Home Road in this alternative would provide a combined 200' of right-of-way, to include a 16' raised median, a 13' lane on each side adjacent to the median, as well as 12' outside lanes and a 7' emergency or bike lane per side. The parkway separator in this alternative would contain shrubs to provide a protective barrier.

3.2.1.3 MAJOR HIGHWAY (MODIFIED)**Highland Home Road (from SCE Easement. to Highland Springs Ave.)**

From the SCE Easement north, Highland Home Road is proposed as a Major Highway (Modified). From the SCE easement to Highland Springs Ave., Highland Home Road is proposed to provide 108' of right-of-way, including a median area, one through lane on each side and an emergency and bike lane each side. If a painted median is implemented, consistent with the relatively lighter traffic projected on this stretch of Highland Home Road, then a 12' painted median, one 16' through lane each side and 10' emergency or bike/NEV lanes will be provided. A raised median could be used in areas where limited side access allows for it. Highland Home Road shall have a raised median at its entry off of Highland Springs Avenue. The parkway area on one side of the east-west portion of proposed Highland Home Road in the north shall include a side-by-side 5' meandering sidewalk and 5' decomposed granite meandering trail arrangement.

The opposite side parkway on this segment of road will contain a 5' meandering sidewalk. Sidewalk shall be allowed to meander to curb adjacent in limited areas to allow for meandering sidewalk within parkways.

Wilson Street (Modified)

Wilson Street, from Highland Springs Avenue to Highland Home Road, is designated a Major Highway in the City of Banning General Plan. Butterfield Specific Plan proposes to implement a modified Major Highway cross section along its northern frontage on Wilson Street. From Highland Springs Avenue to the vicinity of "C" Street the project would expand existing Wilson Street to 57' of right of way half width on the north side for a new total right of way of 105'. This widening of Wilson Street will allow a raised landscaped or painted median and two through lanes and emergency/bike lanes on each side. On Wilson Street just west of Highland Home Road, the project would expand existing Wilson Street to 48' of right-of-way half width on the north side for a new total right-of-way of 105', which will allow for a painted median and two through lanes and emergency/bike lanes on each side. Raised landscaped medians will be used where appropriate with consideration given for existing and future driveways on both the north and south side of Wilson Street, subject to the City Public Works Director final determination.

3.2.1.4 DIVIDED COLLECTOR STREET (MODIFIED)

"A", "B", "C", "F" and "H" Streets

The proposed Specific Plan provides project entry streets and divided collector streets, in addition to Highland Home Road, that provide access between the project's interior streets and Highland Springs Avenue, Wilson Street, and Highland Home Road. Project entry streets and divided collector streets "A," "B", "C", "F" and "H" provide a minimum right-of-way width of 92' to 116'. All of the project entry roads and divided collector streets accommodate one travel lane in each direction, a 12' to 16'-wide raised median, or a 12'-wide painted median, 10' emergency/bike/NEV lanes on each side, and parkways, including sidewalks and landscaping. Total proposed parkway width each side for "A", "C" (south), and "H" (west) Streets is 26'; for "B", "C" (north), "F" and "H" (east) Streets, the minimum parkway width is 14'. The proposed "H" Street intersection at Highland Springs Ave. aligns with existing Oak Valley Parkway on the City of Beaumont or west side of Highland Springs Ave., and therefore "H" Street is an easterly extension of Oak Valley Parkway.

Entries on "A", "C", "F" and "H" streets off of Highland Springs Avenue, Highland Home Road and Wilson Street shall have raised medians.

Parkway areas on one side of the entire proposed road segments for "A", "B", "C", "F" and "H" streets shall include a side-by-side 5' meandering sidewalk and 5' decomposed granite meandering trail arrangement. The opposite side parkways will contain a 5' meandering sidewalk. Sidewalk shall be allowed to meander to curb adjacent in limited areas to allow for meandering sidewalk within parkways.

3.2.1.5 LOCAL STREETS

Local streets provide direct access to and from residential lots in the residential land use areas. The 56' right-of-way of these local streets accommodates one 10' travel lane in each direction and 8' parking lanes on each side in a 36' curb to curb width. A 5' sidewalk within a 10' parkway will be provided on both sides of all streets where homes occur on both sides of the street. Sidewalks on local streets may be located adjacent to the curbs or may be set off from the curbs, separated by a landscape strip. Additionally, a 3' public utility easement may be on both sides of the road right-of-way. A "wedge" curb may be allowed on Local Streets. Limited local neighborhood entry streets located off of collector streets or larger, may be provided with 70 feet of right-of-way, to accommodate 20' travel lanes in each direction, separated by a minimum 10' landscaped median. The local neighborhood entry option may only be utilized where it will not interfere with access to residential driveways. Cluster development within the Medium Density Residential areas may have alternate local street, private street and common drive standards.

3.2.2 Private Street Options

Significant portions of the Specific Plan area have the potential to be designated as private streets with gated access if proposed by project developers for marketing these areas as restricted access communities. Private streets would be maintained by a homeowners association, which would reduce the city's maintenance responsibilities. Highland Home Road proposed within the Specific Plan should remain public in any case. Individual planning areas in the Butterfield Specific Plan could be designated with private streets and gated, such as in the medium density cluster product areas as may be proposed. Other potential options could include designating whole groups of planning areas with private streets and gates, such as placing gates on either end of proposed "F" Street and making this street private, as well as the streets within all planning areas taking access off of "F" Street. Exhibits 4.6A and 4.6B, *Secondary Community Entry Gate Concept*, in the Design Guidelines Section 4.0 of the Specific Plan provides alternative typical concept plans for proposed secondary gated access within the Specific Plan if provided. All streets within the Specific Plan area proposed to be designated private shall be subject to review and approval by the City of Banning for adequacy of circulation, design and gate placement. Public utility easements will be reserved in private streets as necessary.

Secondary vehicle access to some planning areas in the Specific Plan as depicted on Exhibit 3.2, *Vehicular Circulation Plan*, may use a private drive type access depicted in Exhibit 3.3F. These secondary access drives would be maintained by the homeowners association. Daily traffic may be otherwise discouraged on these specific secondary access drives through signage, but they would not be gated in any form and would be open for secondary access when needed. Gated emergency-only access may also be used with some planning areas as depicted in Exhibit 3.2.

3.2.3 Low Speed Electric Vehicle Circulation

The intent of the Butterfield Specific Plan is to allow electric Low Speed Vehicles (LSV's) on all internal project streets. Section 385.5 of the California Vehicle Code (CVC) defines a Low Speed Vehicle (LSV) as a motor vehicle that is capable of propelling itself

at a minimum speed of 20 miles per hour and a maximum speed of 25 miles per hour. LSV's must meet minimum State safety standards. Drivers of LSV's must possess a valid California Driver License. LSV's must be registered and licensed with the State Dept. of Motor Vehicles. CVC Section 21266(a) allows LSV's to travel in the standard vehicle travel lanes of any street with a posted speed limit of 35 miles per hour or less. Because only electric powered LSV's are predominantly sold in California they are more commonly referred to as Neighborhood Electric Vehicles (NEV's).

All interior streets in the Butterfield Specific Plan are expected to have posted speed limits of 35 miles per hour or less and would therefore allow NEV's. Although NEV's are allowed to travel in the standard vehicle travel lanes, the Butterfield Specific Plan Vehicular Circulation Plan and proposed Roadway Cross Sections allow for striped dual NEV and bike lanes on the outside edge of all proposed Collector Streets in the SP. Highland Home Road may have a posted speed limit of greater than 35 miles per hour. It may be possible to allow NEV's on Highland Home Road through the SP area in a separate striped lane, which is reflected on the proposed cross sections included in the SP. Highland Springs Avenue and Wilson Street have posted speed limits of greater than 35 miles per hour. NEV's are allowed to cross streets with posted speed limits of greater than 35 miles per hour. NEV use will be allowed in all local streets within the SP area within the standard vehicle travel lanes.

3.2.4 Non-vehicular Circulation

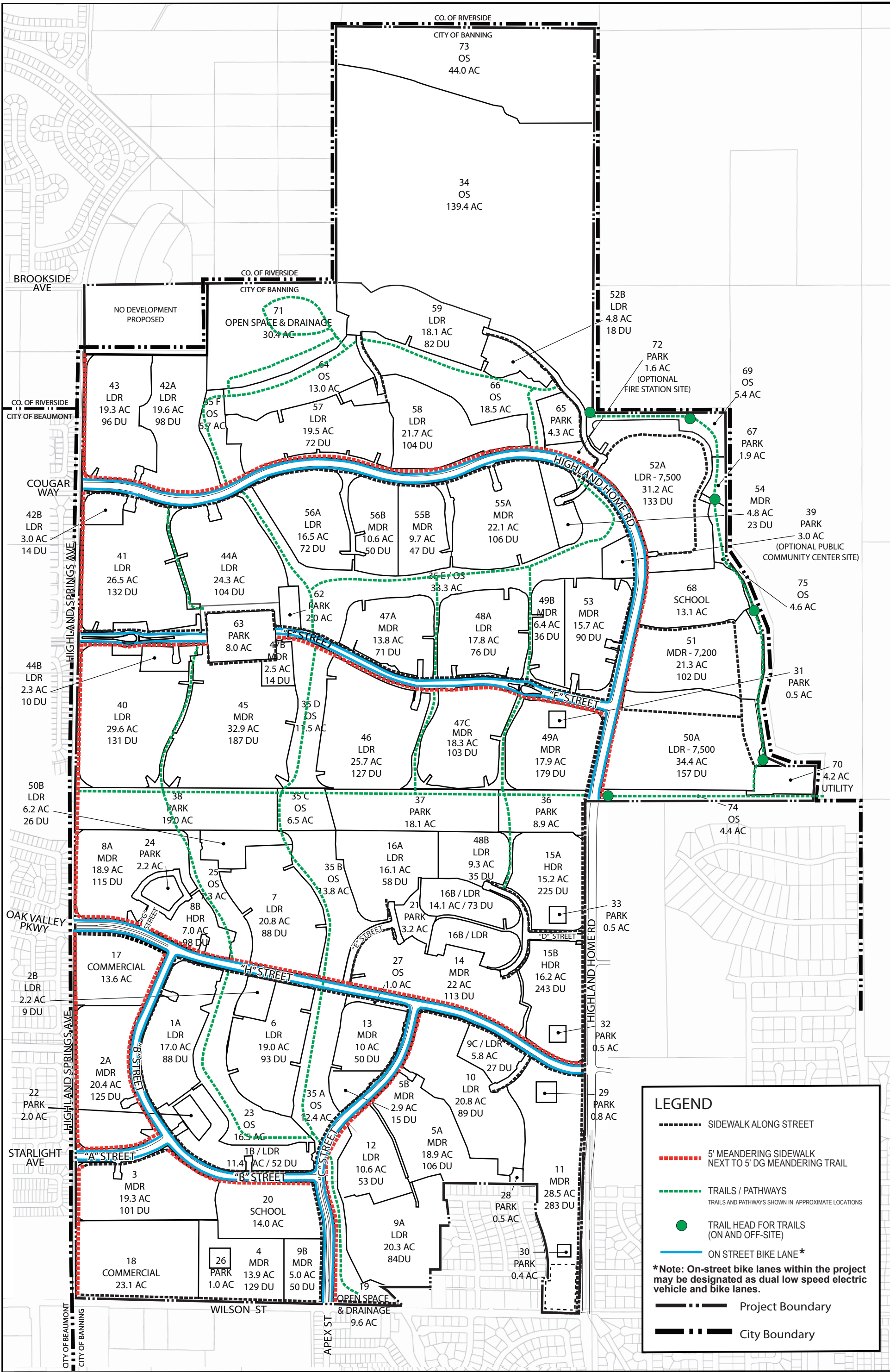
The Circulation Plan also includes a non-vehicular walkway and trail network within the Specific Plan. The pedestrian plan identifies proposed walkways, trails, trail heads, and bike lanes. Please see Exhibit 3.4, *Backbone Non-vehicular Circulation Plan*. The purpose of each trail network feature can be summarized as follows:

- **On-Street Bicycle Lanes:** The Specific Plan proposes on-street bicycle lanes along all project roadways of modified collector classification or higher. These bicycle lanes will assist in providing connections to regional and local facilities, in addition to the residential communities within the project. The on-street bike lanes will be accommodated within the street right-of-way and will be a minimum 6' wide. On-street bike lanes may be a shared dual use with LSV or NEV vehicles as noted above in Section 3.2.3.
- **Trails/Pathways:** The Specific Plan proposes to include trails within and adjacent to Planning Areas 19, 23, 25, 35A-F, 36-38, 50, 68, 51, 52, 64, 65, 66, and other areas and within the natural open space area located on the north eastern portion of the project site. These trails will assist in providing connections from the residential communities to the open space within and adjacent to the project.
- **Sidewalk:** The Specific Plan proposes these aesthetically pleasing pedestrian ways along the project entry roads, accessing external destinations by also running along the western project edge on Highland Springs Avenue.
- **Combination Meandering Sidewalk & Meandering Trail:** The Specific Plan proposes these minimum 10' wide treatments within enhanced parkway widths to be found on "A", "B", "C", "F" and "H" streets and on the east-west portion of proposed Highland Home Road. The sidewalk component provides safe, attractive access to points within the project. The trail component is a decomposed granite multi-purpose path for exercise by project residents.

3.2.5 Circulation Plan Development Standards

1. The proposed Butterfield circulation development standards are to be further defined based on the project traffic report. On-site roadway improvements, as illustrated in the cross-sections, will be developed in accordance with this plan. Signalized intersections, stop-controlled intersections and intersection geometry will be identified and modified as warranted within the traffic study.
2. If necessary, additional traffic analyses shall be undertaken as required by the City of Banning, as more detailed development plans are completed to identify specific design parameters, phasing details, and additional mitigation strategies.
3. Improvement Phasing Plans shall be developed and implemented based on the Butterfield Specific Plan Traffic Study to ensure the circulation improvements are completed consistent with the Specific Plan standards and EIR mitigation requirements.
4. For streets designated as either a Major or Secondary Highway, adequate provision must be made for safe and convenient pedestrian crossings. Special consideration shall be made to accommodate pedestrian traffic to and from schools and parks.
5. Roadway improvements may be implemented through an assessment district or similar financing mechanism.
6. On-street parking shall be prohibited within areas identified for on-street bike or NEV/LSV lanes.
7. City of Banning Pass Transit system and Riverside County Transit Agencies shall be consulted with in conjunction with project development to coordinate with existing and expand scheduled bus service, to implement long-term public transportation projects and to develop vanpools and subscription bus service.
8. Traffic synchronization will be provided where appropriate.
9. County TUMF fees (or other substitute funding mechanism adopted by the City) will be paid where appropriate to fund off-site regional improvements.
10. All streets shall have a maximum grade of 15 percent or less. Wherever feasible, street grades should be kept to 10 percent or less.
11. Street Lights designed and located pursuant to accepted dark sky principals may be given consideration subject to the review and approval of the City Public Works Director or City Engineer and the City's code regulations.

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3.3 GRADING PLAN

This section describes the proposed overall mass grading concept for the Butterfield Specific Plan. The Specific Plan mass grading plan is designed to provide for the proposed development and to take into account the existing topography of the project site.

3.3.1 Grading Plan Description

Mass grading of the Specific Plan area will be executed with an emphasis on establishing building envelopes to site roadways, drainage ways/basins, future housing tracts, development pads, park areas, school sites, commercial sites, and water reservoirs. The site grading is not expected to significantly raise or lower the overall elevation of the site from current conditions. The estimated volume of basic grading for the entire Butterfield project is anticipated to be approximately 6.2 million cubic yards of cut earthwork and approximately 6.2 million cubic yards of fill earthwork. The grading will also include over excavation as anticipated, and remedial grading (alluvium and colluvium removal and recompaction). The basic grading of the site, including the remedial grading, is anticipated to balance on site (equal cut and fill) without need for import or export. There will be a relatively limited amount of import of special material (sands, gravels, clays) to the site for construction of portions of the drainage/recharge basins, lakes and road beds.

The Butterfield land use plan incorporates open space planning areas in the far eastern edges of the project site. These open spaces include areas where fuel modification will take place (i.e. control of combustible vegetation within 100 to 150 feet of structures). The fuel modification zones provide a fire protection and transition area to provide a buffer for protection against wildfires and a setback from the more wildland areas. The mass grading activity accounts for the presence of potentially active seismic faults on the Butterfield site, approximately located in portions of Planning Areas 64, 65, 66 and 71, which are in between residential Planning Areas 57, 58 and 59. There is an additional fault area in the north between open space Planning Areas 34 and 73, no residential development is allowed or proposed in these areas. All proposed residential planning areas are located outside of the fault zone setback areas as specified by the project geotechnical engineer, GEOCON.

The design of the plan reflects sensitivity to onsite natural landforms and the implementation of grading and drainage Best Management Practices (BMP's). Refer to Exhibit 3.5A, *Conceptual Mass Grading Plan*. The grading plan was also developed to be consistent with the existing topography and grading concepts proposed for neighboring properties. The site will be graded to allow the current surface drainage pattern to continue. The majority of the Butterfield Specific Plan area contributes drainage flows to Smith Creek; this will still be true of the realigned Smith Creek within the project's proposed central open space. Only portions of the project area in the proposed graded condition, along the eastern edge of the Specific Plan area, consisting of approximately 140 acres, will drain to Pershing Channel located along Highland Home Road north and south of Wilson Street.

Within Planning Area 71, a large basin is proposed at the north end of the Specific Plan area where Smith Creek enters the site. This basin will be designed to detain upstream

drainage flows to the extent that drainage flows leaving the project area at the south end (via Wilson Street), in the developed condition, will be equal to or less than existing conditions. (For more information on the north detention basin and other drainage improvements for the Butterfield Specific Plan site, please refer to Section 3.4, *Drainage Plan*, of this Specific Plan.)

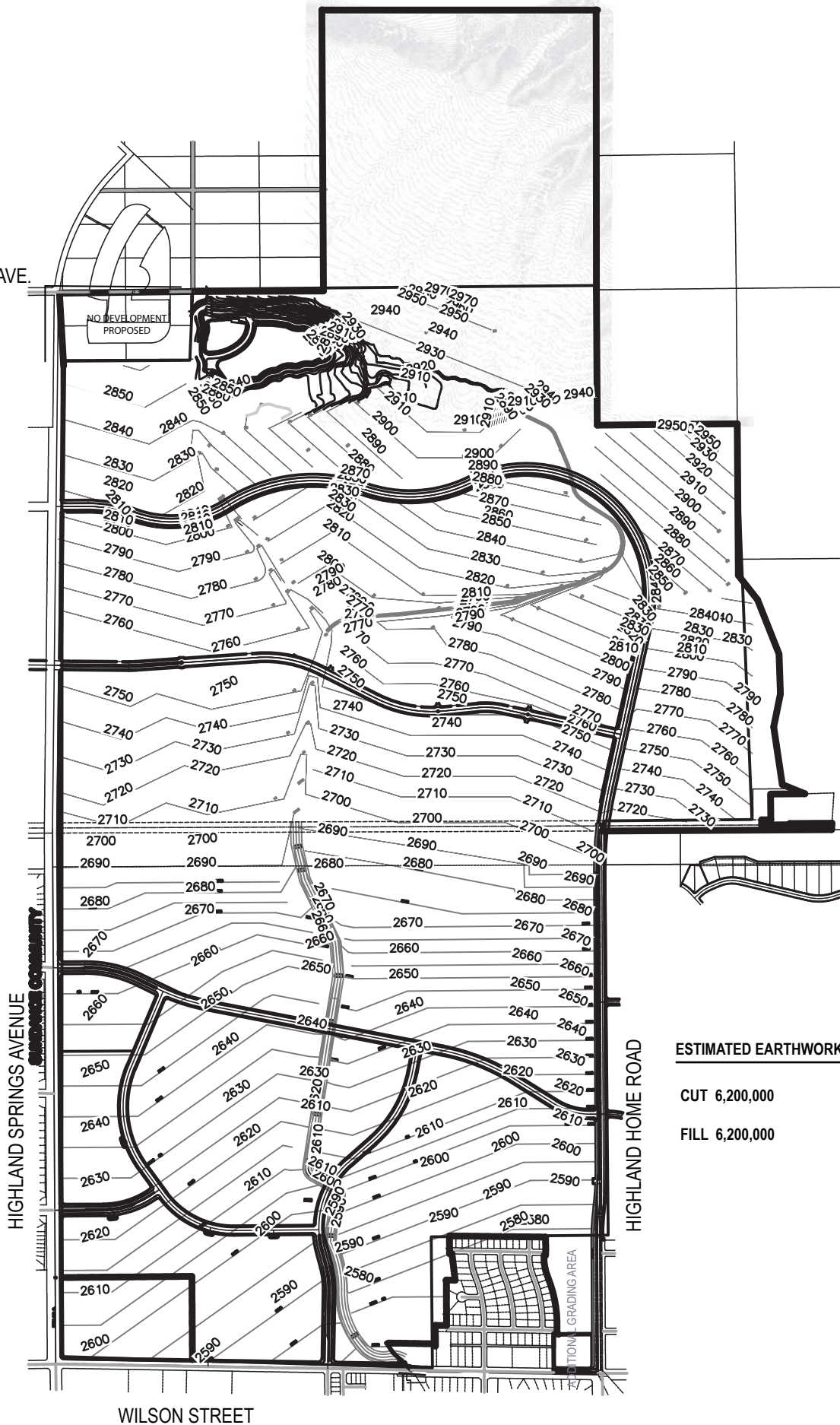
The grading of the Specific Plan area will be phased to the extent practical to keep impacts from grading to a minimum at any one time. Mass grading is proposed to be done generally from south to north. Rough grading and fine grading of areas will occur as development takes place in those areas.

Smith Creek and Central Open Space

Smith Creek through the Specific Plan area is proposed to be realigned to flow through the central open space. The grading of the realigned creek through the project will be done to reflect a vegetated earthen natural channel. The proposed central open space areas within Planning Areas 23, 25, 35A-F, 64 and 66 will be lower in elevation than nearby home sites. This will enhance the open space's value in providing a channel for Smith Creek flood control and other tributary drainages. Lowering the central open space will also provide more vertical separation, articulation and aesthetic treatments at the interface between homes and the proposed open space. See Exhibit 3.5B for the *Central Open Space Grading Section Concepts*.

All necessary permits will be obtained from appropriate resource agencies for impacts to jurisdictional waterways. Basic grading, including remedial grading, of the Specific Plan Area is anticipated to balance on site, without need for import or export of dirt.

BROOKSIDE AVE.



ESTIMATED EARTHWORK QUANTITIES

CUT 6,200,000

FILL 6,200,000



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3.3.2 Grading Plan Development Standards

1. All other provisions of this Specific Plan notwithstanding, all grading shall conform to the California Building Code and all other relevant laws, rules and regulations governing grading in the City of Banning.
2. All grading activities shall be in substantial conformance with the Conceptual Grading Plan as determined by the City Engineer and Community Development Director, and shall implement any grading-related mitigation measures outlined in the CEQA documentation.
3. All streets shall have a maximum grade of 15 percent or less. Wherever feasible street grades should be kept to 10 percent or less.
4. Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
5. The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
6. The toes and tops of all slopes higher than ten feet should be rounded, where possible, with curve radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
7. Cut or fill slopes exceeding 100 feet in horizontal length, if any shall be graded to meander at the toe and top of the slope.
8. Slopes exceeding three feet in vertical height shall be protected per City standards prior to the beginning of the wet season (October to March), or as otherwise provided per the approved Erosion Control Plan.
9. Prior to initial grading activities, a soils report and geotechnical study shall be performed with further analyses of on-site soil conditions and appropriate measures to control erosion and dust.
10. Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
11. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of individual homeowners or the homeowners association.
12. Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible and shall be reviewed by the City Engineer.
13. Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.

14. Grading work shall be balanced on-site, wherever possible. If export is required as a result of the final grading plan, then measures will be taken to be in compliance with the applicable City of Banning Ordinances at time of final grading plan approval. Export of graded material from the site will not be permitted for commercial purposes.
15. Graded, but undeveloped, land shall be maintained weed-free and planted or protected with acceptable plant material and interim erosion control measures within 45 days of completion of grading, unless building permits are obtained. All graded slopes, pad areas and road beds shall be continuously maintained by the Developer or the homeowners association.
16. A grading permit shall be obtained from the City of Banning, as required by the City grading ordinance, prior to grading.
17. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist and paleontologist shall be consulted to ascertain their significance.
18. If human remains are encountered during grading and other construction excavation, work in the immediate vicinity shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code §7050.5. The city of Banning Planning Department shall also be contacted.
19. In the event that Native American cultural resources are discovered during project development/construction, all work in the immediate vicinity of the find shall cease and a qualified archaeologist meeting Secretary of the Interior standards, and approved by the City of Banning, shall be hired to assess the find. Work on the overall project may continue during this assessment period.
20. If significant Native American cultural resources are discovered, and a Treatment Plan is recommended by the archaeologist, the developer or the archaeologist shall contact the Morongo Band of Mission Indians ("Tribe"). If requested by the Tribe, the developer or the project archaeologist shall, in good faith, consult on the discovery and its disposition (e.g. avoidance, preservation, return of artifacts to tribe, etc). The results of the consultation and disposition shall be forwarded to the City of Banning for retention in the project file.
21. Soil stabilizers and other best management practices shall be used to control dust as required by current SCAQMD and City requirements.
22. Property lines shall be located at the tops of slopes, in rear and sideyard areas when feasible.
23. Maintain moderate grades at a gradient not exceeding 2:1 on new slopes to reduce risk of erosion.
24. Appropriate erosion control measures shall be considered, as determined by the City Engineer as part of the comprehensive grading and drainage plan to reduce erosion.

25. Adequate provisions shall be determined by the City Engineer to prevent surface waters from damaging or interfering with construction activities, public or private property, and cut and fill slopes during and after construction.
26. All project sites shall meet NPDES requirements for urban runoff and erosion control. All sites shall employ Best Management Practices (BMP's) and meet City of Banning and County of Riverside Standards.
27. Concrete terrace drains, v-ditches, and brow ditches shall use colored concrete that is intended to blend with their surroundings. The design of these facilities shall consider minimization of their view impacts.
28. The height of grading dirt stockpiles shall be minimized and promptly removed as grading allows. Such stockpiles shall be setback from Highland Springs Avenue, Wilson Street and Highland Home Road a minimum of 150 feet.
29. Slope easements, including for maintenance purposes, shall be shown on tentative tract maps.

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3.4 DRAINAGE PLAN

This section describes the existing onsite drainage characteristics and improvements proposed within this Specific Plan. Following this description, drainage plan development standards have been created to address drainage improvements proposed by this Specific Plan and to ensure conformance with the City of Banning, County of Riverside, NPDES, and other responsible agency requirements.

3.4.1 Characteristics of Existing Drainages

Smith Creek, the most significant drainage feature in the project vicinity, currently exists as a natural earthen channel that conveys drainage down the center of the site, where it connects to an existing culvert under Wilson Street and the further existing channel south of Wilson Street. The channel's width on the site averages approximately 30 feet; its depth ranges from three to five feet and consists of a sandy bottom with soil sidewalls. Pershing Channel connects with the project site along its southeastern edge. The channel passes along side of Highland Home Road, travels under Wilson Street via a culvert, and empties into an existing channel south of the street.

Historically the Butterfield site has received surface drainage flows from north to south within the two separate watersheds, Smith Creek and Pershing Channel. Approximately 1,220 acres, an estimated 79% of the project site acreage in the existing condition lies within the larger watershed affecting the Specific Plan area which drains to Smith Creek through the center of the site. An estimated 323 acres, constituting 21% of the project site acreage in the existing condition drains to the Pershing Channel along Highland Home Road just north of Wilson Street.

Southerly portions of the Specific Plan area are currently in a designated 100-year flood zone (Zone A) pursuant to the National Flood Insurance Rate Map. These areas can be removed from this zone, except in the proposed central open space and realigned Smith Creek area, with the improvements described below.

3.4.2 Master Drainage System

The Butterfield Specific Plan proposes a backbone system of drainage improvements which will utilize the capacity of both Smith Creek and Pershing Channel to transport surface flows from and through the project site in its developed condition. The backbone system will also direct first-flush or nuisance flows toward water quality features that will treat the runoff before it enters these major drainages. Basin and channel features at Smith Creek's site entry and exit points and in the central open space are integrated with the realigned Smith Creek and will help regulate the volume and velocity of flows for the Smith Creek-drained portion of the site. This integrated system would protect the Butterfield development from inundation and help regulate dispersal of flows throughout the project site and exiting the site. Controls are also included for drainage entering Pershing Channel. The following provides a further description of the proposed Specific Plan backbone drainage features.

North Basin

A realignment of Smith Creek is anticipated by this drainage plan. The project drainage to Smith Creek will drain to the proposed realigned creek in the central open space. A large detention basin is proposed within Planning Area 71 at the north end of the Specific Plan area where Smith Creek enters the site. This basin will be designed to detain upstream drainage flows to the extent that drainage flows leaving the project area at the south end (via the existing culvert under Wilson Street), including in the developed condition, will be equal to or less than existing conditions.

The north basin is planned to have the main functions of detaining flows from expected 100 year storm events flowing in from Smith Creek and release this storm water in an acceptable controlled manner; and to detain sediment from off-site upstream flows of Smith Creek. Additionally the City could potentially elect to use the basin for storing State Water Project (SWP) water for use in groundwater recharge on the project site, if the City was to choose to acquire such water for this purpose via a pipeline extension connecting the existing SWP pipeline with PA 71 in the Specific Plan area. See Section 3.5.3, *Groundwater Recharge Plan Description*, in this Specific Plan for a further description of this. The City could also potentially elect to store recycled water (generated either at the City of Banning's main wastewater treatment plant or at onsite satellite wastewater treatment plant) that could be blended with other sources of water in the basin and which could be piped and pumped throughout Butterfield Specific Plan area for irrigation of the common landscaped areas of the project, as well as potentially for groundwater recharge if pursued and approved. See Section 3.5.2, *Recycled Water Service Plan Description*, as well as Section 3.5.3 of this Specific Plan for a further description of this. See Exhibit 3.6B, *PA 71 North Basin Schematic Section* for an indication of approximate potential water storage volumes proposed in the basin for these purposes. Portions of area surrounding the basin will be suitable for planting native vegetation to create potential native habitat restoration areas. The basin may also be used as a passive recreational area, suitable for picnicking and hiking and taking in the views offered from vantage points.

The north basin in Planning Area 71 will contain three subparts, a desilting basin to desilt upstream flows, a weir which helps to contain any accumulated materials, and a connected larger part of the basin which receives stormwater overflow from the desilting basin. Smaller proposed basins in the southern portion of the PA 34 open space and the north central part of the central open space would provide additional limited drainage detention. Please refer to Exhibit 3.6A, *Master Drainage Plan*, for the overall project drainage concept and location of the PA 71 basin. Please refer to Exhibit 3.6B, *PA 71 North Basin Schematic Section* for an indication of approximate potential water storage volumes proposed in the basin. A concept landscape plan of the Planning Area 71 north basin can be seen in Section 4.0, *Development Design Guidelines*, of this Specific Plan as Exhibit 4.8I, *PA 71 North Basin Landscape Concept Plan*.

Central Open Space Drainage System

The main backbone drainage facility for this Specific Plan consists of a large open channel section that will run from north to south for the most part in the central open space realigned as Smith Creek. During significant storm events, the channel will spread over its top of channel and spread into other portions of the open space. By spreading the flows, the wetted perimeter is increased resulting in slower velocities.

Where necessary, some limited detention along Smith Creek may be designed to further control release of onsite stormwater.

The proposed main channel is proposed to be lined in areas with turf reinforcing mat (TRM), or similar low impact protection which is proposed to be covered in soil and vegetated. The result is a natural, vegetated channel. Where the velocities are significant, drop structures will be utilized to dissipate energy and slow down the flows. These drop structures, constructed to fit within restored natural conditions to the greatest extent possible, will protect the channel from erosion. Culverts will be placed at the proposed street crossings.

Drainage from development areas within the Specific Plan will flow in streets and into storm drains to be taken to either the Smith Creek drainage in the central open space or the Pershing Channel. Before low flow drainage or first flush storm runoff enters either Smith Creek or Pershing Channel, the flows will pass through water quality treatment facilities. These water quality treatment facilities will likely consist of vegetated detention basins or vegetated flow through swales, which will be located in the central open space areas or other open space areas, or may be in the residential areas.

Drainage flows exiting the central open space will flow under the proposed "C" Street and into the south channel, located within Planning Area 19. This is proposed as an earthen open channel, vegetated with native plant materials. All flows from the south channel will pass offsite to the south, through an existing culvert under Wilson Street. More detailed analysis and design of the drainage system improvements needed will need to be completed. Please refer to Exhibit 3.6A, *Master Drainage Plan*. A conceptual landscape plan of the Planning Area 19 south channel can be seen in Section 4.0, *Development Design Guidelines*, of this Specific Plan as Exhibit 4.8H, *PA 19 South Channel Landscape Concept Plan*.

The proposed drainage facilities were designed to replace the systems identified in the County and City Master Plan of Drainage. The proposed drainage system provides the same function as those facilities previously master planned, and could potentially reduce the master planned flow rates at the project boundaries.

3.4.3 Drainage Plan Development Standards

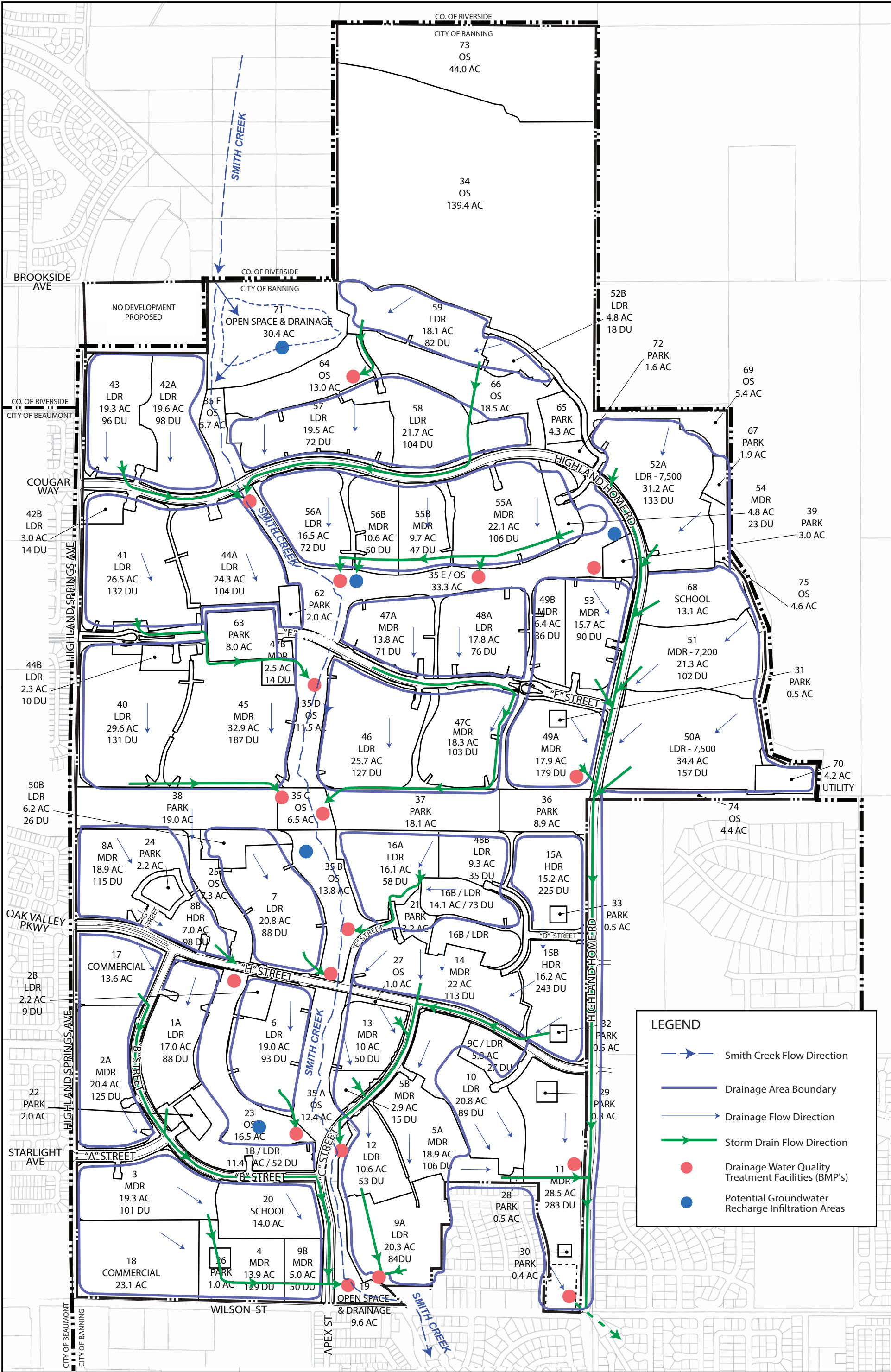
In order to ensure orderly development, the Drainage Plan described above shall be subject to general principles and standards as follows:

1. The Project shall be subject to the requirements indicated in the Riverside County Flood Control District and Water Conservation District Hydrology Manual and the City of Banning flood control standards, including the following provisions:
 - a) All building pads shall be free from flood hazard for the 100-year frequency storm by elevating finished floor elevations one foot above the 100-year level of flood protection; and
 - b) Depths of flow in the streets shall not exceed top of curb elevations for the 10-year frequency.

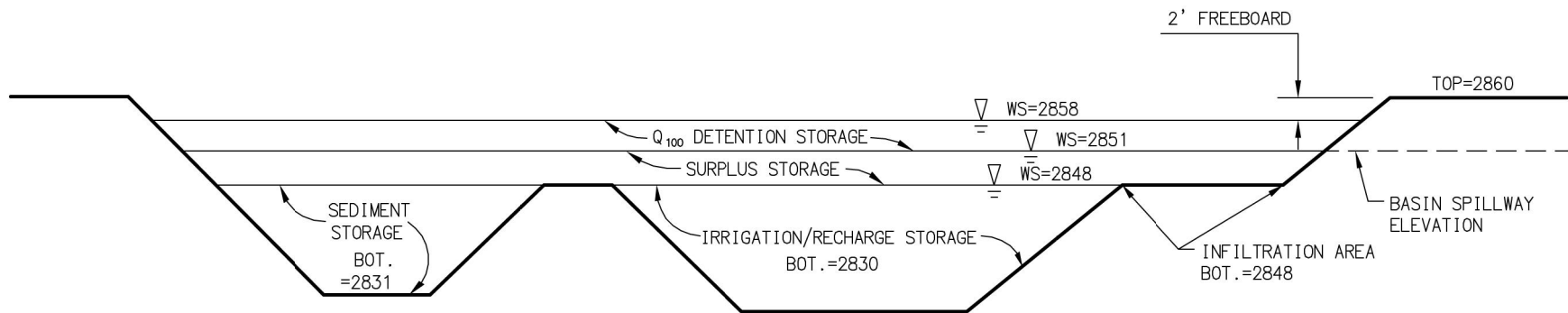
2. The potential for the conveyance of debris from off-site watersheds shall be taken into account into the design of the proposed facilities.
3. Prior to site development, the proposed interior road infrastructure and grading design shall be coordinated to ensure that there is not any major diversion of drainage areas between watersheds.
4. The design of all interior storm drain conveyances and local storm drain facilities shall be in accordance with the criteria RCFCWCD guidelines. Flood flows used in the design of waterways, channels, and closed conduits shall have minimum average recurrence intervals as follows:
 - a) Storm drain systems shall be designed and based on a minimum 10-year frequency.
 - b) For sump conditions, a 25-year frequency shall be applied, and a connected system shall be designed to completely convey 100-year runoff, with a secondary outlet to assure the water surface is one foot below the proposed pad elevations.
5. On-site public drainage facilities located outside of the road right-of-way shall be contained in drainage easements.
6. Streets shall be oriented to maximum potential conveyance of regional flooding during significant storms to expedite the flow through the development.
7. The Specific Plan shall be phased such that 100-year flood protection is ensured in all areas of the development. Interim improvements shall be provided as phasing of the development progresses.
8. New development shall be required to prepare a master flood utility plan for storm drainage conveyance.
9. All projects shall be required to retain any increased drainage onsite until such time as a viable drainage plan is implemented. Development proposed following implementation of such a drainage plan shall be implemented in accordance with the approved drainage master plan.
10. Best Management Practices (BMPs) shall be implemented to enhance pollutant removal during storms and to improve the quality of stormwater runoff.
11. Prior to development of upstream areas, the potential for the conveyance of debris by the offsite watershed shall be accounted for in design of onsite drainage facilities in order to avoid abrasive erosion in certain drainage facilities and maintenance problems for facilities located within the floodplain.
12. Inspection and maintenance of public storm drain systems shall be performed by City of Banning.
13. Construction of each phase shall include an assessment of the size and flow patterns of the adjacent undeveloped areas on the Specific Plan area.

14. Each phase shall prepare an erosion control plan that provides the developed phases with the required flood protection. Flood protection shall be determined by the size of the undeveloped areas and the flow patterns.
15. Temporary basins shall be constructed to meet detention requirements and earthen channels/berms shall be used to divert and convey flows during construction phases.
16. At a minimum, all development will make provision to store runoff from rainfall events up to and including the one-hundred-year, 3-hour duration event.
17. Drainage facilities in the central open space shall be constructed with natural materials or shall be made to appear natural and shall be subject to Design Review approval.

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BASIN/LAKE STORAGE

STORAGE REQUIREMENT

Q₁₀₀ DETENTION
 SEDIMENT STORAGE
 IRRIGATION STORAGE
 RECHARGE STORAGE (=TO MAX. PEAK DOMESTIC DEMAND)
 SURPLUS STORAGE

SOURCE

STORM RUN-OFF
 STORM RUN-OFF
 RECYCLED OR SWP WATER (POTENTIAL)
 RECYCLED OR SWP WATER (POTENTIAL)
 RECHARGE OR STORM RUN-OFF

VOLUME (APPROXIMATE)

100 AC-FT
 45 AC-FT
 TBD
 TBD
 TBD

Notes:

SWP = Potential State Water Project or other imported water.
 Potential use of recycled water or other sources of water for recharge will require appropriate approvals and permits, including the acceptable levels of blending with other water sources.

BASIN BOTTOM AND STORAGE ELEVATIONS ARE PRELIMINARY ESTIMATES ONLY.

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3.5 WATER, RECYCLED WATER AND SEWER SERVICES PLAN

This section outlines domestic water, recycled water, and sewer (wastewater) service provisions in concept to adequately meet future development demands of the Butterfield Specific Plan area. This plan addresses demands of the uses proposed within the Specific Plan as required by applicable City master plans and the Butterfield Specific Plan Water Supply Assessment and develops standards for the development of water, recycled water, and sewer services.

3.5.1 Water Service Plan Description

Butterfield Specific Plan's projected potable water demand for non-irrigation purposes in the project at buildout is estimated at approximately 1,600 acre feet/year with estimated future water conservation reductions. These figures assume a development of 4,862 dwelling units, and in which PAs 17, 18, 20 and 68 are developed according to their primary development designation, commercial and schools. These potable water quantities would be expected to decrease if ultimately fewer dwelling units are built or active-adult dwelling units were part of the product mix constructed, based on an expected lower number of persons/residents per dwelling unit.

The proposed project site is within the City of Banning's Water Utility Department service area that provides water services to the City. Groundwater basins within the San Gorgonio Pass area, including the Banning, Beaumont and Cabazon areas, serve as the main domestic or potable water sources for the City. The City owns and operates wells, reservoirs and water distribution lines that deliver water to the City as well as to limited unincorporated Riverside County lands outside the City limits. Water from the State Water Project (SWP) system used to help replenish groundwater supplies.

The City of Banning requires developments to provide two points for water main connection tie-ins. The Butterfield Specific Plan area proposes these connection points at minimum at the intersection of Highland Home Road and Wilson Street as well as proposed "C" Street and Wilson Street. Exhibit 3.7 *Conceptual Potable Water Plan* depicts the proposed main on-site water transmission lines. Looping of water lines throughout the major portions of the Butterfield site as well as within individual planning areas will occur to distribute potable water to the project. Local on-site (in-tract) water transmission lines of 8 inches minimum diameter within project internal streets are proposed to directly serve Butterfield's residential uses.

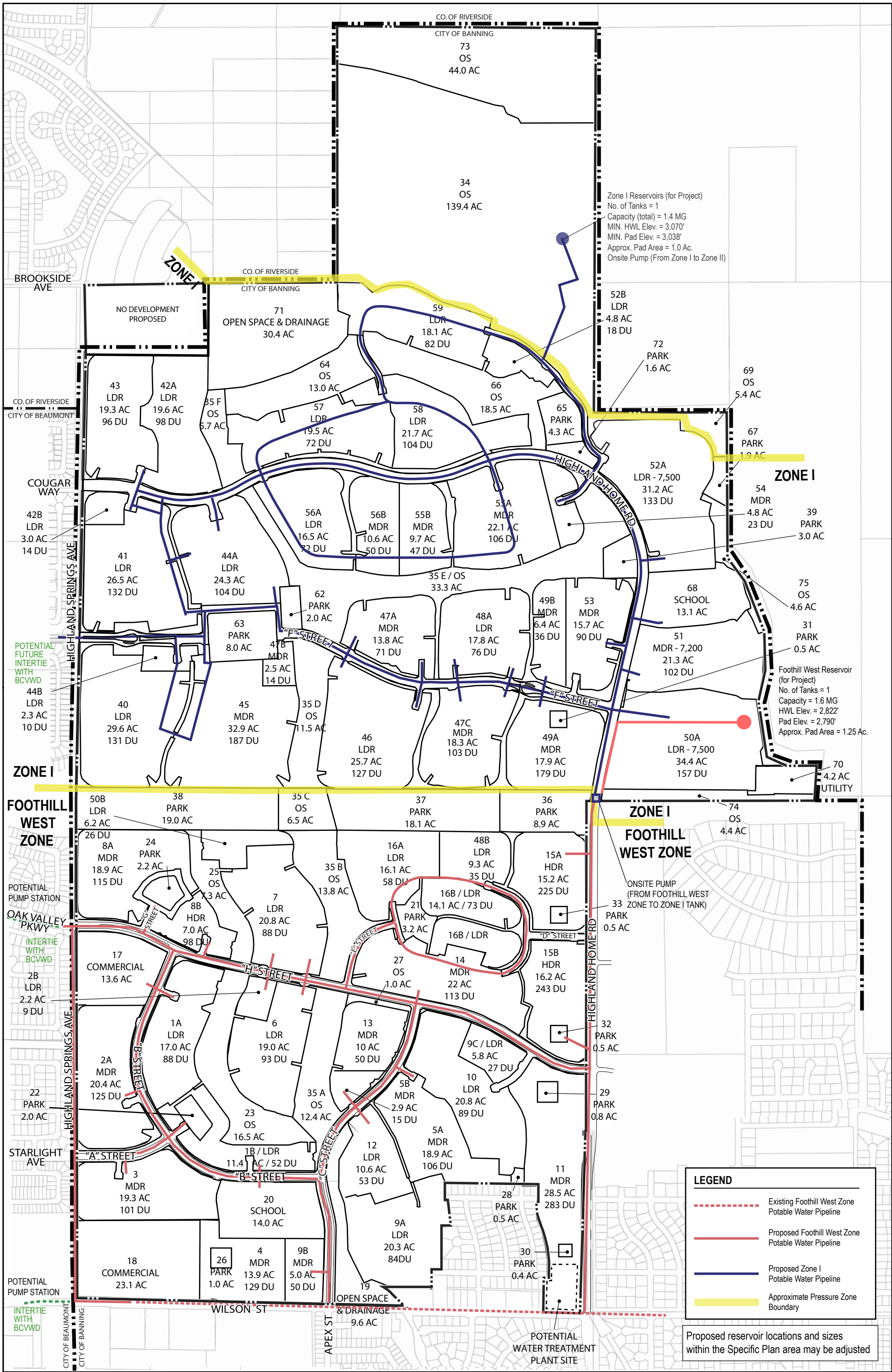
Approximate potential tank and pump locations for potable water supply are indicated on Exhibit 3.7, *Conceptual Potable Water Plan*, and assumed to be onsite within the development area of the site. References to locations and elevations indicated on the exhibit should be interpreted as approximate minimums affecting appropriate service pressure zones and may be subject to adjustment within the proposed development areas. The Project proposes two above-ground steel water storage tank for potable water (with a total potential storage capacity of approximately 3.0 million gallons [MG]), to serve Butterfield residents in the Specific Plan's lower Foothill West Zone and Zone I. The proposed Foothill West reservoir for the SP is proposed to be located on the east side of PA 50A at a pad elevation of 2,790 feet. The Zone I reservoir proposed to serve this respective zone in the SP will be located within the east side of PA 73, at minimum pad elevations of 3,038 feet. The proposed Zone I reservoir could be built as a single tank or two side by side tanks. The Project proposes on-site potential pump station

locations and in-tract water pipelines, which will connect to the City's existing system at Highland Home Road and Wilson Street as well as "C" Street and Wilson Street.

Proposed interconnection points between the proposed Banning system serving the Butterfield Specific Plan area and that of the Beaumont-Cherry Valley Water District (BCVWD) are also depicted in Exhibit 3.7. Banning and BCVWD have agreements in place for joint use of certain wells in the BCVWD area. Within the project's part of City of Banning's Foothill West Zone, a BCVWD line running along 8th Street from west of Highland Springs Avenue could be tied into the City of Banning's existing potable water pipeline within Wilson Street. BCVWD's system also provides an existing line running within Oak Valley Parkway. As a second currently-available interconnect point to the project's part of the Banning Foothill West Zone, the Oak Valley Parkway line could connect via the proposed Oak Valley Parkway extension into the Butterfield system. A supporting pipeline could also be implemented within Highland Springs Avenue to connect these two current interconnect points. In the future, potential interconnects to the Specific Plan's Zone 1 system (Banning system) could be made with a planned BCVWD facility to be constructed in the north Sundance project area west of Highland Springs Avenue at approximately proposed "F" Street in the Butterfield Specific Plan. For each interconnect opportunity, a potential pump station may be provided.

If made available, the treatment of State Water Project water to acceptable potable use standards might also be a potential option with this project. This treatment might be provided by a treatment facility which receives SWP water via a feed line from a potential SWP pipeline extension before it would enter the proposed north basin in PA 71. See discussion in Section 3.5.3 of this Specific Plan for a further description of this potential pipeline extension and facility.

A change to the Chromium drinking water standard has occurred since the Butterfield Specific Plan approval in 2012. The City requested that this section of the Specific Plan include the need for treatment facilities needed to serve the development. The proposed satellite wastewater treatment plant site that has been identified at the south end of PA 11 in the Specific Plan area, as further discussed in Sections 3.5.2 and 3.5.4 of this SP, may also double as a site for Chromium-6 treatment facilities based on further analysis.



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3.5.2 Recycled Water Service Plan Description

The City of Banning Wastewater Treatment Plant (WWTP) is located in the southeast section of the City and currently has the capacity to treat 3.6 mgd of wastewater to secondary standards. The wastewater is treated and the effluent is discharged to percolation ponds that overlie the Cabazon groundwater storage unit. The Wastewater Treatment Plant currently has headworks designed for an ultimate capacity of 7.8 mgd.

The City has completed plans for expansion and upgrade (Phase I Upgrade) of the main Wastewater Treatment Plant (WWTP). The upgrade would provide treatment of up to 1.5 mgd of wastewater to tertiary standards, which would allow for the production of approximately 1,680 acre-ft/yr of recycled water. In addition, pursuant to a September 2006 draft *Recycled Water Master Plan* prepared for the City of Banning by Carollo Engineers, the City owned R-1 well located near to the WWTP can be another direct source of water suitable for use in the City's recycled water system. The Phase I WWTP upgrade project includes potential retrofitting the R-1 well and proposed recycled water distribution pipelines south of the I-10 Freeway. Environmental review (CEQA compliance) has been completed on the City's Phase I project. The Banning 2006 *Recycled Water Master Plan* also projects recycled water demands in the City could total approximately 5.0 mgd in the future, requiring further expansions of the City's wastewater treatment capabilities.

Butterfield Specific Plan area's projected total irrigation water demand to serve the project's common landscaped areas is estimated at approximately 1,000 acre feet/year at project buildout. Recycled water, as it is available, is the ultimate required source to meet this demand.

The City of Banning has yet to construct a distribution system to deliver recycled water to irrigation customers. As such, the City requires dry recycled water lines to be constructed concurrently with potable water lines for future use with a recycled water source when available, for irrigation use. Recycled (non-potable) water lines will follow the same alignments as those for potable domestic water as appropriate, connected to storage facilities proposed in the project area. Pump locations are possible along Highland Home Road or elsewhere within the project as appropriate. See Exhibit 3.8A, *Conceptual On-site Recycled Water Plan*.

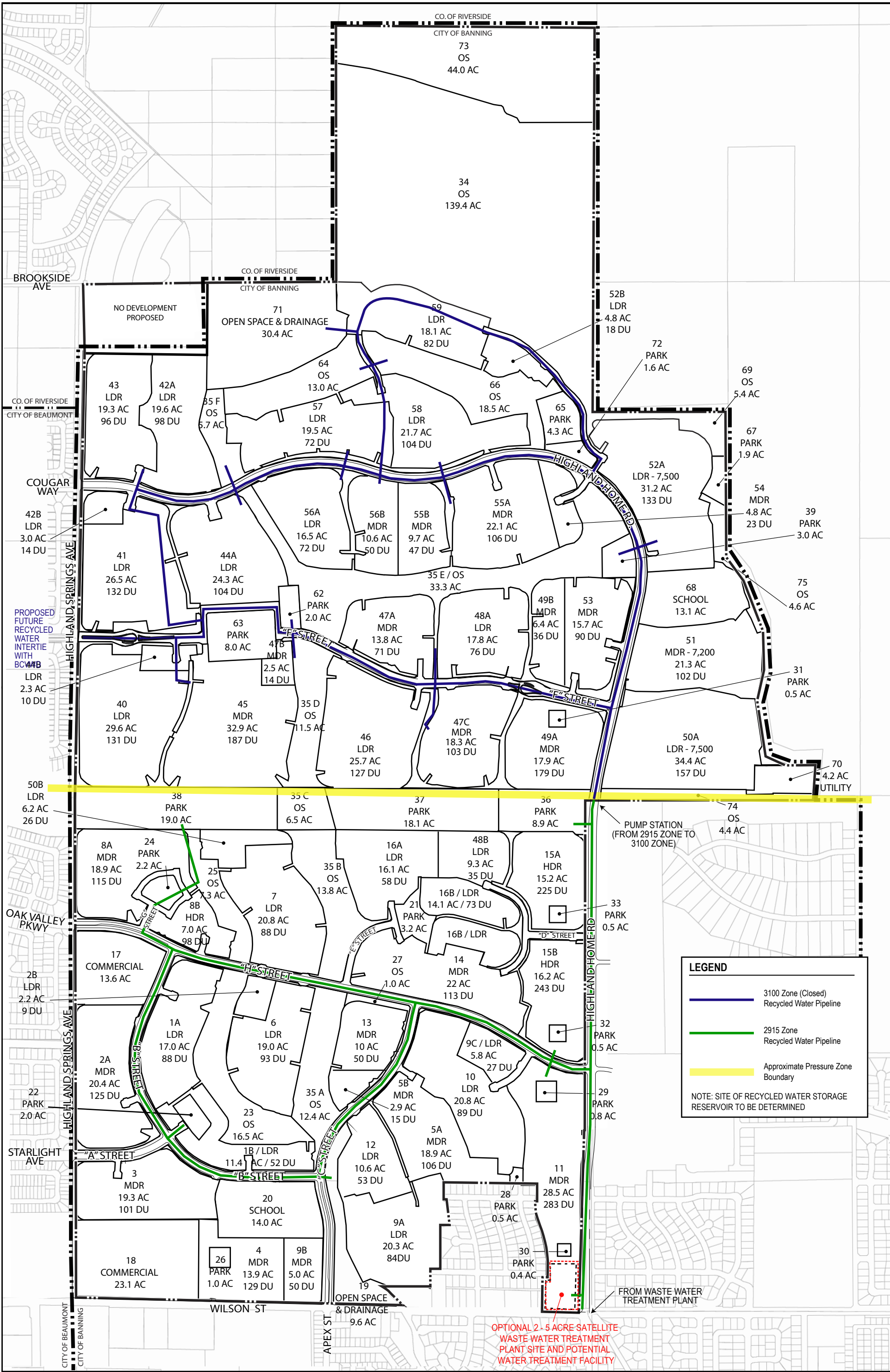
In order to supply the Butterfield Specific Plan area with recycled water from the City's main plant, when made available by the City, off-site recycled water transmission pipelines will need to be constructed from Highland Home Road/Wilson Street intersection eastward along Wilson Street, south on Sunset Avenue, eastward on Lincoln Street, south on Hathaway Street, and eastward on Charles Street to the City's main wastewater treatment plant. The Banning Wastewater Treatment Plant with the planned upgrades would then send recycled water through the pipeline to the point of connection with the Butterfield site's onsite distribution system. Pumps would be needed at points along the off-site line to get recycled water to the site. See Exhibit 3.8B, *Off-site Recycled Water Transmission*.

The project proponent would pay a fair share contribution towards construction or would construct the entire offsite improvement in return for cost reimbursement or project fee credits. In support of this Butterfield service option, improvements to the City's main wastewater treatment plant both to expand treatment capacity as well as to upgrade to tertiary treatment of wastewater would be necessary by the City. These plant

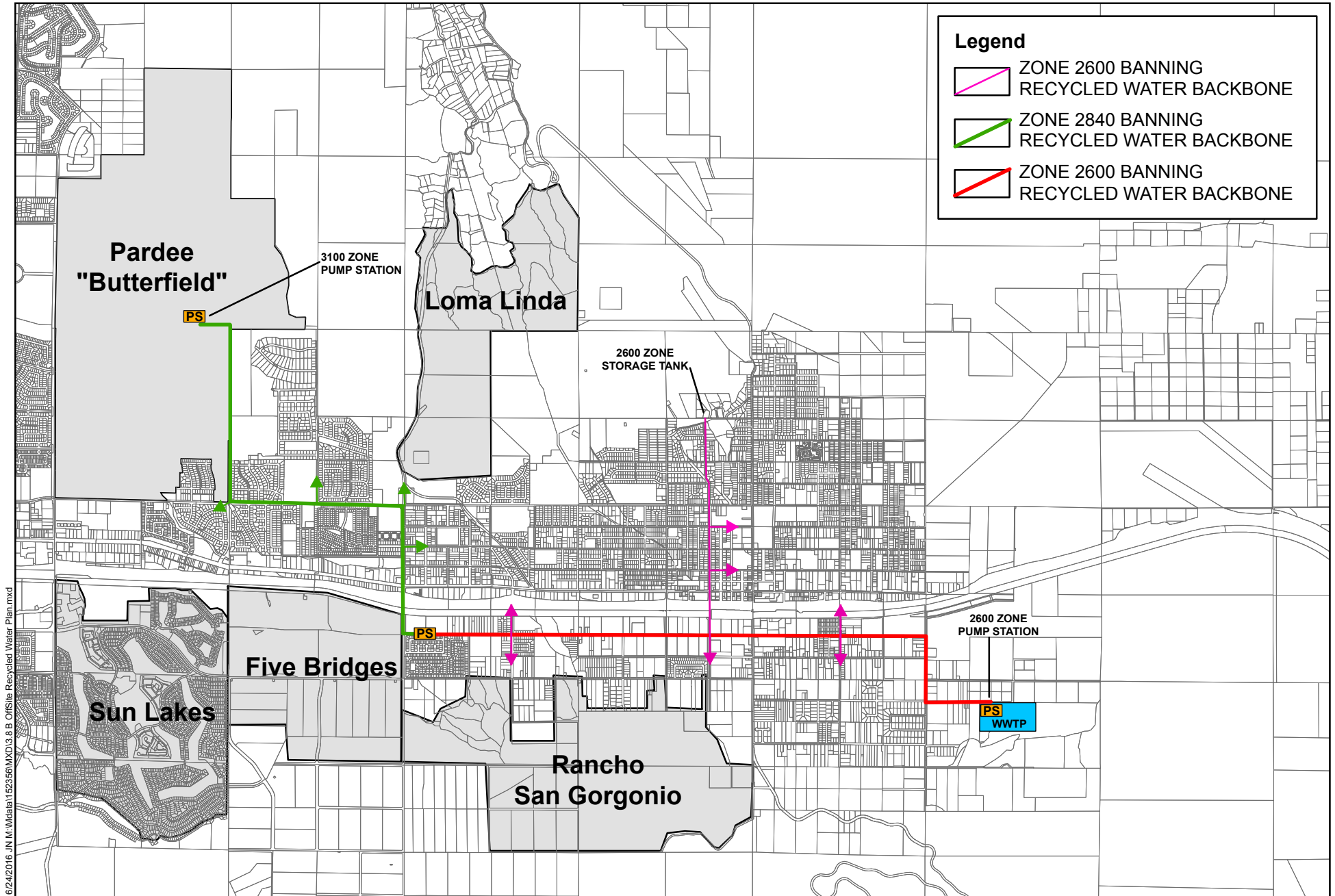
improvements have been proposed to be included as part of the City's capital improvements program.

As a potential alternative option for generating recycled water for the project, the City could elect to have a satellite wastewater treatment plant sited and constructed within the Butterfield Specific Plan area. To accommodate this alternative, the Specific Plan designates an approximately 2 to 5 acres at the southern end of Planning Area 11 for a satellite treatment plant. At this location, the satellite plant could receive wastewater gravity flow from the project, treat the wastewater and pump back recycled water through Butterfield's onsite distribution system. Exhibit 3.8A shows the location of this potential satellite treatment plant on the Butterfield project. The potential satellite plant would be owned and operated by the City of Banning. A recycled water reservoir may be required on site to serve the project, such a reservoir would be allowed in areas approved for development, with a precise location to be determined.

The City could also elect to potentially have existing wastewater flows from existing homes and businesses south of the project and north of the I-10 Freeway and potentially in a limited area to the east be diverted to the proposed satellite plant to provide essential flows necessary to commence its operation and to generate recycled water for irrigation prior to on-site uses in the Butterfield project coming online. Diversion may only be temporary, until such time as development of uses on the Butterfield site would generate sufficient flows on its own for operation. A proposed potential sewer lift station would be located at the corner of Ramsey Street and Omar Street for this alternative. New off-site force main sewers within Omar and Wilson Streets or within Ramsey Street and Highland Home Road would also be potentially be provided to transport diverted wastewater flows to the satellite plant for treatment with this alternative.



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Based on City of Banning 2006 Recycled Water Master Plan by Carollo.

Michael Baker
INTERNATIONAL



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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN
Off-Site Recycled Water Plan

Exhibit 3.8B

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3.5.3 Potential Groundwater Recharge Plan Description

The Butterfield project proposes, as an option, a potential onsite groundwater recharge system, as described below, to provide a potential partial offset to the additional demand for domestic water posed by the development and as replenishment to groundwater supplies.

Butterfield's potential groundwater recharge system would propose to use a portion of the State Water Project (SWP) water allocation made available to the City of Banning by the San Geronio Pass Water Agency (SGPWA), if the City elected to pursue a pipeline connection between the existing SWP pipeline and the Specific Plan site. Storm water runoff if captured and available could be used for groundwater recharge. The City might also elect to pursue use of potential surplus recycled water, if available and when it can be acceptably blended with other available water sources, for groundwater recharge within the Specific Plan. Use of recycled water for groundwater recharge in the Butterfield Specific Plan area would require the approval and permits from the Regional Water Quality Control Board, Santa Ana Region, because it overlies the Beaumont (groundwater basin) Management Zone, as well complying with California Department of Public Health Title 22 regulations. Partial groundwater recharge requirements are further discussed below.

The City if it pursues this option could potentially bring available supply of SWP water for the recharge system by a proposed pipeline extension from the existing termination of the State Water Project pipeline at the existing San Geronio Pass Water Agency spreading grounds on Little San Geronio Creek near Orchard Street. This pipeline extension would proceed eastward near Orchard Street, and cross Oak Glen Road and Noble Creek, turning southward along Noble Street for approximately one-half mile. From Noble Street near the intersection of High Street, the SWP line could follow either of three potential alignments to reach Brookside Avenue near its intersection with Bellflower Avenue. See Exhibit 3.9A, *Potential SWP Water Pipeline Extension*. One option (Alternative A in Exhibit 3.9A) would continue the SWP line southward along Noble Street and eastward along Brookside Avenue. Alternative B represents a Cherry Avenue/Brookside Avenue alignment. Finally, Alternative C documents a potential High Street/Bellflower Avenue alignment. From the Brookside Avenue/ Bellflower Avenue intersection, each alternative would conclude the SWP pipeline extension by continuing easterly along Brookside Avenue to connect with Butterfield's north basin in Planning Area 71. The City of Banning has had plans for this pipeline extension from the existing SWP line termination to the Banning City limits at the Butterfield project site prepared and could move forward with this as a separate city project, subject to additional environmental review and approval.

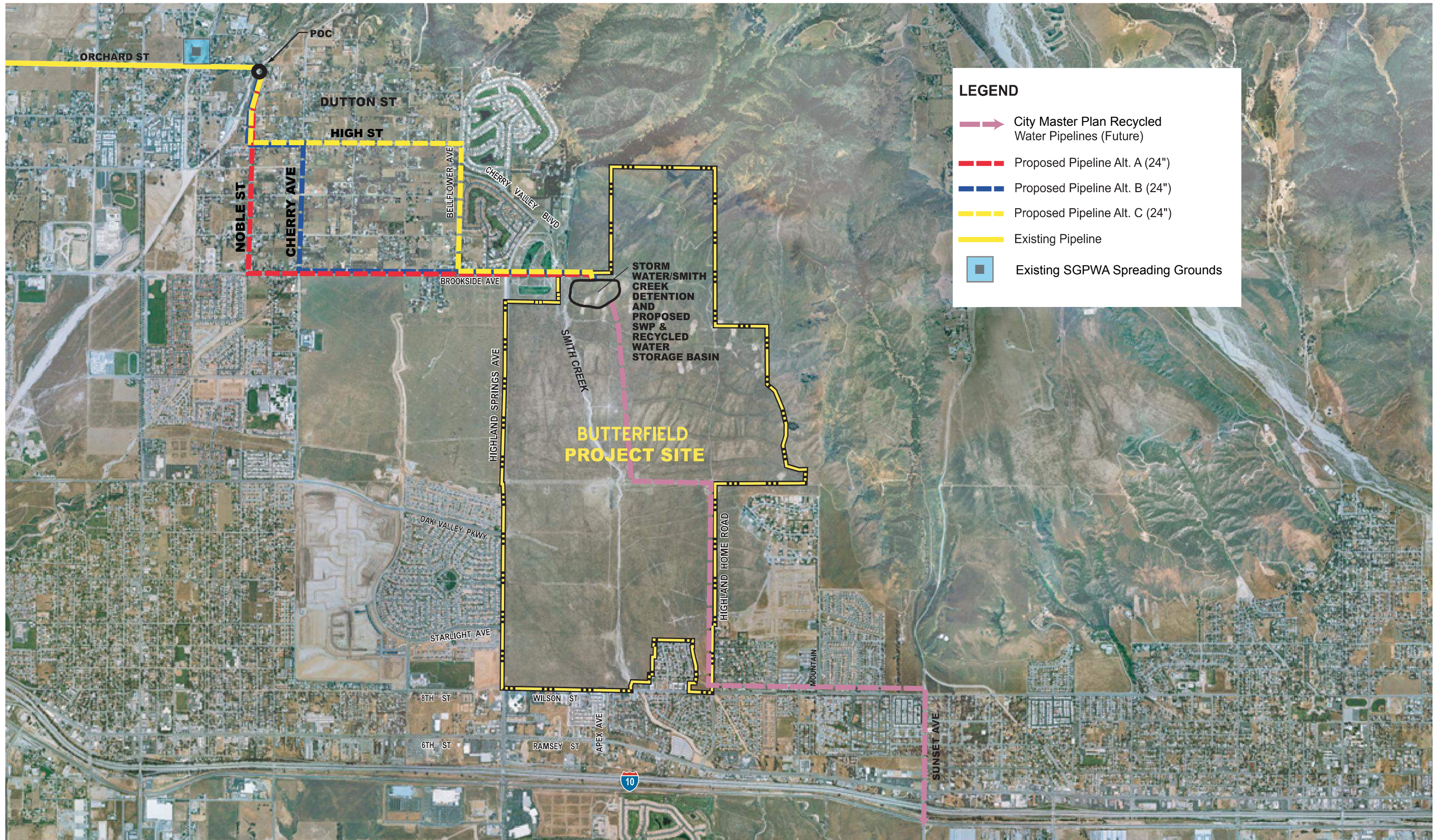
The feed line extension from the SWP proposed pipeline would carry SWP water to Planning Area 71 to be stored in the proposed north basin there. As the SWP's raw water source line feeds into Planning Area 71, a potential SWP turnout facility may provide incidental storage and some degree of treatment. A proposed pipeline system would then be used for distribution of the SWP water to the groundwater recharge infiltration areas within the project. The SWP pipeline extension turnout facility could direct flows as needed to store in PA 71's north basin, or the facility could direct flows straight into the distribution pipeline system as necessary. The Specific Plan's groundwater recharge areas would typically be located within Butterfield's central open space planning areas. See Exhibit 3.9B, *Conceptual Groundwater Recharge Plan*.

The project's onsite groundwater recharge system could provide recharge to the Beaumont Basin. For a detailed discussion of water available for extraction from the Beaumont Basin, please consult the Water Supply Assessment, located in the Appendices to this project's Environmental Impact Report. The City of Banning has currently been recharging SWP water at BCVWD's existing recharge basins under an agreement with BCVWD.

The Water Quality Control Plans designate beneficial uses for each receiving water body and establish water quality objectives to ensure reasonable protection of the beneficial uses. All recharge operations must be conducted in accordance with applicable recharge standards and recycled water reuse standards. All State Water Project water used to recharge the Beaumont Basin must meet the water quality objectives (for the recharge of water) included in the Santa Ana Region, Region 8 Basin Plan. Recharged water must also be blended on a volume-weighted basis with other sources of recharge to ensure water quality levels achieve 5-year running average concentrations less than or equal to the "maximum benefit" objectives for the affected groundwater management zone (Region 8 Basin Plan, at 5-77).

DWR analyzes water quality samples from the SWP for dissolved solids, nutrients, chloride, sulfate, sodium, trace metals, and other constituents. (See Department of Water Resources, SWP Water Data Library.) Chapter 4 of the Region 8 Basin Plan sets water quality objectives for recharge of groundwater to the Beaumont Basin. Recharge of SWP water must meet the Management Zone TDS and Nitrate-nitrogen Water Quality Objectives (Amended by Resolution No. R8-2004-0001, January 22, 2004). Chapter 5 of the Basin Plan, which includes implementation measures, contains controls on salt loadings from all water uses. The plans include measures to improve water supply quality, including the import of high quality water from the State Water Project and recharge projects.

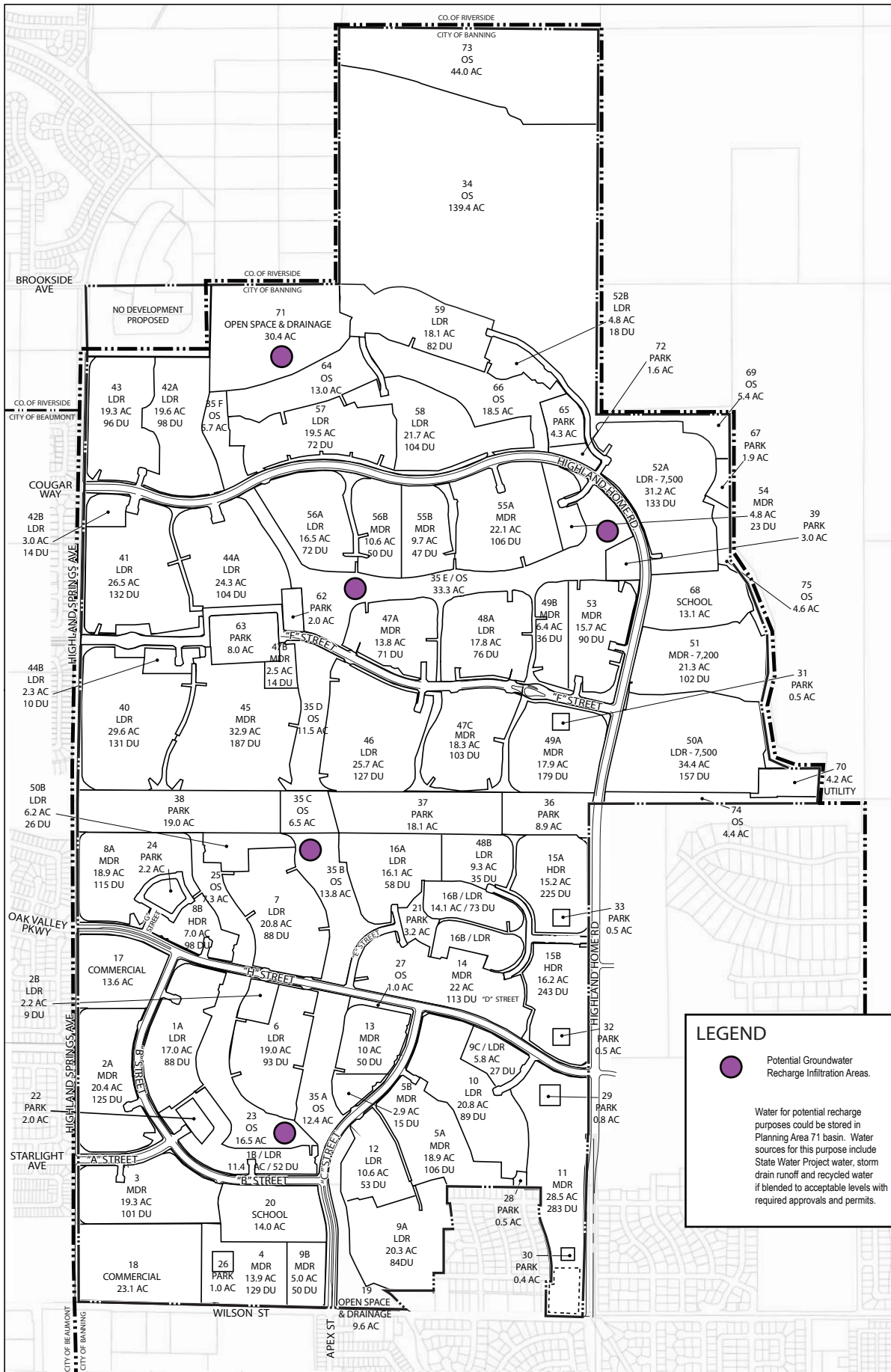
The Region 8 Basin Plan, at 5-18, supports importation of State Water Project water for recharge. It states, "The use of State Water Project water allows maximum reuse of water supplies without aggravating the mineralization problem. It is also used for recharge and replenishment to improve the quality of local water supply sources, which might otherwise be unusable. Thus, the use of high quality State Water Project water in the Region has water supply benefits that extend far beyond the actual quantity imported.



LEGEND

- City Master Plan Recycled Water Pipelines (Future)
- Proposed Pipeline Alt. A (24")
- Proposed Pipeline Alt. B (24")
- Proposed Pipeline Alt. C (24")
- Existing Pipeline
- Existing SGPWA Spreading Grounds

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LEGEND

Potential Groundwater Recharge Infiltration Areas.

Water for potential recharge purposes could be stored in Planning Area 71 basin. Water sources for this purpose include State Water Project water, storm drain runoff and recycled water if blended to acceptable levels with required approvals and permits.

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3.5.4 Sewer Service Plan Description

Butterfield Specific Plan's projected total average wastewater (sewer) flow generation as estimated could be approximately 0.76 million gallons/day at project buildout. This figure assumes a development of 4,862 dwelling units in which PAs 17, 18, 20 and 68 are developed according to their primary development designation, commercial and schools. These wastewater flows would be expected to decrease if ultimately fewer dwelling units are built or active-adult dwelling units were part of the product mix constructed.

The site will be served by the City of Banning's Wastewater Utility Division. The Wastewater Division provides sanitary wastewater services to the City. The City of Banning's Wastewater Treatment Plant is located at 2242 East Charles Street and currently has a secondary treatment capacity of 3.6 million gallons per day and has headworks designed to accommodate a future capacity of 7.8 million gallons per day. Currently (2016 as reported by the City), the wastewater treatment plant's average daily flow is approximately 2.1 million gallons per day. Improvements to the City's main wastewater treatment plant, both to expand treatment capacity by 1.5 mgd as well as to upgrade to tertiary treatment of wastewater, are planned by the City. These plant improvements have been designed by the City and are part of their capital improvement programming. The City has completed plans for an upgrade (Phase I Upgrade) of the main Wastewater Treatment Plant (WWTP). The upgrade would provide treatment of up to 1.5 mgd of wastewater to tertiary standards, which would allow for the production of approximately 1,680 acre-ft/yr of recycled water. Environmental review (CEQA compliance) has been completed on the City's Phase I project. The City of Banning's November 2006 *Sewer System Study* prepared by Carollo Engineers indicates future expansion of the Wastewater Treatment Plant to 5.0 mgd of capacity.

Exhibit 3.10A, *Conceptual On-site Sewer Plan*, depicts on-site backbone sewer transmission lines. Exhibit 3.10A does not show every potential segment of sewer pipeline service for the Butterfield project. Extensions of sewer lines throughout the major portions of the Butterfield site as well as within individual planning areas will occur to capture and distribute gravity flows of wastewater most effectively towards the project's southeastern corner. Some low points in the system will have to cross between lots or the open space areas to provide connections to other gravity flow points in the onsite system.

The infrastructure required for wastewater collection in the Specific Plan area includes new off-site transmission pipelines for connection to the existing main treatment plant as one option. To provide sewer service to the Butterfield Specific Plan area from the main treatment plant, wastewater trunk lines would need to be extended from Highland Home Road/Wilson Street intersection eastward along Wilson Street, south on Omar Street, and eastward on Ramsey Street to Sunset Avenue.

From Sunset Avenue, at least two different alignments for the connecting wastewater trunk line could be pursued. One option would require the project proponent to extend the wastewater line down Sunset Avenue to the vicinity of Bobcat Road, where the proposed Five Bridges and Rancho San Gorgonio developments would potentially complete the line extension in Bobcat Road eastward to existing pipelines at South San Gorgonio Avenue, pursuant to the City of Banning's November 2006 *Sewer System Study*. The completion of this sewer transmission main by the aforementioned developments would have to happen prior to or concurrent with the Butterfield project. If the Butterfield Specific Plan is first to be developed, the project could be obligated to

complete this entire alignment. See Exhibit 3.10B, *Off-site Sewer Plan*. The project proponent would pay a fair share contribution towards construction or would construct the entire offsite improvement in return for cost reimbursement or project fee credits.

Five Bridges and BDS developments may not proceed in advance of or concurrently with the Butterfield project. In that case, as another option for an off-site wastewater trunk line extension to the City's main treatment plant, the connection to the wastewater treatment plant could proceed eastward on Lincoln Street and southward on South San Geronio Avenue. This option would provide a fairly direct, efficient route to serve the Butterfield Specific Plan area, but the resulting pipeline extension would not be able to serve the Five Bridges and BDS Developments. The City of Banning would make a determination on which option is preferred.

As a potential alternative option for providing wastewater treatment to the Butterfield project, the City could elect to have a satellite wastewater treatment plant sited and constructed within the Specific Plan area. To accommodate this alternative, the Specific Plan designates an approximately 2 to 5 acres at the southern end of Planning Area 11 in the Specific Plan for a satellite treatment plant. At this location, the satellite plant could receive wastewater gravity flows from the project, treat them to required levels and pump back recycled water into the project's recycled water system (see Section 3.5.2 above). This would not require the extension of wastewater or recycled water pipelines to or from the City's main treatment plan to serve the project. The potential satellite plant would be owned and operated by the City of Banning.

The potential plant would use a membrane bioreactor (MMR) process to treat up to approximately 1.5 to 2.0 million gallons per day on average of wastewater to acceptable recycled water levels. All aspects of the treatment operation would take place in fully enclosed buildings. There would not be any outside ponds or storage facilities. All wastewater not turned into recycled water would be diverted into a proposed off-site sewer that will take these flows to existing city sewers at Ramsey and Omar Streets (see Exhibit 3.10B) where it would flow to the City's main wastewater treatment plant at the southeast end of the City. All buildings on the Project satellite treatment plant site would be fully enclosed, constructed of decorative masonry with residential in appearance roofs. The site would be enclosed by a decorative masonry wall a minimum 6-ft in height with landscaping for screening purposes on the outside perimeter of the wall. All operations and maintenance vehicle parking would be located inside the walled area.

The City could also elect to potentially have existing wastewater flows from existing homes and businesses south of the project and north of the I-10 Freeway and potentially in a limited area to the east be diverted to the plant to provide essential flows necessary to commence its operation and to generate recycled water for irrigation prior to on-site uses in the Butterfield project coming online. Diversion may only be temporary, until such time as development of uses on the Butterfield site would generate sufficient flows on its own for operation. A proposed potential sewer lift station would be located at the corner of Ramsey Street and Omar Street for this alternative. New off-site force main sewers within Omar and Wilson Streets or within Ramsey Street and Highland Home Road would also be provided to transport diverted wastewater flows to the satellite plant for treatment. (Refer to Exhibit 3.10B).

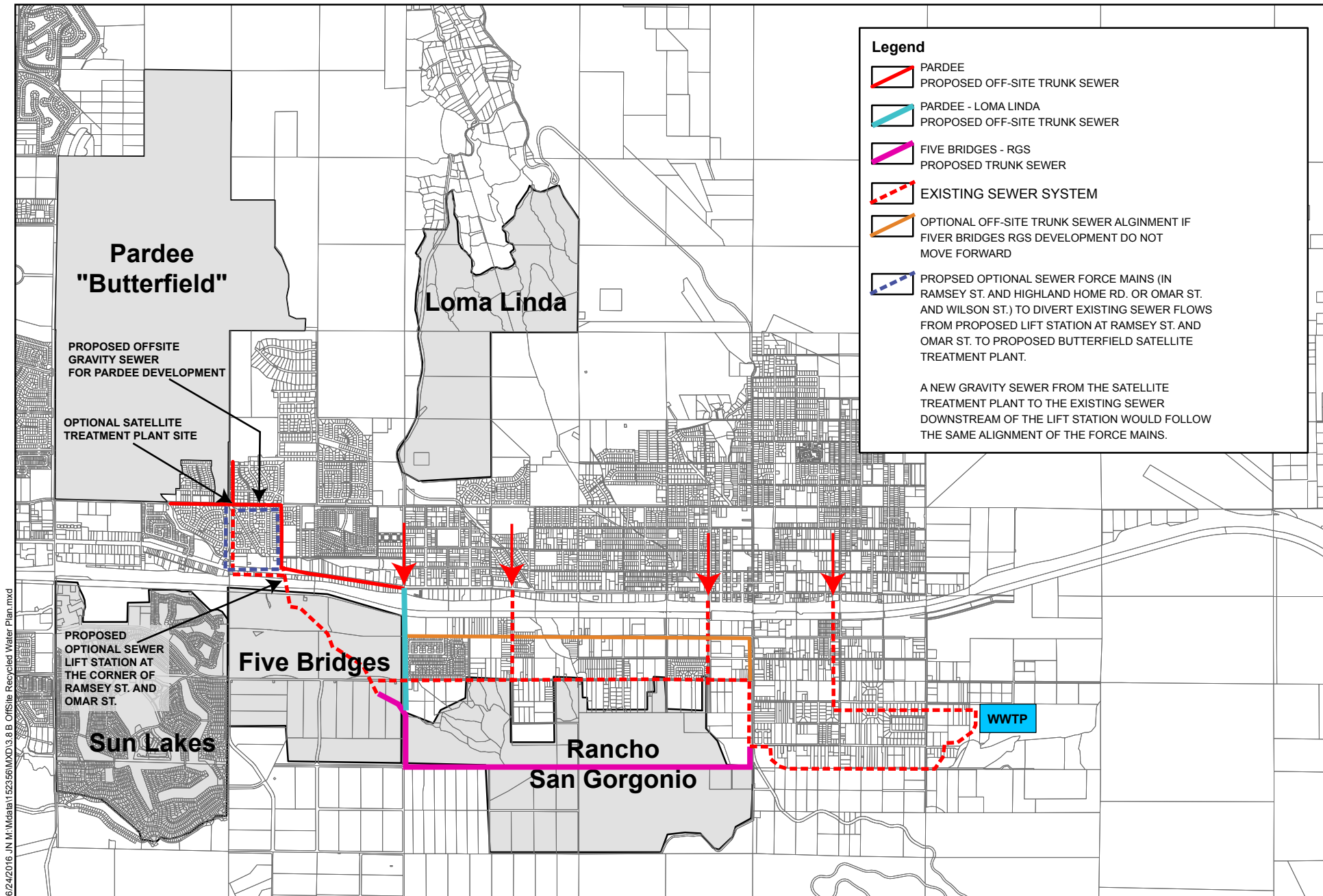
3.5.5 Water and Sewer Standards

1. All water and sewer lines shall be placed underground.
2. Design and installation of water and sewer disposal facilities shall be in accordance with the requirements and specifications of the State Department of Health Services, Riverside County Environmental Health, and the City of Banning.
3. An assessment district or other similar financing mechanism may be developed to manage the development of required infrastructure.
4. Recycled water will be used for irrigation within project parks, common open space areas as it is available from the City.
5. Above ground water tanks/reservoirs shall be buffered from view and nearby residences by berms and/or landscaping. The tanks will be finished with a colored, matte finish intended to allow the tanks to blend into the surrounding hillsides and environment. Access to the tanks will be provided by easements extending from local roads.
6. In addition to potable water infrastructure, the City requires a recycled water system for irrigation purposes. Recycled (non-potable) water lines will follow the same alignments as those for potable water as appropriate.
7. The potential optional onsite satellite wastewater treatment plant site alternative shall be adequately screened on all sides using an appropriate combination of landscape screening and decorative masonry walls. All treatment processes would be contained within an enclosed structure(s) that incorporates residential design features, including roofing materials. The storage reservoir on the treatment plant site would not exceed 26 feet in height and would have a matte, earth-tone exterior finish to allow the reservoir to blend in more into the surrounding neighborhood. All other structures on the site shall not exceed 35 feet in height, similar to the maximum height allowed for residential structures. The City Public Works Director and Community Development Director shall approve all final plans.
8. The potential optional offsite sewer lift station site alternative shall be adequately screened on all sides using an appropriate combination of landscape screening and decorative masonry walls. The City Public Works Director and Community Development Director shall approve all final plans.
9. All residential development, through covenants, conditions, and restrictions, will be required to comply with the City's water conservation measures by applying the xeriscape principles set forth in Banning Municipal Code section 13.16.030 (Water Conservation Using Xeriscape Principles).
10. Development in the Specific Plan will fund or construct all Project-related infrastructure and facilities required to allow the Project's use of non-potable water supplies when the City of Banning makes non-potable water available to the Project.
11. Issuance of building permits for any portion or phase of the Project within the Butterfield Specific Plan shall be contingent upon the availability of non-potable water supplies to serve any non-potable demands within the City in an amount greater than

or equal to the non-potable demands of the portion of the Project for which building permits are requested.

12. Development within the Specific Plan will include ultra-low flow toilets at 1.28 gallons per flush throughout the Project.

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6/24/2016 JN M:\data\152356\MD\13.8 B OffSite Recycled Water Plan.mxd

Based on City of Banning's 2006 Sewer System Study by Carollo.

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Michael Baker
INTERNATIONAL



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2/14/17 JN 152356

Off-Site Sewer Plan

Exhibit 3.10B

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3.6 RECREATION AND OPEN SPACE

This section of the Specific Plan summarizes the recreational assets and opportunities that will be available to Butterfield residents with development of the Specific Plan. Butterfield Specific Plan's community character echoes the active lifestyle represented in its design elements and the natural beauty of the site's surrounding foothills. This environment promises a variety of recreational opportunities, which the Butterfield project will provide.

Recreation is a key lifestyle and design component of the Butterfield Specific Plan. The outdoor lifestyle is an important design concept, one that is supported by residential plan types, the proposed parks and pedestrian linkages between Butterfield's neighborhoods and by the community's immediate adjacency to the San Bernardino National Forest. This location provides the ideal context for an active outdoor lifestyle and opportunities for residents to enjoy access to trails and close-up mountain views as their backdrop.

The Butterfield Specific Plan incorporates a functional system of recreational land uses that reinforce the area-wide recreation plans of the City of Banning. The basic project-wide components of the proposed Recreation Plan are the proposed central open space, neighborhood parks, neighborhood recreation parks, community parks, natural and landscaped open space, and the basin/lake area in the north part of the project.

3.6.1 Parks Description

Nineteen (19) park planning areas are proposed within the Butterfield Specific Plan area. These parks are carefully placed within the Butterfield Specific Plan area to serve various residential neighborhood groups. They are tailored to serve the needs of these neighborhoods, and the community at large. The parks within the project site range in size from 0.4 acres to 19 acres in area. Mid-sized parks of approximately 3-8 acres for residents of the project will be located on Planning Areas 21 and 63. These mid-sized parks are designated as neighborhood recreation parks and could provide specialized facilities such as community swimming pools, buildings for meetings or community functions, restroom facilities, and on-site parking. In addition, if the northwestern portion of the Specific Plan site was used for active-adult use, Planning Area 63 could serve the surrounding residential neighborhood and this specific age group with a community recreation center. Parks and recreation facilities locations are presented in Exhibit 3.11, *Recreation and Open Space Plan*. For a summary of parks and recreation facilities, please refer to Table 3-3, *Recreation and Open Space Plan Summary*. The location of the proposed neighborhood parks can be adjusted and remain in substantial conformance with the intent of this Specific Plan.

**Table 3-3
Recreation and Open Space Plan Summary**

Planning Area	Land Use	Acres	Open Space %
Parks			
21	Neighborhood Recreation Park	3.2	
63	Neighborhood Recreation Park	8.0	
	Subtotal	11.2	2.3%
36	Community Park	8.9	
37	Community Park	18.1	
38	Community Park	19.0	
39	Community Park/Center	3.0	
	Subtotal	49.0	9.9%
22	Neighborhood Park	2.0	
24	Neighborhood Park	2.2	
26	Neighborhood Park	1.0	
28	Neighborhood Park	0.5	
29	Neighborhood Park	0.8	
30	Neighborhood Park	0.4	
31	Neighborhood Park	0.5	
32	Neighborhood Park	0.5	
33	Neighborhood Park	0.5	
62	Neighborhood Park	2.0	
65	Neighborhood Park	4.3	
67	Neighborhood Park	1.9	
72	Neighborhood Park	1.6	
	Subtotal	18.2	3.7%
	PARKS Subtotal	78.4	15.8%
Central Open Space/Drainage			
23	Central Open Space/Drainage	16.5	
25	Central Open Space/Drainage	7.3	
27	Central Open Space/Drainage	1.0	
35A-F	Central Open Space/Drainage	83.2	
64	Central Open Space/Drainage	13.0	
66	Central Open Space/Drainage	18.5	
	Subtotal	139.5	28.1%
Natural/Landscape/Easement			
34	Northerly Open Space	139.4	
69	Open Space/Fuel Mod	5.4	
73	Northerly Open Space	44.0	
74	Landscape Easement	4.4	
75	Open Space/Fuel Mod	4.6	
	Other Landscape Open Space	40.0	
	Subtotal	238.6	48.1%
Drainage			
19	South Channel	9.6	
71	North Basin	30.4	
	Subtotal	40.0	8.1%
	PARKS AND OPEN SPACE Total	496.5	100.0%

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3.6.1.1 NEIGHBORHOOD PARKS

Planning Areas 22, 24, 26, 28, 29, 30, 31, 32, 33, 62, 65, 67 and 72 are neighborhood park sites, which will serve residential neighborhoods. These parks are expected to include in various combinations: tot lots with play equipment, play areas, sport courts, shade structures, picnic areas, passive turf play areas, sandboxes, benches and basic related amenities. On the northeastern edge of the project site, Planning Area 67 will contain passive or active park space and could serve as a connection point for wilderness trails. Facilities vary depending on the location, surrounding uses and function of the park. *Typical Neighborhood Park Concepts*, in Section 4.0, *Development Design Guidelines*, Exhibits 4.8A, 4.8B, 4.8C and 4.8D present concepts typical of how neighborhood parks could be implemented. Park Planning Area 26 could be eliminated if the surrounding planning areas are developed as the commercial alternative land use as described in Section 3.1.1. A potential 1.6 acre fire station site is proposed on Planning Area 72 off of the proposed extension of Highland Home Road if the City determines it is needed, and that this location is appropriate, otherwise the site is designated for park use.

3.6.1.2 NEIGHBORHOOD RECREATION PARKS

Two neighborhood recreation parks are proposed within Planning Areas 21 and 63, on sites of 3.2 and 8.0 acres respectively. They are intended to serve the active and passive recreation needs of nearby residents, serving as a social focus of the neighborhood. These parks will be located within reasonable walking and bicycling distance of Butterfield residents. The proposed neighborhood parks potentially could include features such as half-size basketball courts, volleyball courts, tennis courts, swimming pools, turf play areas, buildings for meeting areas, and other basic related amenities. Restrooms or off-street parking could also be made available. The PA 63 park site would be designed to meet the needs of an active adult community if the immediate surrounding area develops as such a community (see Age-Restricted Active Adult Residential Alternative in Section 3.1.1.1). The neighborhood recreation parks will be located on collector roads to facilitate convenient access. In Section 4.0, Exhibit 4.8E *Neighborhood Recreation Park Concepts*, presents a concept typical of how neighborhood recreation parks will be implemented.

3.6.1.3 COMMUNITY PARKS

Larger park sites ranging from 3-19 acres in area are proposed in portions of the existing approximately 430-foot-wide SCE easement, including Planning Areas 36, 37 and 38. This property is owned by Pardee Homes and the existing SCE easement does not prohibit park use. The community parks will include uses that can be accommodated without constructing buildings, structures or facilities that would conflict with SCE's use of the easement. The uses proposed within these community parks may include ball fields, sports courts, open play or "tot" lots, parking areas, picnic and barbeque areas, and access or exercise trails (parcourse). Plantings could be concentrated along trails and around utility towers. In addition to the uses listed in Section 3.6.1.3 for Community Parks, additional options could include a BMX park, skate park, disc golf, pitch and putt, or even dog parks. Other community agricultural uses could be options. Please see Section 5.6, *Development Regulations-Active Open Space*, of the Specific Plan for further details.

The design intent of a community park is to serve a wider population and area than the neighborhood parks. In Section 4.0, Exhibit 4.8F, *Community Park Concept*, presents a concept typical of how community easement parks could be implemented.

The Butterfield Project Development Agreement calls for the development of a site within the project for a public Community Recreation Center and proposes that PA 39 could be the site for such a center. The 3 acre Planning Area 39 site is reserved as a community park site in the Specific Plan and can be used as site for a community recreation center for the City of Banning if the City determines this is appropriate. Other areas in the Specific Plan that allow for development may also be used for the proposed community recreation center site, including the south end of PA 11 as indicated in the Development Agreement.

3.6.2 OPEN SPACE

Open space within the Butterfield Specific Plan, in addition to the central open space and parks, includes natural areas, landscaped areas, easements and drainage open spaces. The intent of these areas is to provide improvements to allow for walking, hiking, biking and jogging, as well as visual open space.

The far northern part of the Specific Plan area (Planning Areas 34 and 73) is designated natural open space area due to the steeper terrain and the existence of potential fault hazard areas. A vista point connected to residential areas to the south by a looping trail system could be included at the south edge of PA 34. Other open space areas will provide in part fuel modification setbacks (PAs 69 and 75) or for natural or native plant-revegetation and the inclusion of walking paths (PAs 19, 74).

A large multi-purpose basin is proposed at PA 71, where Smith Creek enters the site. This basin will be designed to detain upstream drainage flows and potential water storage for irrigation and other needs, as well as serve as a passive recreational potentially for viewing, walking around, or picnicking. An approximate gross total of 496.5 acres (33% of the Specific Plan area) is designated as open space, including the central open space and park areas. In Section 4.0, Exhibit 4.8G, *Typical Trail Head at Open Space Edge*, depicts in plan view and section how a typical trailhead might be implemented. Also in Section 4, Exhibits 4.8H and 4.8I, *South Channel and Northern Basin Concept Plans*, provide potential concepts for incorporating recreational areas within PAs 19 and 71.

There is approximately 40 acres of additional designated open space proposed to be devoted to landscaped greenbelts and parkways spread throughout the residential planning areas that is not identified by a specific planning area number. The proposed locations of these additional areas are identified on Exhibit 3.11.

In addition, the Butterfield project intends to incorporate joint-use of the two school's recreational facilities (PAs 20 and 68) into its recreation plan. Contained within these sites are expected facilities such as ball fields, and playgrounds.

3.6.3 Central Open Space

The Butterfield Specific Plan proposes 139.5 acres of open space (PAs 23, 25, 27, 35A-F, 64 & 66) that is located throughout the central portions of the Specific Plan area. The central open space areas are designed to take both physical and aesthetic advantages of the site terrain with the re-alignment of Smith Creek that will convey drainage via basins, natural appearing drainage ways, small culverts and unique design of landscaped areas woven throughout the project which provide a mixture of landscape themes and trail amenities as an integral part of the Butterfield Specific Plan community. The central open space, in addition to accommodating Smith Creek area drainage, flood control and landscaped project amenities, will also incorporate a potential fault hazard located in northern portions (PAs 64 & 66) of the central open space area.

Exhibits 3.12A & B, *Central Open Space Typical Concept Plan – South & North*, and Exhibits 3.13A & B, *Central Open Space Example Features*, provide typical concept illustrations of the Central Open Space's potential implementation. This open space will include active and passive recreational uses, such as walking or biking trails, turnouts for exercise, viewing and educational facilities, parks and native type vegetation landscaping all linkable to the project's residential tracts and providing public access. See Exhibit 3.4, *Backbone Non-Vehicular Circulation Plan*, for a complete depiction of all backbone trails, pathways, sidewalks and bike lanes proposed within the project.

3.6.4 Park Requirements

The Butterfield Specific Plan proposes dedication and development of approximately 496.5 acres of open space to provide active, semi-active and passive uses for various levels of recreational activities and landscaping for residents and visitors of the project area.

The City of Banning's General Plan requires that residential developers provide a minimum of 5.0 net acres of usable local park area for each prospective 1,000 residents.¹ Furthermore, the City currently uses a factor of 2.7 persons per average dwelling unit.² Based on these assumptions and using the proposed maximum number of dwelling units allowed in the Butterfield project area, the project could be required to provide a minimum of 66 acres of park area.

4,862 DU's x 2.7 persons/household = 13,128 ÷ 1,000 = 13.13 x 5 acres = 66 acres
All proposed recreational and park facilities are subject to review and acceptance by the City for credit towards City park requirements for new development, as addressed in the Project Development Agreement, as amended.

3.6.5 Recreation and Open Space Development Standards

1. Credit against park facility fees shall be granted by the City for all public park land and improvements provided by the developer. These fees shall be paid or facilities provided in lieu of fees for each dwelling unit constructed within the Specific Plan.

¹ Source: City of Banning General Plan, p. III-95. January, 2006.

² Source: City of Banning Draft Housing Element (Update) of the General Plan, Table III-33, PG. III-12.5, December 2008.

2. In order to discharge maintenance responsibilities for the parks, trails, and open space areas within the Butterfield Specific Plan pursuant to Section 3.7.3 of this Specific Plan, maintenance services, private parks and open spaces shall be provided through a Homeowner's Association to be established that will contract with a qualified maintenance services provider.
3. The Butterfield development shall comply with City of Banning Parks and Recreation Master Plan and other related regulations and ordinances regarding local parks facilities. An amended Development Agreement with the City shall establish the fees to be paid and developed park lands to be dedicated in lieu of fees within the Specific Plan.
4. Landscaping of parks and open space areas within Butterfield shall comply with the general standards of Section 4.0, *Development Design Guidelines*, and Section 5.0, *Development Regulations*, of this Butterfield Specific Plan document.
5. A public city community center is permitted or conditionally permitted use in all Specific Plan planning areas with the exception of PA's 19, 34, 35C, 36, 37, 38, 64, 65, 66, 69, 71, 73, 74 and 75 pursuant to the regulations set forth in Section 5.0 of this Specific Plan. The provision and development of a city public community center in this Specific Plan is also subject to the provisions of the project Development Agreement, as amended. See the Butterfield Specific Plan Conditions of Approval and Development Agreement for additional requirements concerning the Community Center.
6. No permanent structures shall be permitted within the Southern California Edison (SCE) transmission line easements within the Specific Plan area. The SCE easements are also not appropriate areas for groundwater recharge facilities, storm water retention facilities, or as environmental mitigation areas.
7. Subsequent more detailed development plans when prepared and involving areas in and immediately adjacent to the SCE easements within the Specific Plan area shall be reviewed by SCE as part of the review process with the City.



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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Central Open Space Typical Concept Plan – North

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SEATING AREAS ALONG TRAIL



PAR COURSE STATIONS



RECREATIONAL TRAILS

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SMALL GABION DROP STRUCTURE



LARGE DROP STRUCTURE FEATURE



STORM EVENT ENERGY DISSIPATION

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3.7 PUBLIC SERVICES AND PROJECT PHASING PLAN

3.7.1 Public Services and Utilities

Various public and municipal services and utilities will be associated with the development of the planning areas composing the Butterfield Specific Plan area. Below are descriptions of these services and utilities.

Fire Protection Services. Fire protection services are provided to the City through a contractual agreement with the Riverside County Fire Department, which in turn contracts with the California Department of Forestry. The contract provides various fire related services, including emergency medical services, fire prevention, disaster preparedness, fire safety inspections, hazardous materials business plan programs and plan reviews. A potential 1.6 acre fire station site has been proposed at PA 72 in the Specific Plan area and will be reserved for that use if the City determines that an additional station is needed and this location is appropriate. PA 72 would be located on the northerly extension of Highland Home Road and would have easy access to Highland Springs Avenue to the west and access to the south on Highland Home Road. Provision of a fire station site in the project area is covered in the Development Agreement (Section 8.4 of the DA). A fire station site is designated as a permitted use in other planning areas of the Specific Plan. See Section 5.0 for fire Station listings as a permitted use in other planning areas.

Law Enforcement Services. Policy protection services within City limits are provided by the Banning Police Department. The City has historically maintained a goal of 1.8 police officers per 1,000 residents. Currently, the City maintains a ratio of 1.4 sworn officers for every 1,000 residents. The Riverside County Sheriff's Department provides police protection services to the City's Sphere of Influence and Planning area.

School Services. The majority of the site is in the Beaumont Unified School District (Beaumont USD), a kindergarten through 12th grade public education district. The Beaumont USD has built two new elementary schools just east of Highland Springs Avenue in the Sundance development. One additional elementary school sites and a middle school site have also been set aside and reserved in the Sundance development. The portion of the Butterfield Specific Plan area east of the northerly extension of Highland Home Road is in the Banning Unified School District.

The Banning Unified School District (Banning USD) provides kindergarten through 12th grade public education services to most of the City of Banning. In 2004, Banning USD schools enrolled an average of 4,700 students in eight schools and an independent study home schooling program. There are four elementary schools, two middle schools, one high school, and one continuation school in the District. The District has been averaging an approximately 5 percent annual growth rate in enrollment, and has maintained a student-teacher ratio of 20-1 in Kindergarten through 3rd grade levels. All of the District's schools are operating at or beyond capacity, and many use temporary, portable buildings for additional classroom space.

A school site for Beaumont USD is proposed within Planning Area 20 of the Butterfield Specific Plan. A school site for Banning USD is proposed within Planning Area 68. Additional school sites are permitted in the Specific Plan area pursuant to State and District location requirements and shall be designated if requested by the School Districts.

Library Services. The main 9,573 square-foot Banning Public Library, located at 21 W. Nicolet Street, together with its 1,300 sq. ft. Cabazon branch, own approximately 76,000 volumes of books. The library participates in the Inland Library System, an eighteen member cooperative of independent public libraries in Riverside, San Bernardino and Inyo Counties. The library provides internet access, ESL and adult literary classes, and a range of children's services and materials. The main branch has an extensive collection of historical documents and photographs.

Health Services. San Gorgonio Memorial Hospital, located at 600 North Highland Springs Avenue, provides medical services to the City of Banning. The 85,000 sq. ft. hospital, which opened in 1951, is licensed for 70 beds. The hospital started as a state district hospital, funded by a percentage of property tax from local residents within the hospital district. It is one of the only four non-profit hospitals in Riverside County. It provides general medical-surgical case, intensive care, emergency care, obstetrics, in and outpatient surgery, and a range of ambulatory services including physical therapy and cardiac rehabilitation. Staffing includes the only round-the-clock board certified emergency physicians in the Banning area. The single-story hospital acute care facilities currently meet State-mandated hospital seismic safety requirements.

The hospital in 2004 opened a 1,500 sq. ft. state-of-the-art Women's Center that provides birthing, diagnostic, surgical and preventative medicine services. The hospital has also launched a \$6 million capital campaign to fund expansion of the Intensive Care Unit (ICU). The expanded ICU is expected to be operational within three years.

Waste Disposal. The waste hauler currently serving the City of Banning is Waste Management of the Inland Empire through a contract with the City of Banning. Waste Management of the Inland Empire will collect and transport the waste from the project to a County landfill. The Lamb Canyon Landfill is located between the City of Beaumont and City of San Jacinto at 16411 Lamb Canyon Road (State Route 79), south of Interstate 10 and north of Highway 74. The landfill is owned and operated by Riverside County. The landfill encompasses approximately 1,088 acres, of which 144.6 acres are permitted for waste disposal. The landfill is currently permitted to receive 3,000 tons of refuse per day and has a remaining disposal capacity of approximately 13.330 million tons, as of November 6, 2002. As of January 1, 2006, the landfill had a total remaining capacity of 12.338 million tons. The current landfill remaining disposal capacity is estimated to last, at a minimum, until approximately 2016. Landfill expansion potential exists at the Lamb Canyon Landfill site. Development within the Specific Plan must comply with City requirements for recycling waste.

Water Service. The City of Banning Water Utility Department provides domestic water services to the City. The various storage units of the San Gorgonio Pass groundwater basins serve as the main water source for the City of Banning. The City owns and operates wells, reservoirs, and a distribution line system to deliver domestic water in the service area. The City of Banning also has plans to upgrade their treatment at their wastewater treatment plant in order to provide recycled water for irrigation purposes. See Section 3.5 of the Specific Plan for a further discussion on water services.

Sewer Service. Sanitary wastewater (sewer) services are provided by the City of Banning Wastewater Utility. The City contracts with United Waters Services for the operation and maintenance of the water reclamation plant. The plant receives an average flow of approximately 2.5 million gallons-per-day. The plant has secondary

treatment capacity design to 3.6 million gallons-per-day, including the plant headworks, which could accommodate future capacity to approximately 7.8 million gallons-per-day.

Collected wastewater is transported by sewer main lines of 8, 10, 15, and 18 inches in diameter, which are connected to trunk lines. The trunk lines, ranging from 18 to 30 inches in diameter, convey wastewater to the plant. Trunk lines are located within the City major public right-of-ways. See Section 3.5, *Water, Recycled Water and Sewer Services Plan*, of the Specific Plan for a further discussion of wastewater services.

Sewer services are provided to the City and also to the unincorporated Riverside County lands surrounding the southeastern portion of the City of Banning.

Electricity. The City of Banning Electric Utility Department provides electric services and facilities to the City. SCE maintains two easements totaling 430-feet in width running east/west through the middle of the project site, which contains up to 220kV power utility lines and towers. The City of Banning Electric Utility Department procures the majority of its electricity through contracts with the Southern California Public Power Authority. The Department has a combined total of 26 megawatts of capacity, which covers the bulk of its power requirements.

The Butterfield Specific Plan set aside Planning Area 70 on the east side of the project area as a 4.2 acre electrical substation site for use by the City of Banning's Electrical Utility Department. The substation site is located immediately north of the existing Edison transmission lines (easement), which allows the City to pull power from these lines and distribute to the Butterfield Specific Plan and other parts of the City. Electrical lines serving the Specific Plan area, including lines coming from the substation to serve the Specific Plan area, shall be placed underground, when feasible as required by the City.

Natural Gas. Natural gas services and facilities are applied to the City by the Southern California Gas Company. Natural gas supplies originate from out of state, imported from Texas, and transported by two major east-west trending gas lines, including a line across the Butterfield Specific Plan site.

Telephone. The project area is within the service area of Verizon. Verizon maintains telephone service to the north, south and west of the Butterfield Specific Plan area. No service is currently provided to the site in its current undeveloped condition.

Cable. Time Warner Cable serves the project area for cable television services.

3.7.2 Project Phasing

Four main specific plan phases of the Butterfield project have been identified in Exhibit 3.14, *Conceptual Phasing Plan*, including with potential sub-phases. Each phase is anticipated to correspond to a potential stage of development within the Specific Plan area. Construction of the Butterfield Specific Plan in its entirety is expected to occur over a thirty year period, with potentially 180 dwelling units on average to be developed per year. The numbering of the major phases do not necessarily indicate the order of their development. The sequences in which each major part will be developed is influenced by market conditions, as well as when appropriate levels of infrastructure and required improvements related to the project are provided. Individual stages of development may overlap or occur concurrently. A detailed summary of the components

of each major specific plan project area phase is provided in Table 3-4, and is depicted graphically in Exhibit 3.14. Section 6 of the Butterfield Project Development Agreement further address project phasing and includes project phasing provisions based on the cumulative residential unit development.

Project Phase IA

Project Phase IA consists of potential subparts for the purpose of sequencing project improvements or of further staging development. Within Project Phase I, a portion of the Specific Plan site will be graded, including necessary drainage and flood control improvements and planning areas within the southwestern corner of the Specific Plan will be developed. These planning areas include PAs 1A, 1B, 2A, 3, 4, 9B 19, 20, 22, 23 and 26. Drainage improvements within PA 19 will be built to safely transmit accumulated upstream- and project-originated drainage flows to the existing Smith Creek Channel south of Butterfield Specific Plan and south of Wilson Street.

Those project entry roadways extending into the Specific Plan area from Highland Springs Avenue and Wilson Street will be constructed as will “B” Street proposed within the project. Project adjacent portions of Highland Springs Avenue (south of Oak Valley Parkway) and Wilson Street west of “C” Street will be improved. The PA 20 proposed school site will be graded with fronting streets improved and utility subs provided.

Project Phase IB

Within Project Phase IB, the planning areas north of Phase IA and south of the SCE easement will be developed. These planning areas include PAs 2B, 5B, 6, 7, 8A, 8B, 13, 24, 25, 35A, 35B and 50B.

The initial segment of the proposed easterly extension of Oak Valley parkway from Highland Springs Avenue will be constructed as needed with this phase. The Smith Creek channel will be realigned and improved in PAs 35A and 35B in a semi-natural appearance.

Project Phase IIA

Project Phase IIA is proposed to include the development of planning areas in the south east corner of the Specific Plan. These planning areas include PAs 5A, 9A, 9C, 10, 11, 12, 28, 29, and 30.

The easterly portion of the proposed extension of Oak Valley Parkway, connecting to Highland Home Road, is proposed to be completed in this phase. In addition, the southerly portion of Highland Home Road adjacent to the project boundary is proposed to be improved north of Wilson Street.

Project Phase IIB

Project Phase IIB is proposed to include the development of planning areas north of Phase III and south of the SCE easement. These planning areas include PAs 14, 15A, 15B, 16A, 16B, 21, 32, 33 and 49B. The southerly portion of Highland Home Road adjacent to this Phase is proposed to be improved.

Table 3-4
2017 Butterfield Specific Plan Summary of Major Project Phases

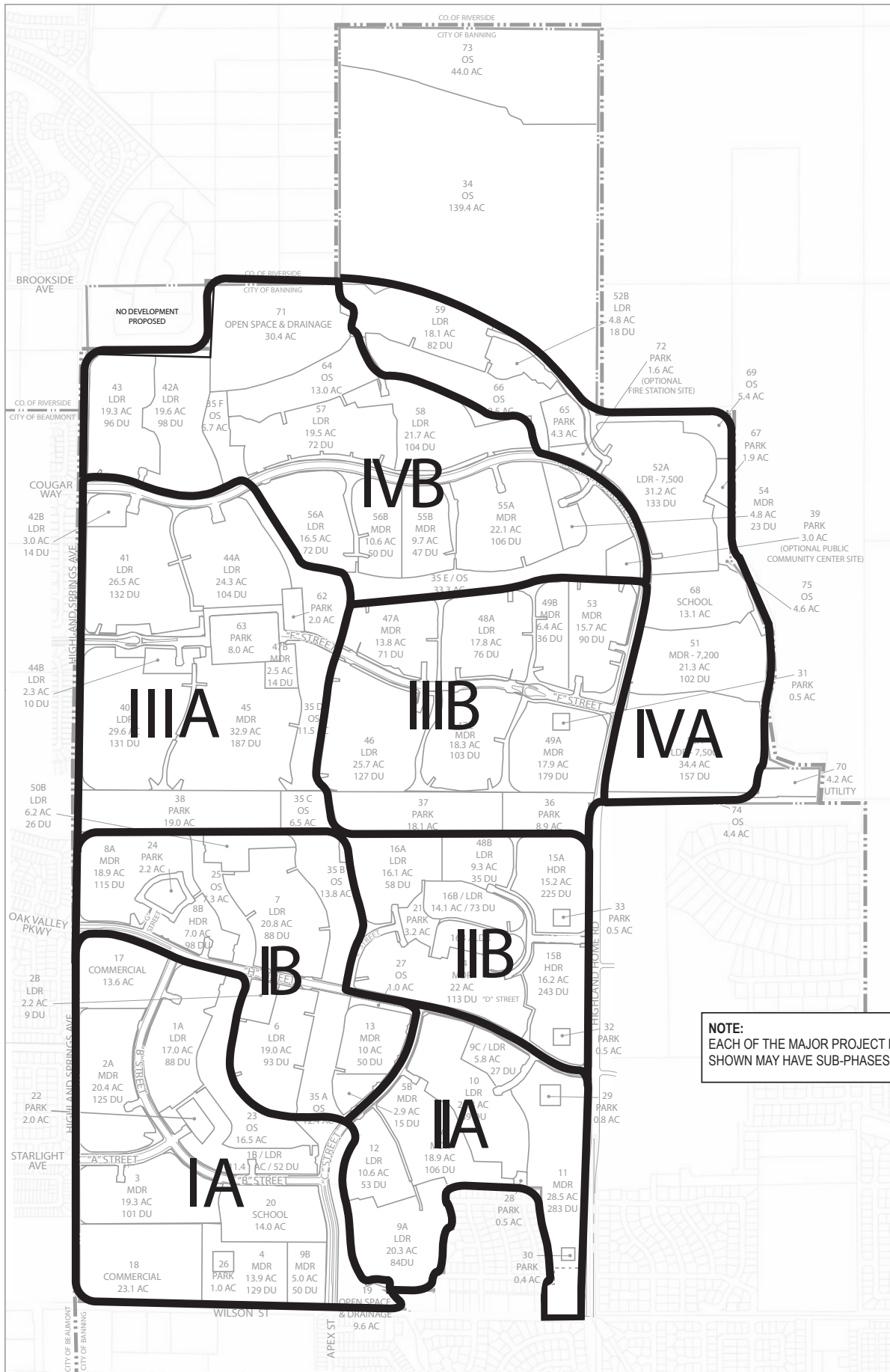
Planning Areas	Land Use	Gross Acres	Dwelling Units	Average Gross Density (DU/AC)
PROJECT PHASE IA				
1A	LDR	17.0	88	5.0
1B	LDR	11.4	52	4.6
2A	MDR	20.4	125	6.1
3	MDR	19.3	101	5.2
4	MDR	13.9	129	9.3
9B	MDR	5.0	50	10.0
17	Commercial Parcel	13.6		
18	Commercial Parcel	23.1		
19	South Channel/Open Space	9.6		
20	Beaumont U.S.D. School Site	14.0		
22	Neighborhood Park	2.0		
23	Central Open Space	16.5		
26	Neighborhood Park	1.0		
	Other Landscape Open Space	5.0		
ROW	Backbone Roads	21.0		
Phase IA Subtotal		192.8	545	
PROJECT PHASE IB				
2B	LDR	2.2	9	4.1
5B	MDR	2.9	15	5.2
6	LDR	19.0	93	4.9
7	LDR	20.8	88	4.2
8A	MDR	18.9	115	5.6
8B	HDR	7.0	98	14.0
13	MDR	10.0	50	5.0
50B	LDR	6.2	26	4.2
24	Neighborhood Park	2.2		
25	Central Open Space	7.3		
27	Central Open Space	1.0		
35A	Central Open Space	12.4		
35B	Central Open Space	13.8		
	Other Landscape Open Space	3.5		
ROW	Backbone Roads	14.0		
Phase IB Subtotal		141.2	494	
PROJECT PHASE IIA				
5A	MDR	18.9	106	5.6
9A	LDR	20.3	84	4.1
9C	LDR	5.8	27	4.7
10	LDR	20.8	89	4.3
11	MDR	28.5	283	9.9
12	LDR	10.6	53	5.0
28	Neighborhood Park	0.5		
29	Neighborhood Park	0.8		
30	Neighborhood Park	0.4		
	Other Landscape Open Space	4.2		

ROW	Backbone Roads	10.0		
Phase IIA Subtotal		120.8	642	
PROJECT PHASE IIB				
14	MDR	22.0	113	5.1
15A	HDR	15.2	225	14.8
15B	HDR	16.2	243	15.0
16A	LDR	16.1	58	3.6
16B	LDR	14.1	73	5.0
48B	LDR	9.3	35	3.8
21	Neighborhood Recreation Park	3.2		
32	Neighborhood Park	0.5		
33	Neighborhood Park	0.5		
	Other Landscape Open Space	4.8		
ROW	Backbone Roads	10.0		
Phase IIB Subtotal		111.9	747	
PROJECT PHASE IIIA				
35C	Central Open Space/Drainage	6.5		
35D	Central Open Space/Drainage	11.5		
35E	Central Open Space/Drainage (por.)	9.0		
38	Open Space (SCE Easement)	19.0		
40	LDR	29.6	131	4.4
41	LDR	26.5	132	5.0
42B	LDR	3.0	14	4.7
44A	LDR	24.3	104	4.3
44B	LDR	2.3	10	4.4
45	MDR	32.9	187	5.7
47B	MDR	2.5	14	5.6
62	Neighborhood Park	2.0		
63	Neighborhood Recreation Park	8.0		
	Other Landscape Open Space	5.2		
ROW	Backbone Roads	16.0		
Phase IIIA Subtotal		198.3	592	
PROJECT PHASE IIIB				
31	Neighborhood Park	0.5		
36	Community Park	8.9		
37	Community Park	18.1		
46	LDR	25.7	127	4.9
47A	MDR	13.8	71	5.1
47C	MDR	18.3	103	5.6
48A	LDR	17.8	76	4.3
49A	MDR	17.9	179	10.0
49B	MDR	6.4	36	5.6
53	MDR	15.7	90	5.7
	Other Landscape Open Space	4.8		
ROW	Backbone Roads	14.0		
Phase IIIB Subtotal		161.9	682	
PROJECT PHASE IVA				
50A	LDR – 7,500	34.4	157	4.6
51	MDR – 7,200	21.3	102	4.8
52A	LDR – 7,500	31.2	133	4.3

52B	LDR	4.8	18	3.8
59	LDR	18.1	82	4.5
65	Neighborhood Park	4.3		
66	Central Open Space	18.5		
67	Neighborhood Park	1.9		
68	Banning U.S.D School Site	13.1		
69	Open Space/Fuel Mod.	5.4		
70	Utility (Phase 1 Substation built)	4.2		
72	Neighborhood Park	1.6		
74	Open Space (SCE Easement)	4.4		
75	Open Space/Fuel Mod.	4.6		
	Other Landscape Open Space	4.8		
ROW	Backbone Roads	4.0		
Phase IVA Subtotal		177.4	492	
PROJECT PHASE IVB				
35E	Central Open Space/Drainage (por.)	24.3		
35F	Central Open Space/Drainage	5.7		
34	Northerly Open Space	139.4		
39	Community Park/Center	3.0		
42A	LDR	19.6	98	5.0
43	LDR	19.3	96	5.0
54	MDR	4.8	23	4.8
55A	MDR	22.1	106	4.8
55B	MDR	9.7	47	4.9
56A	LDR	16.5	72	4.4
56B	MDR	10.6	50	4.7
57	LDR	19.5	72	3.7
58	LDR	21.7	104	4.8
64	Central Open Space	13.0		
71	North Basin/Open Space	30.4		
73	Northerly Open Space	44.0		
	Other Landscape Open Space	7.7		
ROW	Backbone Roads	12.0		
Phase IVB Subtotal		423.3	668	
Total¹		1527.6	4,862	

¹Total acreage excludes the No Development Proposed area (15.4-acres) in the northwest corner of the Specific Plan area.

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Project Phase IIIA

Project Phase IIIA is proposed to include the development of planning areas north of Phase II, adjacent to the east side of Highland Springs Avenue in the Specific Plan. These planning areas include PAs 35C, 35D, 35E, 38, 40, 41, 42B, 44A, 44B, 45, 47B, 62 and 63. These planning areas are proposed as the potential age-restricted or active adult development in the Specific Plan. Pursuant to the market demand for active adult type homes, the development of this phase could be accelerated.

The portion of Highland Springs Avenue fronting this phase would be improved on the east side at this time. Proposed "F" Street through this phase would be improved, including as a potential gated private street through the active adult development. The northerly extension of Highland Home Road through the project is proposed to bend westerly and connect with Highland Springs Avenue, creating a four-way intersection at his point where Cougar way intersects Highland Springs Avenue on the west side (Beaumont side). The portion of proposed Highland Home Road east of Highland Springs Avenue could be constructed at this time providing secondary access to PAs 41 and 44. The Smith Creek channel will be realigned and improved in PAs 35C, 35D and 35E in a semi-natural appearance in this phase.

Project Phase IIIB

Project Phase IIIB is proposed to include the development of planning areas north of Phase IIB and east of Phase IIIA in the Specific Plan. These planning areas include PAs 31, 36, 37 46, 47A, 47C, 48A, 49A, 49B and 53. These planning areas are also proposed as potential additional age-restricted or active adult development in the Specific Plan. Pursuant to the market demand for active adult type homes, the development of this phase could be accelerated.

The easterly remainder of proposed "F" Street through this phase would be improved, including also as a potential gated private street through the active adult development. The portion of Highland Home Road fronting this phase would be improved at this time. The PA 68 proposed school site could be graded with fronting streets improved and utility subs provided with this phase.

Project Phase IVA

Within Project Phase IVA, the planning areas to the east of Highland Home Avenue will be developed. These planning areas include PAs 50A, 51, 52A, 52B, 59, 65, 66, 67, 68, 69, 72, 74, and 75.

Project Phase IVB

Within Project Phase IVB, development of the planning areas in the northwest corner of the Specific Plan will take. These planning areas include PAs 35E, 35F, 42A, 43, 54, 55A, 55B, 56A, 56B, 57, 58, 64 and 71.

The remainder of the proposed northerly extension of Highland Home Road within the Specific Plan area will be completed. The remainder of the Smith Creek improvements will be realigned and improved in PAs 35F and 71 in this phase. The remainder of the PA 71 basin improvements will be completed with this phase.

3.7.3 Community Facilities Financing and Maintenance

The financing and maintenance of improvements for the Butterfield Specific Plan includes both public and private sources. Table 3-5, *Financing & Maintenance*, outlines the anticipated responsibilities for financing and maintenance of improvements within the Butterfield Specific Plan.

**Table 3-5
Butterfield Specific Plan
Financing and Maintenance Responsible Parties**

IMPROVEMENT	FINANCING	LONG TERM MAINTENANCE
Water System	Developer / CFD	City of Banning
Sewer System	Developer / CFD	City of Banning
Drainage System	Developer / CFD	Homeowners Association (HOA), City, County
Public Street Improvements – Highland Home Avenue Highland Springs Avenue Wilson Street Public Collector Streets Public Local Streets	Developer / CFD	City of Banning
Trails (including proposed decomposed granite trails within or adjacent to public street right of ways)	Developer	HOA
Private Internal Streets and Drives	Developer	HOA
Landscaping Public Right-of-Way	Developer	City of Banning oversight Landscape Lighting and Maintenance Dist. (LLMD) / HOA
Private slopes	Developer	HOA
Central Open Space/Drainage	Developer	HOA
Open Space-Natural/Landscape/Easement	Developer	HOA
Open Space-Drainage	Developer	HOA/City of Banning oversight
Fuel Modification Zones	Developer	HOA
Parks	Developer	Public Parks: City of Banning; Private Parks: HOA
Smith Creek Drainage	Developer	HOA/City/County

The City of Banning shall maintain improvements that are publicly dedicated and accepted for maintenance, including street improvements to Highland Springs Avenue, Brookside Avenue / Highland Home Avenue, Wilson Street and other streets within the Specific Plan area, also water, sewer and certain storm drain improvements. Landscape improvements on publicly dedicated streets and creek/resource open space areas may be annexed or otherwise included in a City of Banning Lighting and Landscape Maintenance District (LLMD). Construction financing of major infrastructure improvements is intended to include as an option the use of Community Facilities District(s) (CFD), Assessment Districts, or Road and Bridge Benefit Districts (RBBD) as formed through the City of Banning.

A Homeowners Association (HOA) shall maintain improvements that will not to be publicly dedicated, including private project roadways, street lighting improvements along private project roadways, active and passive private open space areas, private drainage facilities and utilities, as well as some landscaping improvements within public right of ways.

3.7.4 Public Services and Project Phasing Standards

1. Prior to approval of grading plans and final subdivision map, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract shall be submitted to the City of Banning's Community Development Department for approval as may be required. The improvement plans may include:
 - Final Grading Plan
 - Irrigation Plans (certified by a landscape architect)
 - Fence Treatment Plans
 - Special Treatment/buffer Area Treatment Plans
 - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
2. Each Planning Area, if applicable, shall include development of adjacent common open space area, landscape development zones, and applicable infrastructure.
3. Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages in any order of the major project phases, provided vehicular access, public facilities, and infrastructure are constructed to adequately service the development or as needed for public health and safety in each part of the development and further provided that such part of the development conforms substantially with the intent and purpose of the Specific Plan.
4. Major project phases as identified within this Specific Plan may be further divided into sub-parts as appropriate to provide for coordination of infrastructure improvements and development of the Butterfield project. The numbering of development project phases herein does not denote any specific sequence of development progression. Major project phases or sub-parts consistent with Exhibit 3.12 or Table 3-4 may be developed out of the numbering sequence, provided that the required infrastructure and services are available at the time of development.
5. The development of community parks shall include such uses and activities that are not restricted by the Southern California Edison utility easements. The community parks shall be completed in conjunction with development of Project Phases IIIA and IIIB, pursuant to the phasing and Development Standards set forth in Sections 3.7 and 4.0 of this Specific Plan for Planning Areas 36, 37 and 38.
6. The development of neighborhood-mini parks and neighborhood recreation parks adjacent to residential planning areas to be served by such parks shall be completed in conjunction with the project phase of the development within which the park is to be located, and pursuant to the Development Standards and timing set forth in Section 3.7 and 4.0 of this Specific Plan.

7. The circulation system shall be implemented concurrently with each associated project phase of the development.
8. The school sites designated in the Butterfield Specific Plan will be dedicated after final tract map recordation in each project phase of the development pursuant to executed agreements with the applicable school districts. The construction of the school facilities will be governed by the appropriate school district.
9. Should the appropriate school district elect not to acquire and use Planning Areas 20 or 68 for public school purposes, single-family residential development may be substituted with a density of up to 10 dwelling units per acre as long as a total of 4,862 dwelling units are not exceeded within the Specific Plan area.
10. Electrical lines serving the Specific Plan area, including lines coming from the substation to serve the Specific Plan area, shall be placed underground, when feasible as required by the City.
11. A maintenance easement shall be recorded over areas designated as required fuel modification zones within private lots adjacent to wildland fire hazard areas that would allow the master homeowners association or maintenance district to enter the property to ensure adequate and uniform maintenance of fuel modification zones.

4.0 DEVELOPMENT DESIGN GUIDELINES

4.0 DEVELOPMENT DESIGN GUIDELINES

4.1 INTRODUCTION

4.1.1 Purpose of the Guidelines

The purpose of the Design Guidelines is to provide guidance to implement the vision of the Butterfield Specific Plan. They are intended to provide an overall framework for future development and to achieve a sense of community identity, character, scale, and sensitivity. These guidelines are intended to provide the means to protect and maintain the long-term quality and value of the community. Accordingly, the Design Guidelines apply to all residential, commercial, and landscape construction within Butterfield.

4.1.2 Organization

These Design Guidelines are organized to blend architecture and landscape themes together for an overview of community vision and character. A portion of these Design Guidelines emphasize architectural guidelines and criteria to which all residential builders must comply in order to build within Butterfield. This includes builder requirements for each architectural style as well as design guidelines specific to non-residential development. Other portions of these Design Guidelines focus on guidelines for landscape architecture with requirements for all aspects of the community.

4.1.3 Other Controlling Criteria

These Design Guidelines supplement rather than supersede any Specific Plan requirements, applicable codes and standards from the City of Banning, Riverside County and the State of California and all applicable Building and Safety Codes.

The design criteria are subject to interpretation by the Master Developer and the City of Banning. To be consistent with the overall vision for Butterfield, the Design Guidelines may be amended or expanded to meet specific site or functional requirements of the property within the community.

4.1.4 Responsibility of Review

Neither the Master Developer nor the Butterfield Design Review Committee (DRC), as may be established by the Master Developer, assumes responsibility for plan review of local codes or ordinances. The Master Developer's Design Review is not for jurisdictional processing, but to ensure that each project meets the vision of Butterfield and complies with the requirements of these Design Guidelines. All projects within Butterfield require review and approval by the Master Developer prior to submittal to the applicable public agencies.

The City of Banning requires design review of all development proposals pursuant to the requirements of the Banning zoning ordinance (see Section 6.2 *Administration and Implementation*, of this Specific Plan). City of Banning design review will be conducted through the Planning and Building Divisions.

4.2 COMMUNITY CHARACTER

The new community of Butterfield is to be predominately residential, comprised of architecturally designed single-family, detached homes. Neighborhood parks, community parks, schools, open spaces, retail and commercial parcels are also integrated into the community. The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment.

The land itself offers a dynamic setting that transitions from flatland to foothill to the San Bernardino Mountains – all within view of Butterfield residents. The central open space encompasses natural drainage paths and provides a central organization of open spaces within the community. Community landscapes, parks and open spaces include waving grasses and wildflowers edging community areas and select specimen trees providing landmark entries to the community.

The community landscape concept combines the existing natural character of the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls and other similar features and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species. Butterfield's high profile areas such as monumentation, parks, central open space and other community facilities will be highlighted and reinforce the California ranch theme.

The outdoor lifestyle is an important design concept, supported by residential plan types, open spaces, parks and pedestrian connections linking Butterfield's neighborhoods and by the community's immediate adjacency to the San Bernardino Mountains. This location provides the ideal setting for an active outdoor lifestyle and opportunities for residents to enjoy access to trails and close-up mountain views as their backdrop.

4.3 COMMUNITY DESIGN

The Design Guidelines for Butterfield are intended to facilitate the creation of diverse and varied streetscapes while also maintaining a cohesive sense of place. The architecture and landscapes within Butterfield are intended to be compatible with the surrounding environmental character. Design elements and landscape will consist of harmonious styles, forms, massing, color, materials, orientation and rooflines. This section contains requirements for architecture and landscapes within the overall Butterfield community.

4.3.1 Community Color and Materials

Colors and materials help to enhance visual variety in the community by providing texture, richness and relief in all elements of design. Thoughtful selection can often highlight and enhance even the simplest elements. An appropriate color palette for the Butterfield community includes natural, earthy tones that have a strong compatibility with the California ranch theme. In addition, the following guidelines should be followed:

- Colors and materials should support the overall community character and the style of the architecture
- Building wall and roof colors and materials should be coordinated.

- Style appropriate color and materials' palettes are encouraged.

4.3.2 Community Landscape

The following landscape elements shall be provided and installed in each neighborhood by the developer/builder:

- Street trees
- Interior slope landscaping & irrigation
- Block-end walls
- Side yard, rear yard and return fences
- Tubular steel fences

Landscape/irrigation plans for entry treatments, streetscape, interior slopes, parks, recreation areas, and detention basins shall be approved by the City of Banning.

All plantings within the Butterfield Community shall be selected from the Butterfield Plant Palette in this document as provided in Section 4.6.2, *Neighborhood Plant List*, the proposed plant palette on Exhibit 4.9A, *Central Open Space Conceptual Landscape Plan*, the street trees on Exhibit 4.10, *Street Tree Master Plan*, and any additional mitigation area plant palette that may be determined by a federal or state resource agency. In addition, the use of quality artificial turf is considered acceptable as a water conservation design consideration.

Street tree size should be a minimum 15-gallon and at least 50 percent of all street trees should be a minimum 24-inch box size. Species and variety to conform to an approved street tree plan.

Following Tentative Tract Map approval, a Conceptual Landscape Plan shall be prepared by a licensed landscape architect that demonstrates the following to the satisfaction of the City of Banning Community Development Director (final landscape improvement plans will be submitted as part of the building permit and/or infrastructure improvement plan review and approval process):

- Landscaping that complies with the General Plan, Specific Plan, and other relevant City of Banning regulations, ordinances, policies and procedures.
- The use of native or drought-tolerant species where practical, proposed plants and palette, size and placement of plants, and irrigation requirements and the landscape guidelines contained in the proposed Specific Plan.
- Development edges are to be landscaped so as to minimize aesthetic impacts by providing appropriate landscaping where possible to screen the views of structures when viewed from lower elevations and adjacent properties; landscape materials may be used in conjunction with berming to accomplish this objective; and in transition areas where native undisturbed vegetation meets a development area, only those species similar to existing native vegetation must be used.
- Landscaping must consider applicable fuel modification zone requirements, including provision for interim and/or permanent irrigation where warranted.
- The density of landscape screening shall be varied, depending upon the visual character of a proposed development; low-density residential projects

that convey a rural character shall be featured and views to these areas from streets shall be maintained; landscape shall be subject to review and approval of the City Fire Chief and the Community Development Director.

4.3.3 Community Entries and Monumentation

A main community identification monument, including landscaping and low, stone walls, is planned for the project corner at Highland Springs Avenue and Wilson Avenue. See Exhibit 4.2, *Corner Monument Concept Plan View and Elevation, Highland Springs Avenue and Wilson Street*.

A landscape theme of water features, stone walls, and shade trees flows throughout the community of Butterfield as one enters the project through numerous entry streets that range in prominence from a primary entry and secondary entries, to neighborhood and other various entries encountered throughout Butterfield. These entries and monumentation unify the Butterfield landscape theme. See Exhibit 4.1, *Community Entry Monumentation Locations*.

The primary community entry will be located internally on 'A' Street. This entry is to include further enhanced landscaping, water feature(s), monumentation, architectural features and community identification signage. See Exhibit 4.3, *Primary Entry Landscape Concept Elevation*.

Secondary community entries are to be located on 'H', 'C' and 'F' Streets. These secondary entries will also include enhanced landscaping, monumentation and community identification signage. Refer to Exhibit 4.4, *Secondary Entry Landscape Concept Elevation*.

Several neighborhood entries are proposed throughout the entire Butterfield community. The neighborhood entries will include a low stone wall with an area for signage that is consistent with elements and landscape theme in the primary and secondary entries. Also, enhanced landscaping will be provided in areas surrounding the stone wall monumentation. See Exhibits 4.5A – 4.5D, *Neighborhood Entry Landscape Concepts*.

This Specific Plan allows for a private gated community as a use within the Butterfield Specific Plan area. If it is decided that a private gated community will be provided within the Butterfield Specific Plan area, the entry to the gated community will be themed and landscaped to be consistent with the other entries throughout the Butterfield community. The gated entry may include water features, stone wall monumentation, enhanced landscaping and a raised landscaped median. See Exhibits 4.6A and 4.6B, *Secondary Typical Community Entry Gate Concepts*.

Any commercial entries within the Butterfield community will be consistent with the landscape theme that is proposed throughout the Butterfield Specific Plan area. See Exhibit 4.7, *Commercial Site Entry Concepts*.

4.3.4 Parks and Open Space

4.3.4.1 NEIGHBORHOOD PARKS

Parks within the Butterfield community are to serve as community gathering areas and provide active and passive recreational opportunities for residents. Programming for neighborhood parks may include a varied combination of, tot lots with play equipment, picnic areas, open lawns and turf, shade structures, drinking fountains, shade trees, landscaping and extended pathways from sidewalks into play areas. See Exhibits 4.8A – 4.8D, *Typical Neighborhood Park Concepts*.

4.3.4.2 NEIGHBORHOOD RECREATION PARKS

Community recreation parks are planned for the Butterfield community. The facilities are centrally located and are accessible through a pedestrian system of walkways and paths as well as the local vehicular circulation. The program for the facility could allow for a larger neighborhood park or a recreation facility that may include off street parking, pool, spa, restroom building, picnic facilities, enhanced landscaping, open turf areas, and buildings for community meetings areas. See Exhibit 4.8E, *Neighborhood Recreation Park Concept*.

4.3.4.3 COMMUNITY PARK

Community parks with sports facilities are proposed to be located within the SCE easement. The community parks are located within the center of the Butterfield Specific Plan area and can be accessed via pedestrian walkways as well as local vehicular circulation. The program for the community parks may include soccer fields, ball courts, shade structures and seating areas. Off-street parking will be provided within the community parks area. See Exhibit 4.8F, *Community Park Concept*.

4.3.5 Central Open Space

A central open space element is proposed in the Butterfield Specific Plan. Landscaping within the central open space will contain various elements including native and natural re-vegetated landscaping near drainage areas and at other appropriate locations. A concept plan for the central open space landscape areas is provided on Exhibit 4.9, *Central Open Space Conceptual Landscape Plan*.

Exhibits 3.12A & B, *Central Open Space Typical Concept Plan – South & North*, and Exhibits 3.13A & B, *Central Open Space Example Features*, provide typical concept illustrations of the Central Open Space's potential implementation. This open space will include active and passive recreational uses, such as walking or biking trails, turnouts for exercise, viewing and educational facilities, parks and native type vegetation landscaping all linkable to the project's residential tracts and providing public access.

4.3.6 Other Open Space and Recreational Activities

Other open spaces within the Butterfield community include drainage storage basin, trails, natural areas, landscaped areas, easements and drainage open spaces.

Access to the trail systems will be provided at trail head locations throughout the Butterfield Specific Plan area. Low stone wall monumentation, canopy trees and a way finding station will be provided at specified trail head locations. See Exhibit 4.8G, *Typical Trail Head at Open Space Edge*. Also, see Exhibit 3.4, *Backbone Pedestrian Circulation Plan* for trail head locations.

Planning Area 19 is the Smith Creek Channel continuation at the south end of the specific plan area and will include a trail that will provide access to the Butterfield community and Wilson Street. The majority of the plant materials surrounding the drainage feature and trail are to be native vegetation. Street trees, small shrubs and turf may be planted within the landscape parkway areas of 'C' Street, adjacent to PA 19. See Exhibit 4.8H, *Planning Area 19 South Channel Landscape Concept Plan*.

Planning Area 71 with a drainage storage basin is proposed to be used for some recreational uses. The majority of the plant materials surrounding the basin area are to be native vegetation. There may be some ornamental landscaping (canopy trees and small accent shrubs) in seating areas located around the basin. See Exhibit 4.8I, *Planning Area 71 North Basin Landscape Concept Plan*.

4.3.7 Community Streets

4.3.7.1 PROJECT ENTRY STREETS

- The project entry streets connect the primary and secondary entries off of Highland Springs Avenue, Wilson Avenue, and Highland Home Road with the streets in the project interior.
- Landscaped parkways are to be provided on each side of the street. A 5-foot-wide meandering sidewalk will also be provided on one side of the street, along with a meandering combination 5-foot-wide concrete sidewalk and 5-foot-wide decomposed granite path on the other side. The decomposed granite paths will specifically be maintained by the community HOA.
- Landscaped raised medians will be included in all project entry streets, for which a landscaped median is an implementation option.
- Landscape lots, typically located between the pedestrian walkways or right-of-ways and project perimeter walls, will contain evergreen screen and background trees along with an occasional accent tree grouping.

Refer to Exhibit 4.10, *Street Tree Master Plan*, for guidance on street trees; Exhibit 4.11, *Streetscape Concept Plan View and Section of "A" Street*; Exhibit 4.12, *Typical Streetscape Concept Plan View and Section of "H" Street (west of Highland Springs Ave.) and "C" Street (north of Wilson St.)* and Exhibit 4.14, *Typical Streetscape Concept Plan View and Section of "F" Street (west of Highland Springs Avenue)*.

4.3.7.2 INTERIOR BACKBONE STREETS

- These streets, (“B” Street, “C” Street, “H” Street, Highland Home Road (north portion), and “F” Street), incorporate collector streets that traverse through the project area, connecting the Project Entry Streets and Local Streets into individual Planning Areas.
- The minimum overall right-of-way width for these streets is 92 feet. Landscaped parkways will be provided on these streets. These parkways will include a 5-foot-wide sidewalk on one side, and a meandering combination 5-foot-wide decomposed granite path on one side. The decomposed granite paths will specifically be maintained by the community HOA.
- Additional landscaping will be installed between the back of sidewalk and the perimeter wall.

Refer to Exhibit 4.13, *Typical Streetscape Concept Plan View and Section of “H” Street (from “B” Street to Highland Home Rd.), “B” Street, “C” Street (north of “B” Street) and “F” Street (from PA 63 to Highland Home Rd.);* and Exhibit 4.20, *Highland Home Road (North of SCE Easement to Highland Springs Ave.).*

4.3.7.3 NEIGHBORHOOD LOCAL STREETS

- Neighborhood local streets will be tree-lined avenues, and will continue the landscape theme in the residential neighborhoods.
- Landscaped parkway areas will be planted by the developer/builder and be maintained by the Homeowner. Sidewalks on local streets may be located adjacent to the curbs or set off from the curbs, separated by a landscape strip.
- Refer to Exhibits 4.15 and 4.16, *Typical Streetscape Concept Plan View and Section of the Local Streets*, including for Residential Block End Conditions.

4.3.7.4 PERIMETER ROADWAYS

Perimeter roadways providing access to the Butterfield Specific Plan area include Highland Springs Avenue, Wilson Street and Highland Home Road. Landscaping Concepts proposed for the perimeter roadways are as follows:

Highland Springs Avenue

Landscaping on the east side of Highland Springs Avenue, adjacent to the Butterfield Specific Plan frontage on the City of Banning side, shall be similar to the proposed entry landscaping within the Butterfield Specific Plan area and shall include canopy trees, small shrubs and turf or ground cover plantings located in the parkway area that also includes a meandering sidewalk. A raised, landscaped median may be provided if there is sufficient room within the right-of-way of Highland Springs Avenue. See Exhibits 4.17, *Typical Streetscape Concept Plan View and Section - Highland Springs Avenue.*

Highland Home Road

The southern portion of Highland Home Road from Wilson Street to Gilman Street, a 16' raised, landscaped median with canopy trees and ground cover is proposed. The

existing open Pershing Channel running parallel to Highland Home Road is removed and reconstructed as a buried storm drain under the road. A 20' wide frontage drive is maintained on the east side providing separate access to the existing residences along the east side of this portion of Highland Home Road. A 4' wide planting area with a hedge is proposed between what will be the new Highland Home Road and this proposed access drive along the existing residential. See Exhibit 4.18, *Typical Streetscape Concept Plan View and Section* for the southern portion of Highland Home Road.

The proposed landscape and streetscape concepts for that portion of Highland Home Road between Gilman Street and the SCE easement, adjacent to approved Tract 30906, located on the east side, is depicted in Exhibit 4.19, *Typical Streetscape Concept Plan View and Section - Highland Home Road (Tract 30906)*.

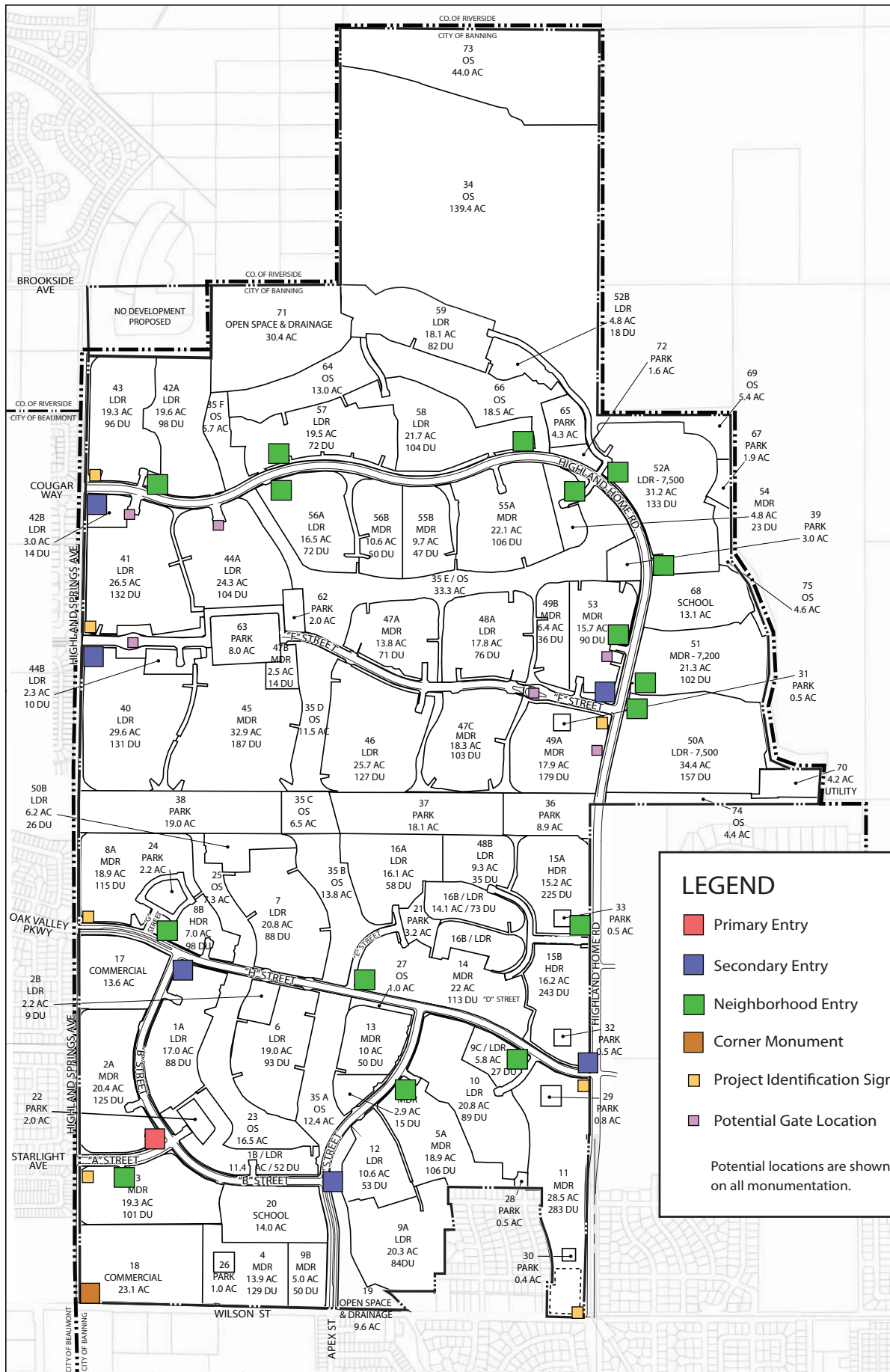
The proposed landscape and streetscape concepts for Highland Home Road north of the SCE easement to Highland Springs Avenue is depicted in Exhibit 4.20, *Typical Streetscape Concept Plan View and Section – Highland Home Road*.

Wilson Street

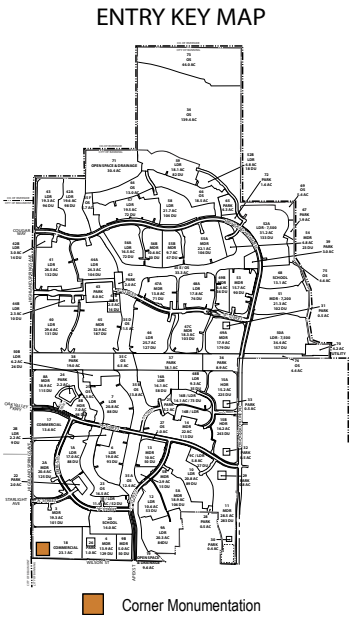
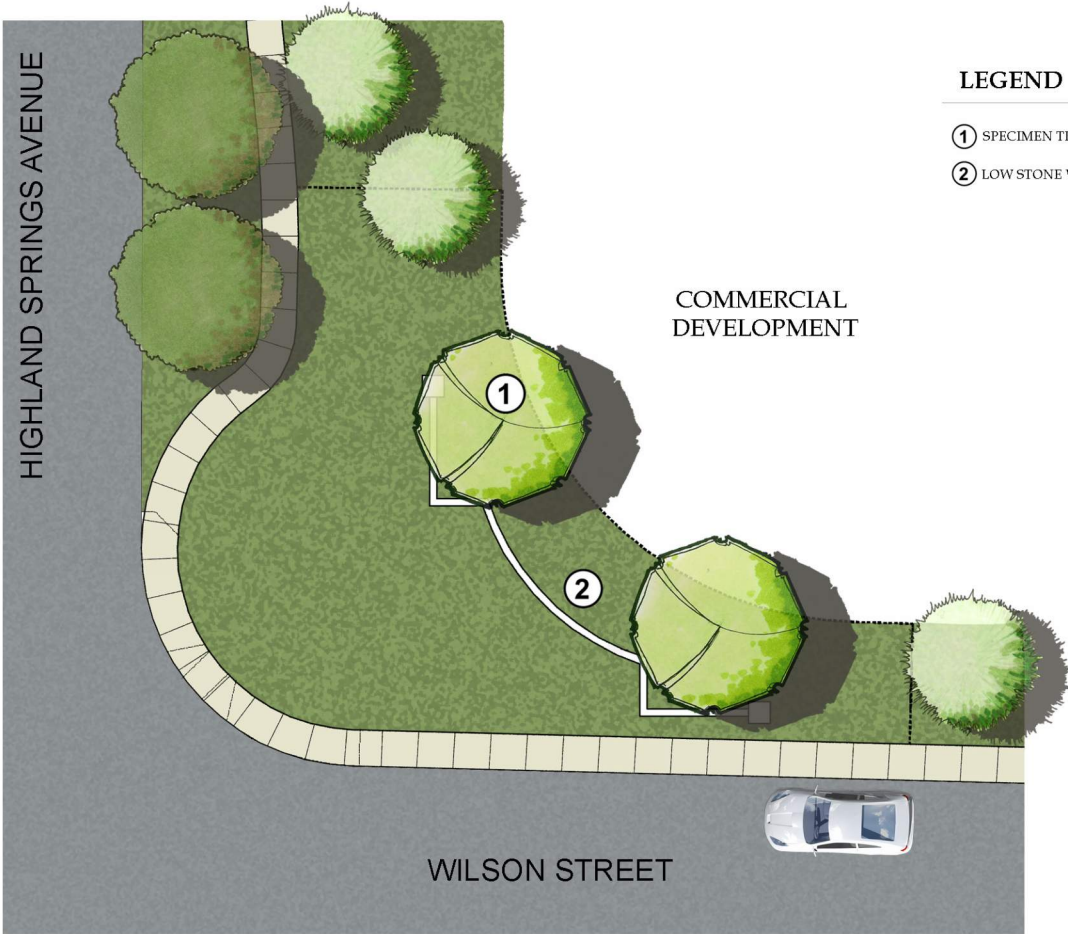
The proposed landscape and streetscape concept for the north side of Wilson Street adjacent to the Butterfield Specific Plan frontage is depicted in Exhibit 4.21, *Typical Streetscape Concept Plan View and Section – Wilson Street*. A raised landscaped median will be added to Wilson Street fronting the Specific Plan area where appropriate as determined by the City Public Works Director.

4.3.7.5 STREET TREES – GENERAL

Street trees, including trees in medians, for reduced maintenance purposes, shall not be of a type that will be too large at maturity and shall be spaced to allow for adequate maintenance outside the roadway travel lanes for life safety purposes and to avoid impacts to traffic. There shall not be conflicts between street trees and street lights for adequacy of lighting and safety.

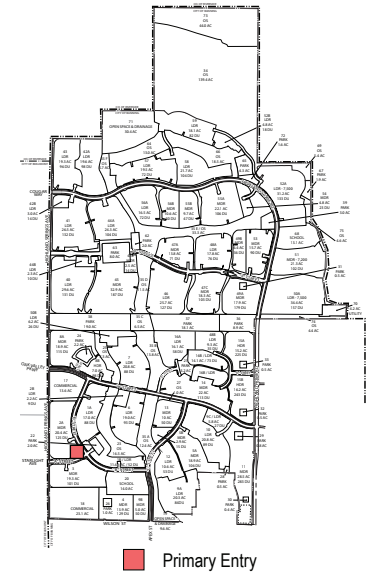


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ENTRY KEY MAP



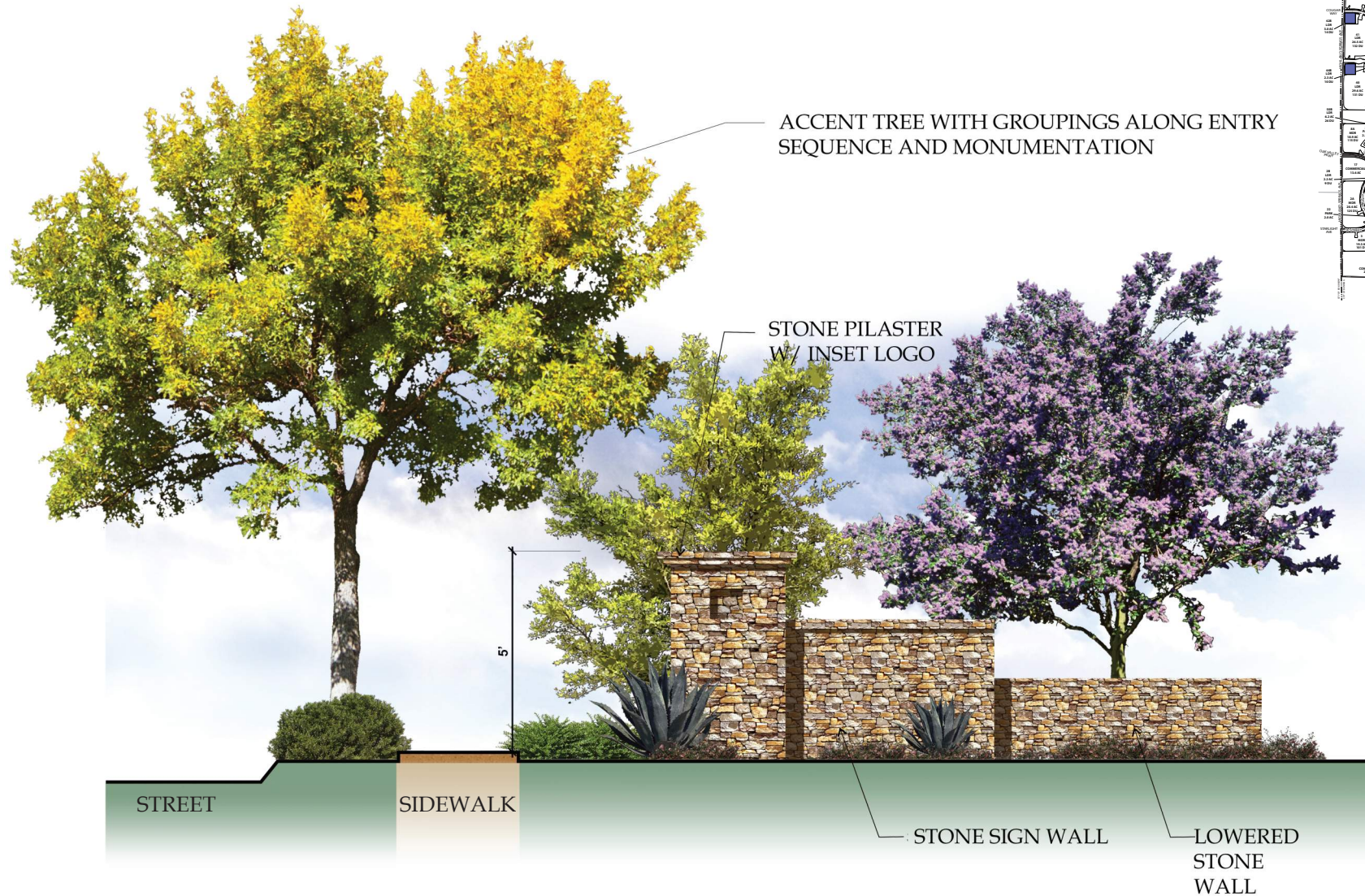
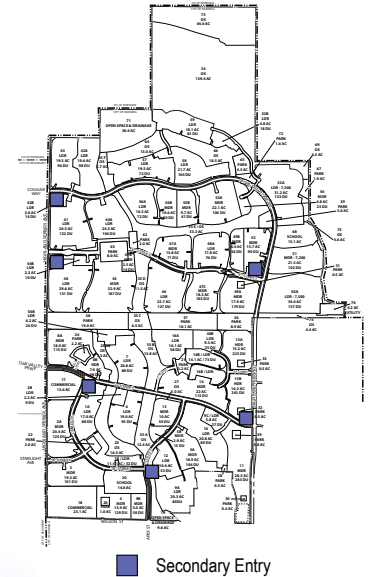
See Exhibit 4.11 For A Street Plan View

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Primary Entry Landscape Concept Elevation

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ENTRY KEY MAP



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Secondary Entry Landscape Concept Elevation

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ENTRY TREES INFORMALLY SPACED ALONG
MEDIAN AND PARKWAY

PARKWAY TREE
THEME AND
BACKGROUND TREE
THROUGHOUT
NEIGHBORHOOD

ENTRY KEY MAP

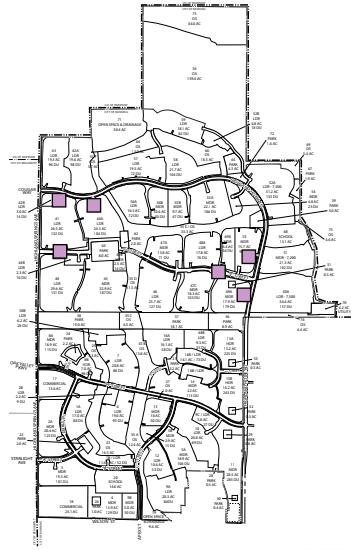


PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

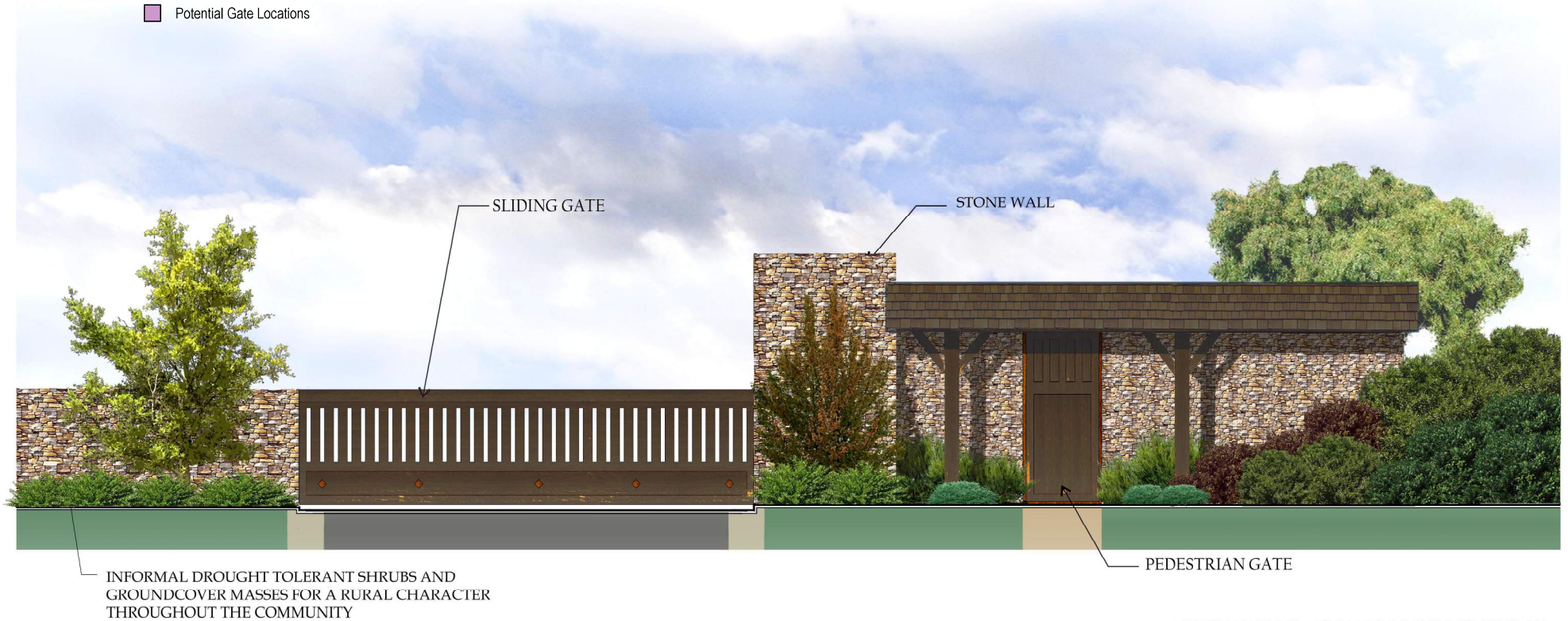
Neighborhood Entry Landscape Concept Elevation

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ENTRY KEY MAP



Potential Gate Locations



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Secondary Community Gated Entry Concept - Elevation

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NOTE:
SIDEWALKS ON LOCAL STREETS AND
NEIGHBORHOOD ENTRIES MAY BE LOCATED
ADJACENT TO THE CURB OR MAY BE SET OFF
OF THE CURB, SEPARATED BY A LANDSCAPED
STRIP.

ENTRY STREET CONDITIONS MAY DIFFER AT
VARIOUS LOCATIONS. SEE EXHIBITS 4.5B
AND 4.5D FOR OTHER POTENTIAL
NEIGHBORHOOD ENTRY CONDITIONS.

LEGEND

- ① PRODUCTION PILASTER
- ② NEIGHBORHOOD MONUMENT

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NOTE:
SIDEWALKS ON LOCAL STREETS AND
NEIGHBORHOOD ENTRIES MAY BE LOCATED
ADJACENT TO THE CURB OR MAY BE SET OFF
OF THE CURB, SEPARATED BY A LANDSCAPED
STRIP.

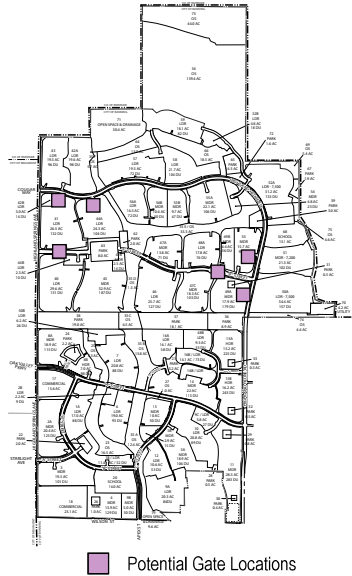
ENTRY STREET CONDITIONS MAY DIFFER AT
VARIOUS LOCATIONS. A LANDSCAPED MEDIAN
MAY BE USED WITH THIS ENTRY (SIDE/SIDE)
WHERE IT DOES NOT INTERFERE WITH
ACCESS TO RESIDENTIAL DRIVEWAYS. SEE
EXHIBITS 4.5B AND 4.5C FOR OTHER
POTENTIAL NEIGHBORHOOD ENTRY
CONDITIONS.

LEGEND

- ① PRODUCTION WALL
- ② MONUMENT

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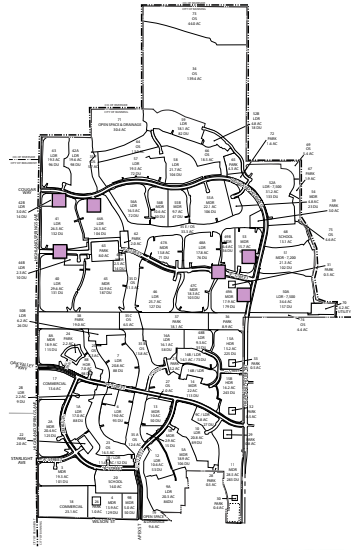
ENTRY KEY MAP



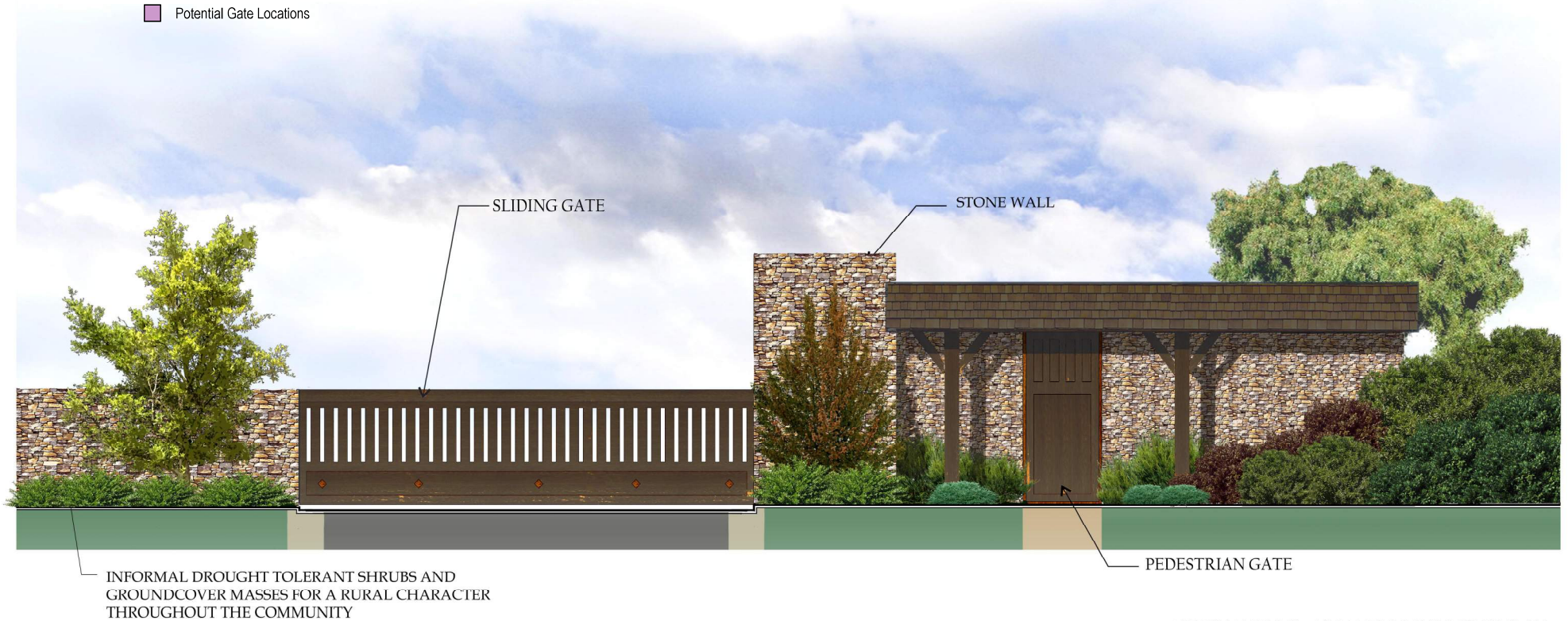
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

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ENTRY KEY MAP



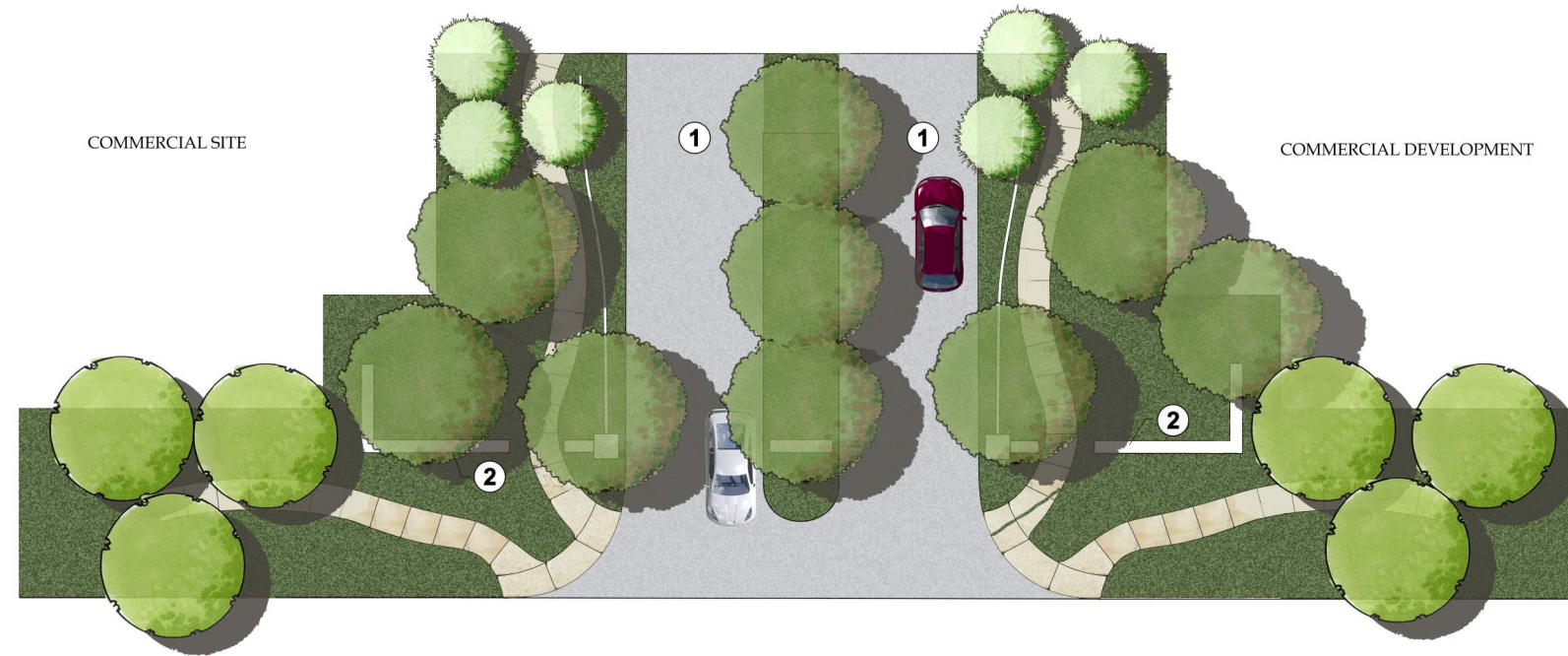
Potential Gate Locations



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Secondary Community Gated Entry Concept - Elevation

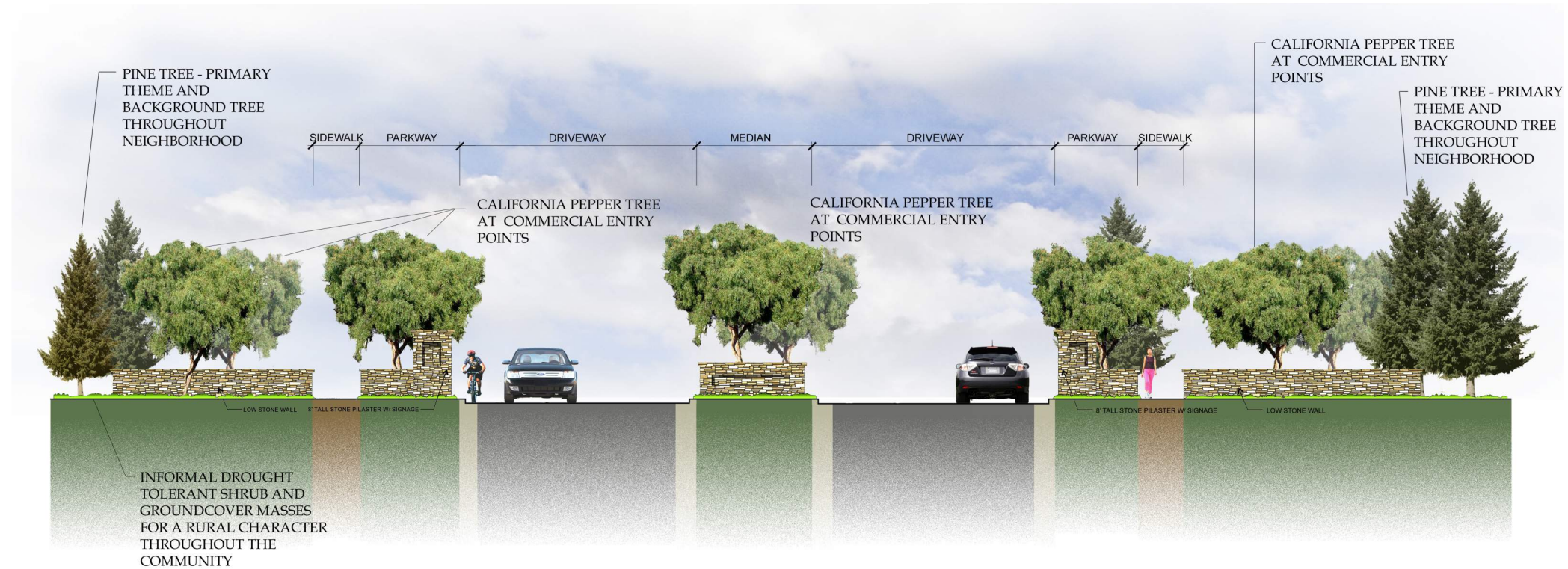
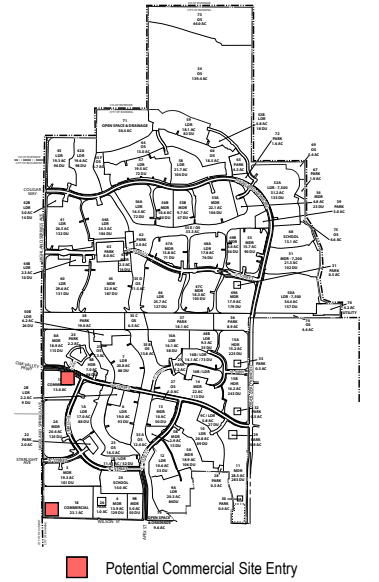
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LEGEND

- ① ENTRY DRIVE
- ② STONE WALLS & PILASTERS

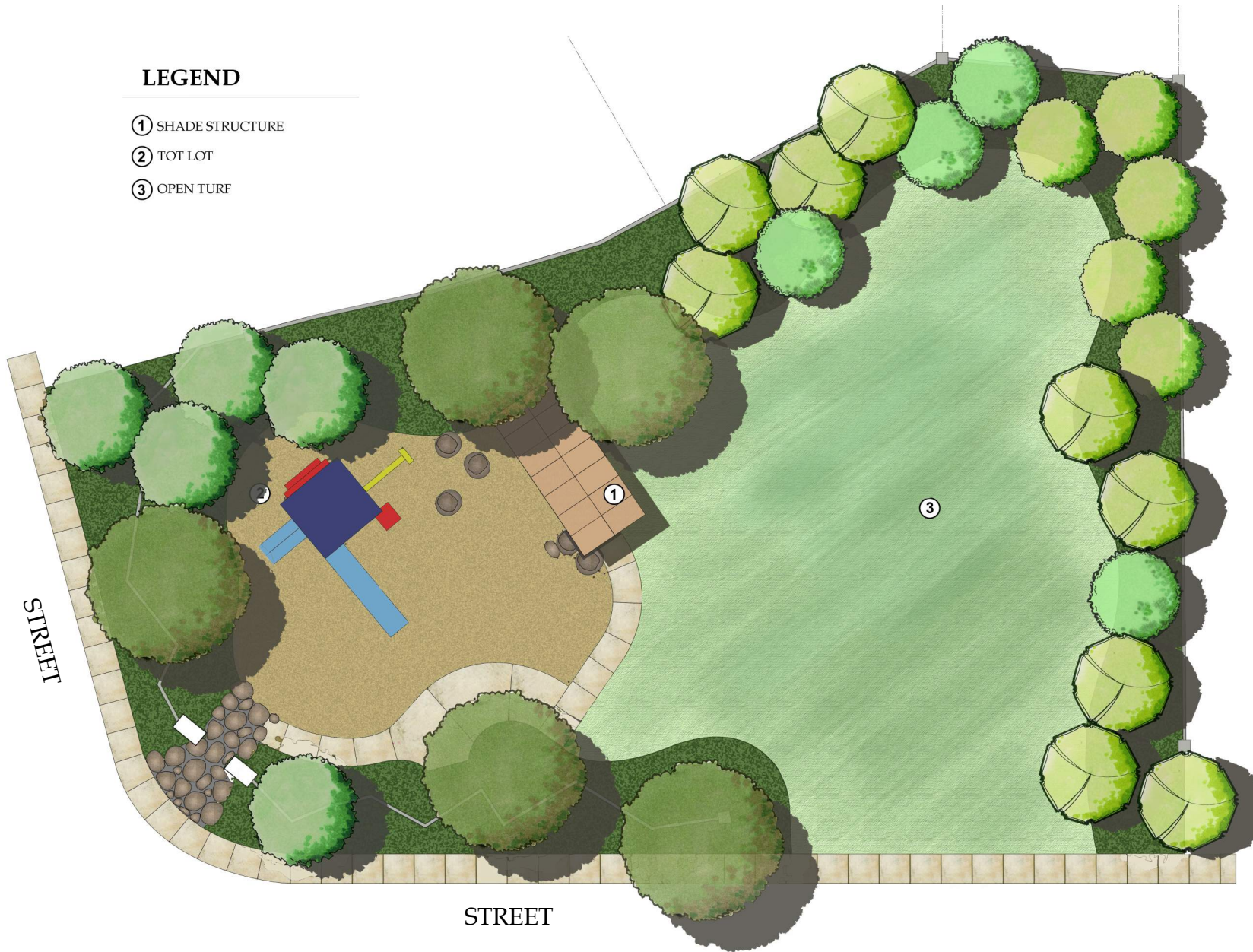
ENTRY KEY MAP



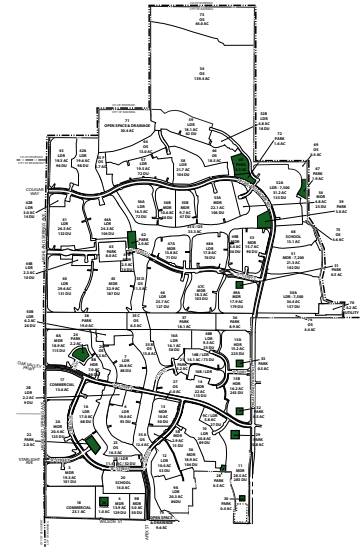
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LEGEND

- ① SHADE STRUCTURE
- ② TOT LOT
- ③ OPEN TURF



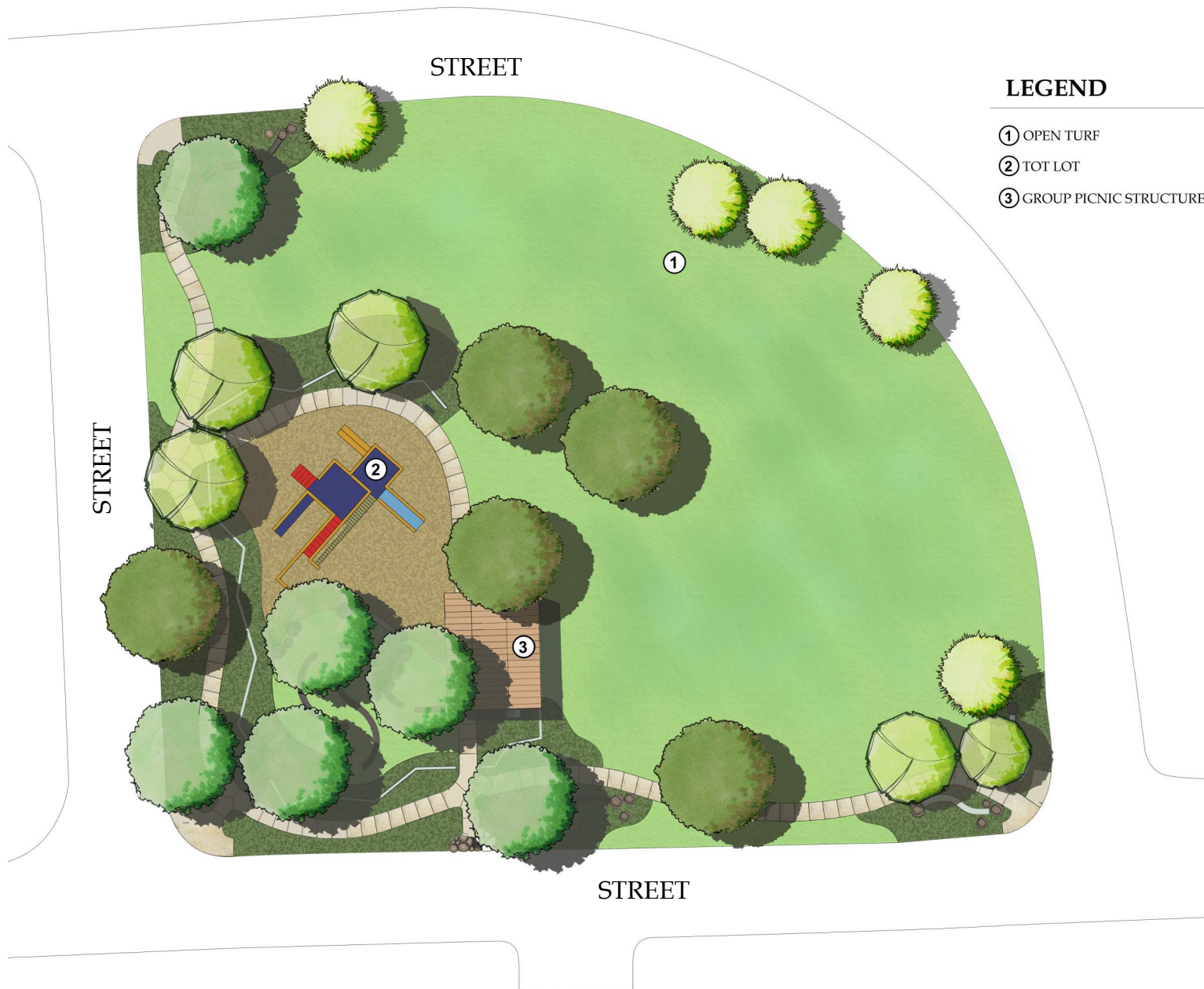
REC. & OS KEY MAP



■ Potential Neighborhood Park

STREET

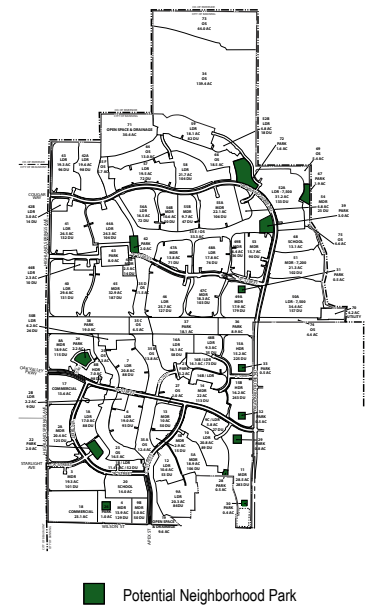
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LEGEND

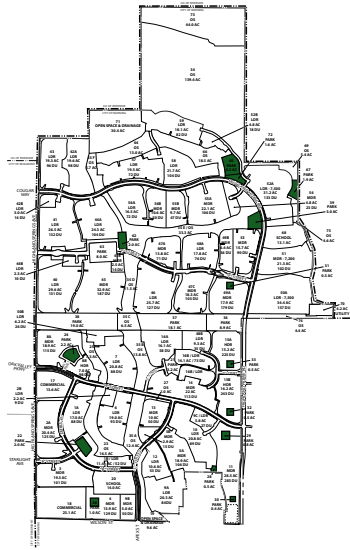
- ① OPEN TURF
- ② TOT LOT
- ③ GROUP PICNIC STRUCTURE

REC. & OS KEY MAP



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REC. & OS KEY MAP



Potential Neighborhood Park



LEGEND

- ① LARGE TREE STAND W/ BUILT UP EARTH MOUNDING
- ② OPEN TURF
- ③ PICNIC STRUCTURE
- ④ TOT LOT

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Neighborhood Park Concept III

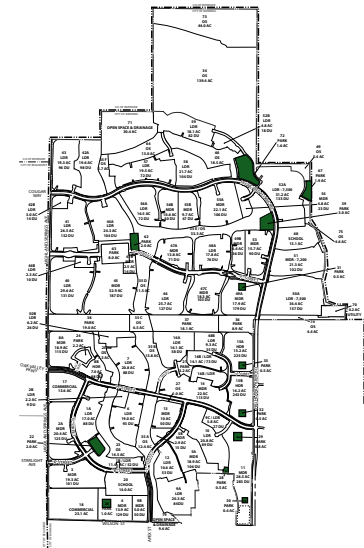
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LEGEND

- ① 4' WIDE D.G. PATH
- ② SHADE STRUCTURE W/ BRIDGE
- ③ PERIMETER WALL
- ④ SHRUB/ GROUNDCOVER AREA
- ⑤ TURF

REC. & OS KEY MAP



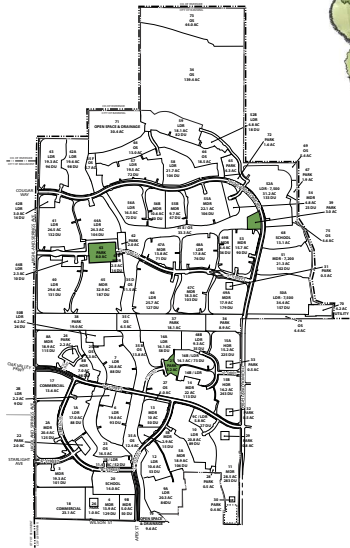
■ Potential Neighborhood Park

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LEGEND

- | | |
|----------------------------------------------------|-------------------|
| ① OPEN TURF AREA | ⑥ PERIMETER FENCE |
| ② RESTROOM BLDG. W/
POOL EQUIPMENT &
SHOWERS | ⑦ POOL DECK |
| ③ LOW WALL W/ SIGN | |
| ④ SHADE STRUCTURE | |
| ⑤ DINING AREA | |

REC. & OS KEY MAP



■ Potential Neighborhood Recreation Park

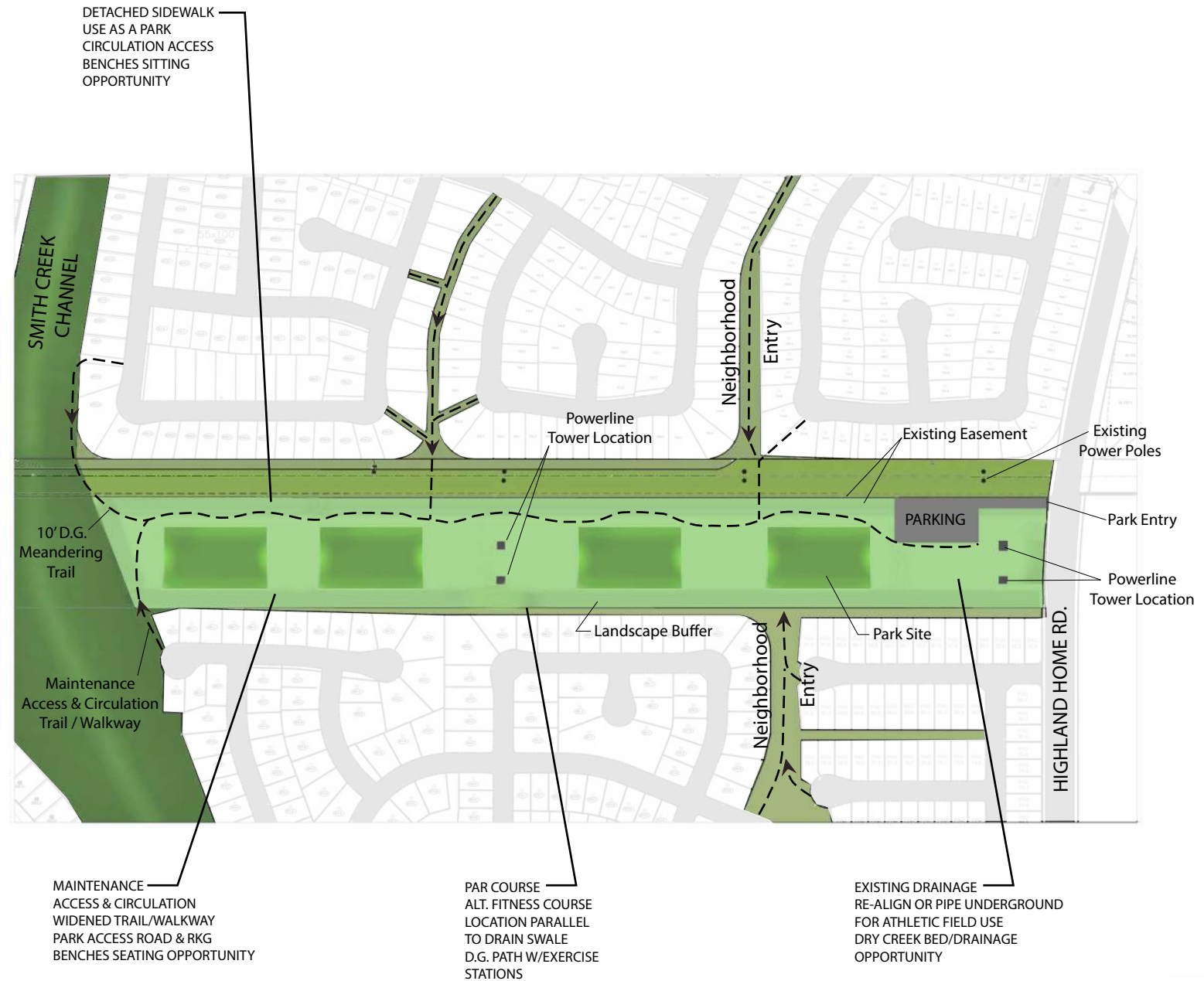
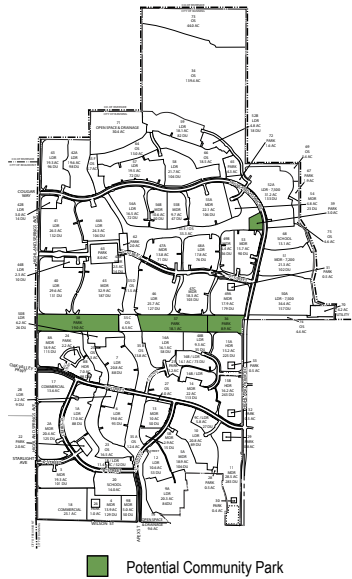


PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Neighborhood Recreation Park Concept

EXHIBIT 4.8E

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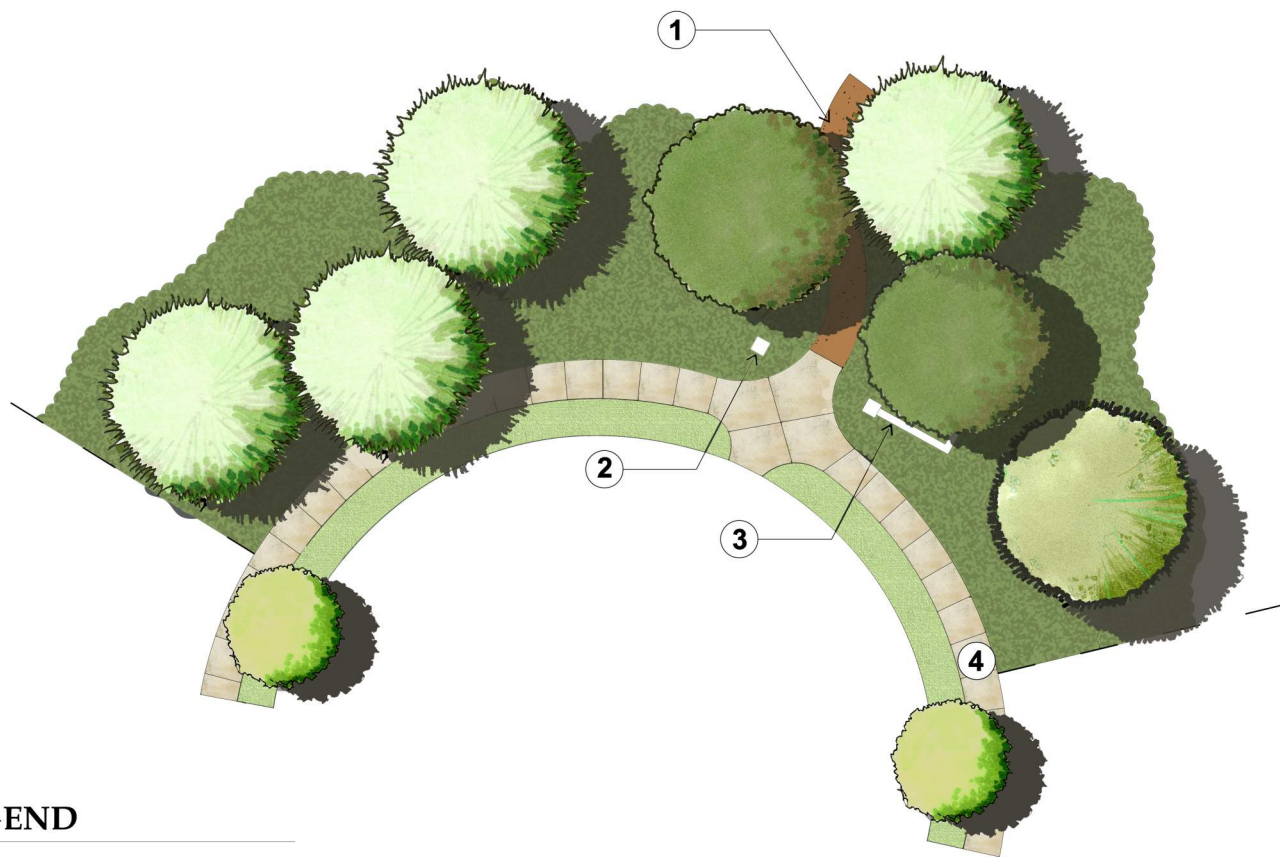


PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Community Park Concept

EXHIBIT 4.8F

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LEGEND

- ① TRAIL
- ② TRAILHEAD MONUMENT
- ③ LOW STONE WALL & PILASTER
- ④ CONCRETE SIDEWALK



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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Planning Area 19 South Channel Landscape Concept Plan

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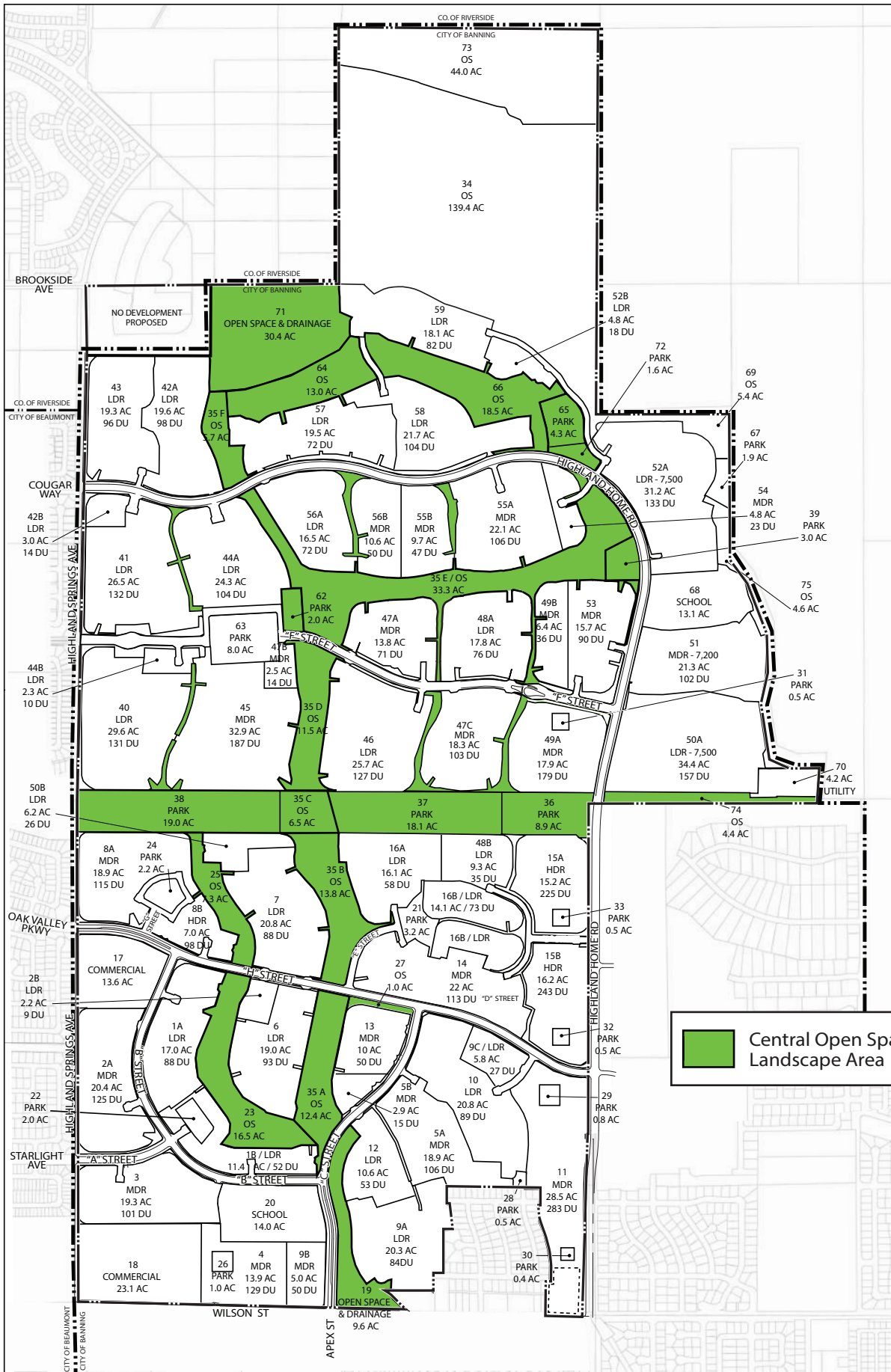


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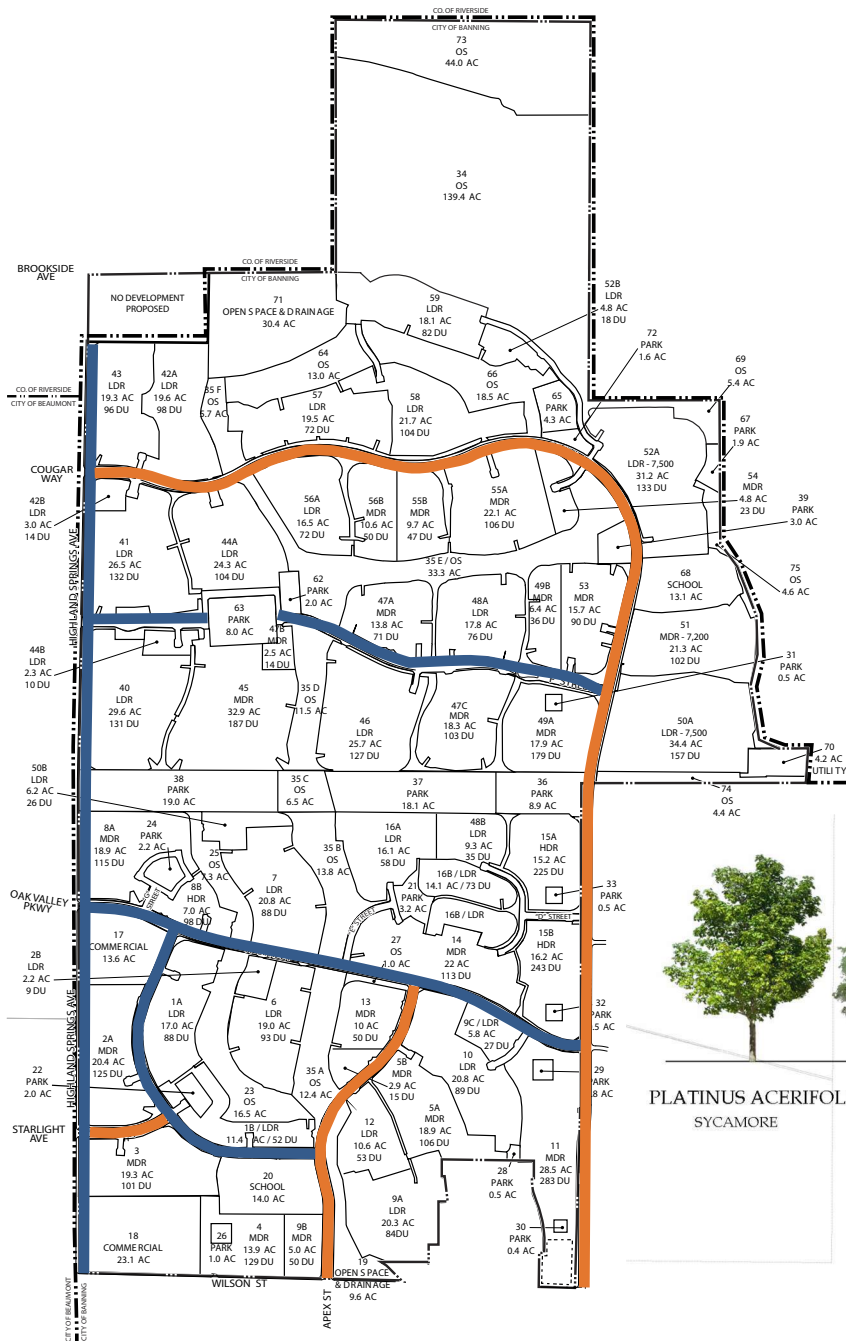
- ① CONNECTING TRAIL & MAINTENANCE ROAD
- ② ADA ACCESS PATH POTENTIAL
- ③ MEANDERING STAIRCASE POTENTIAL
- ④ INFORMATION KIOSK POTENTIAL
- ⑤ MAINTENANCE ROAD & TRAIL

NOTE:
ILLUSTRATION REFLECTS A POTENTIAL WET CONDITION IN BASIN FROM SIGNIFICANT STORM EVENT. BASIN MAY BE FREQUENTLY DRY AT OTHER TIMES.

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LEGEND

PRIMARY	BACKGROUND	ACCENT
PLATANUS ACERIFOLIA	PINUS SP.	QUERCUS SP.
SCHINUS MOLLE	PINUS SP.	QUERCUS SP.



PLATANUS ACERIFOLIA
SYCAMORE



SCHINUS MOLLE
PEPPER TREE



QUERCUS SP.
OAK



PINUS SP.
PINE

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

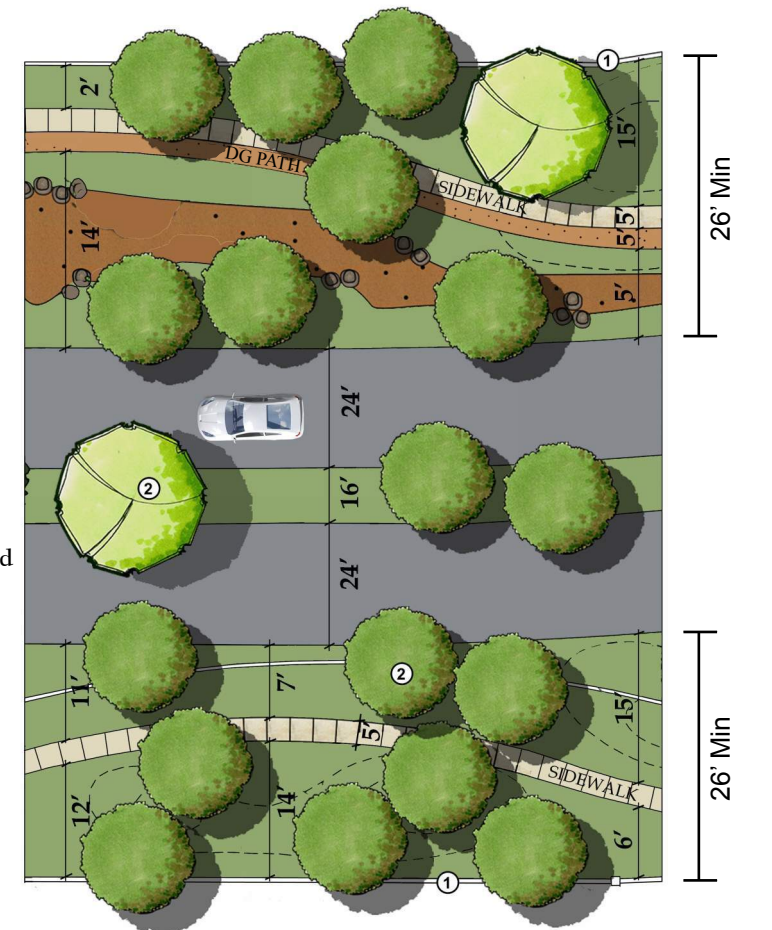
Street Tree Master Plan

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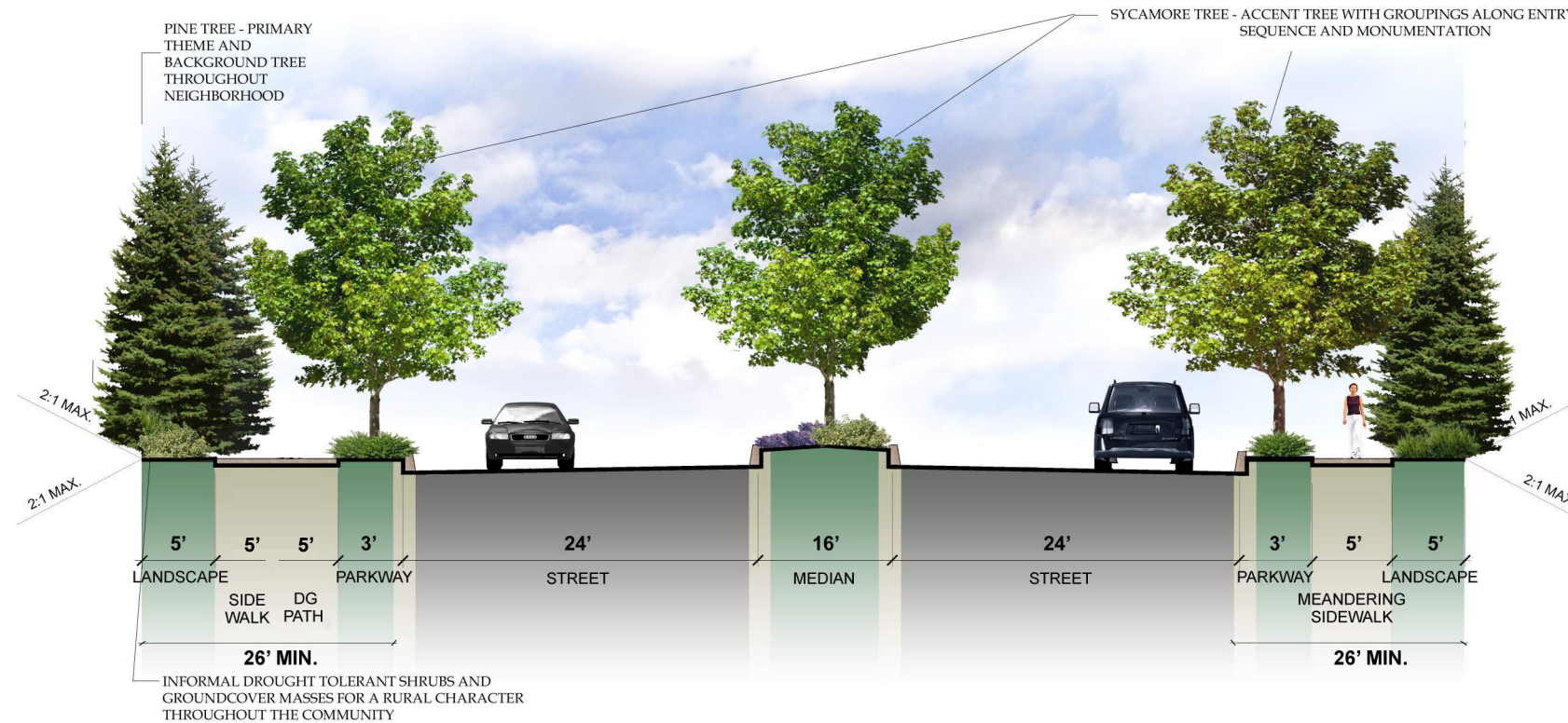
LEGEND

- ① WATER FEATURE
- ② STONE SIGN WALL
- ③ LOW STONE WALL
- ④ SIDEWALK
- ⑤ FENCE
- ⑥ DRY STREAM
- ⑦ BERMS & MOUNDS
- ⑧ PERIMETER WALL
- ⑨ SPECIMEN TREE (TYP.)
- ⑩ IDENTIFICATION WALL & PILASTER
- ⑪ BACKGROUND SCREEN TREE
- ⑫ Decorative street paving in the form of stamped and/or colored concrete or asphalt (no pavers) shall be provided on "A" Street primary entries at a minimum length of 50'.



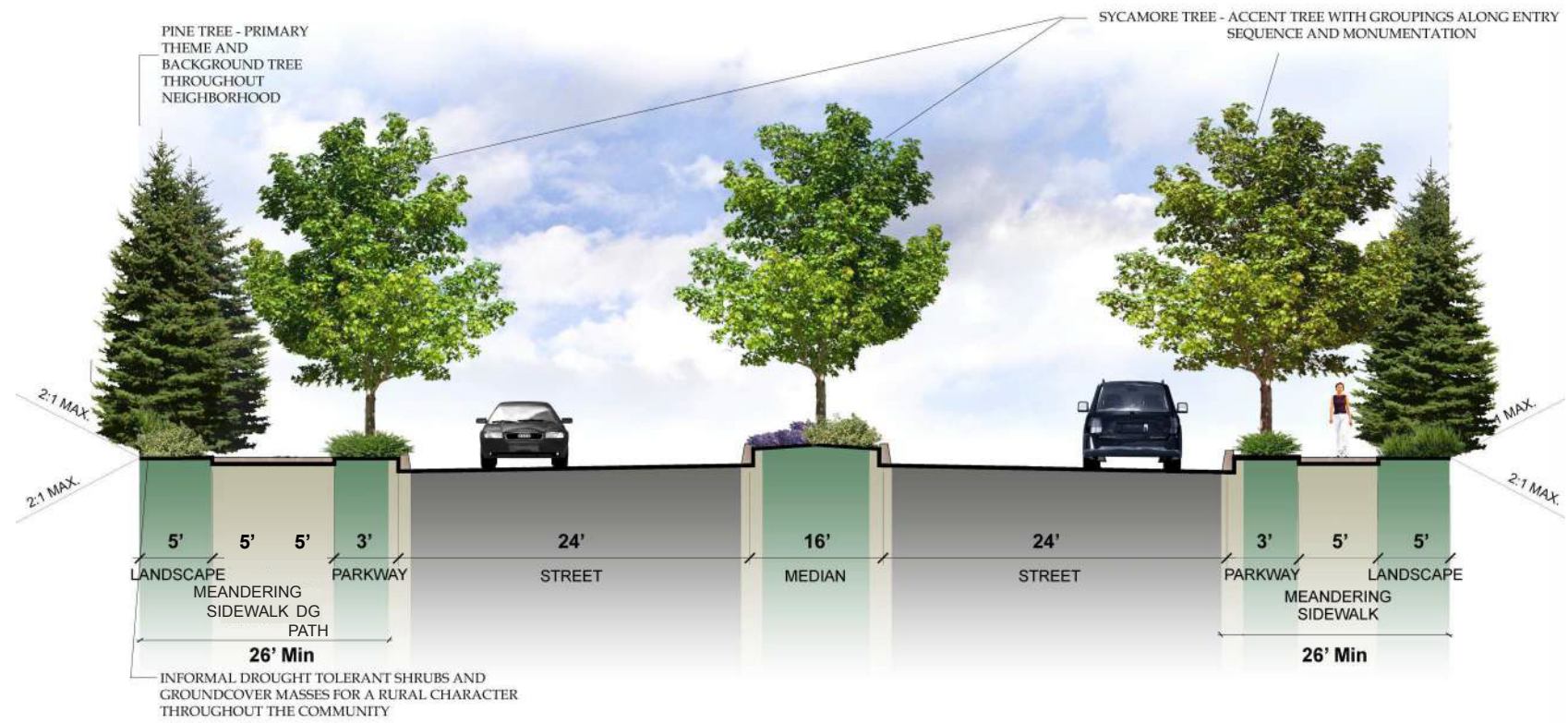
LEGEND

- ① PERIMETER WALL
- ② STREET TREES INFORMALLY SPACED ALONG MEDIAN



*LANDSCAPE AND PARWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

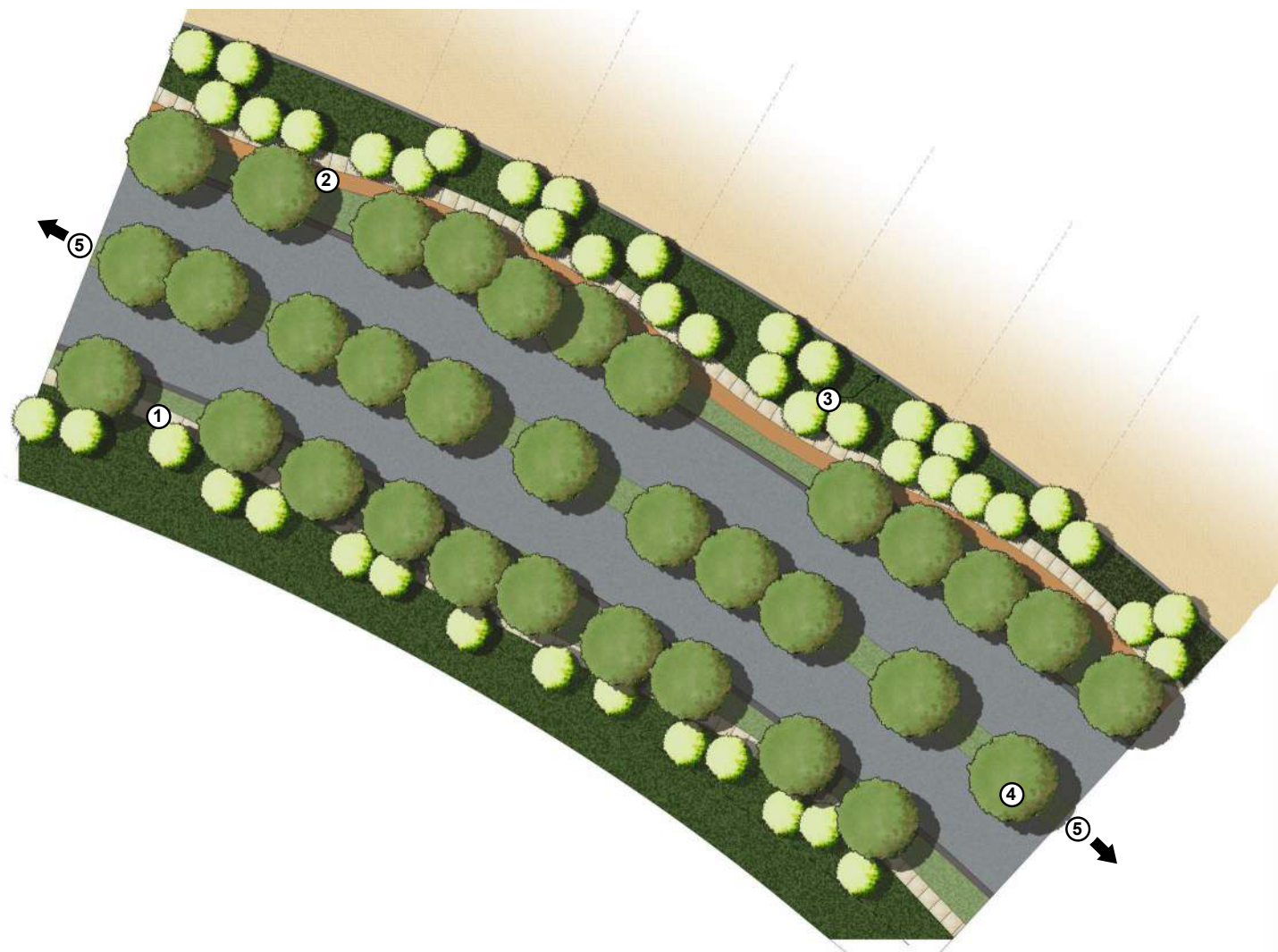
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*SIDEWALK SHALL BE ALLOWED TO MEANDER TO CURB ADJACENT IN LIMITED AREAS TO ALLOW FOR MEANDERING OF SIDEWALK WITHIN PARKWAYS. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

LEGEND

- ① SIDEWALK
- ② DG PATH
- ③ PERIMETER WALL
- ④ STREET TREES INFORMALLY SPACED ALONG MEDIAN



PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Streetscape Concept Plan View and Section - "H" Street (From Highland Springs Ave to "B" Street)
"C" Street (From Wilson Street to "B" Street)

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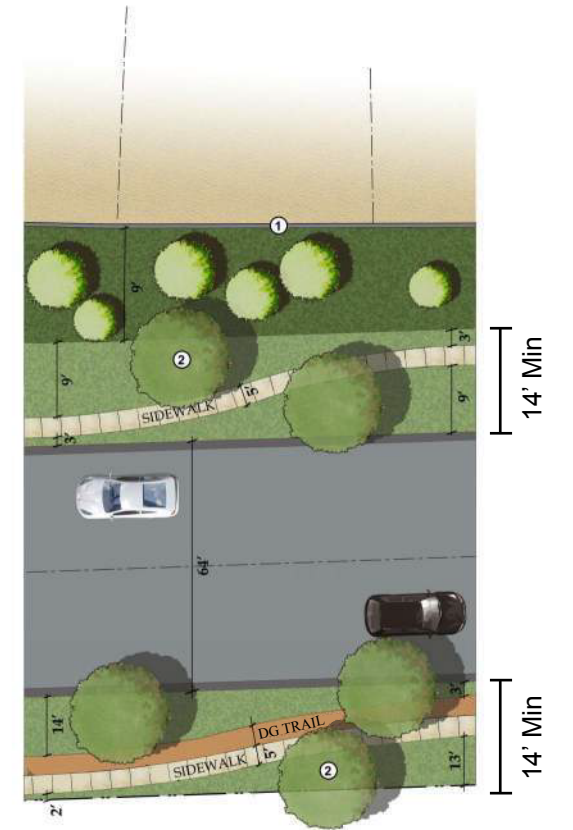
LEGEND

- ① BACKGROUND TREE
- ② PERIMETER WALL
- ③ STREET TREE
- ④ SIDEWALK
- ⑤ SIDEWALK / DG TRAIL
- ⑥ R.O.W.

A RAISED MEDIAN SHALL BE USED AT THE ENTRY ON "H" STREET OFF OF HIGHLAND HOME ROAD. RAISED MEDIANS MAY BE USED ELSEWHERE ON THESE ROAD SEGMENTS WHERE FEASIBLE



*SIDEWALK SHALL BE ALLOWED TO MEANDER TO CURB ADJACENT IN LIMITED AREAS TO ALLOW FOR MEANDERING OF SIDEWALK WITHIN PARKWAYS. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.



LEGEND

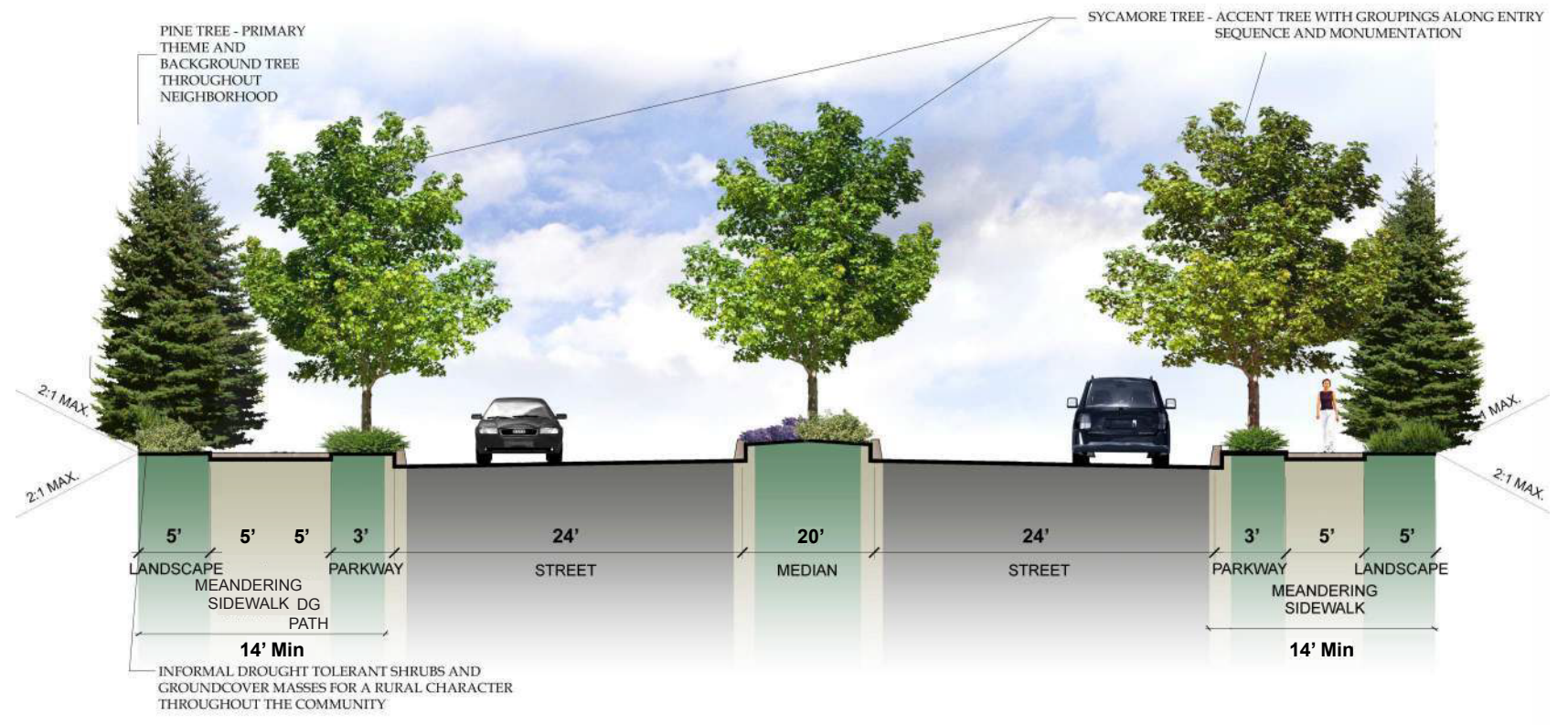
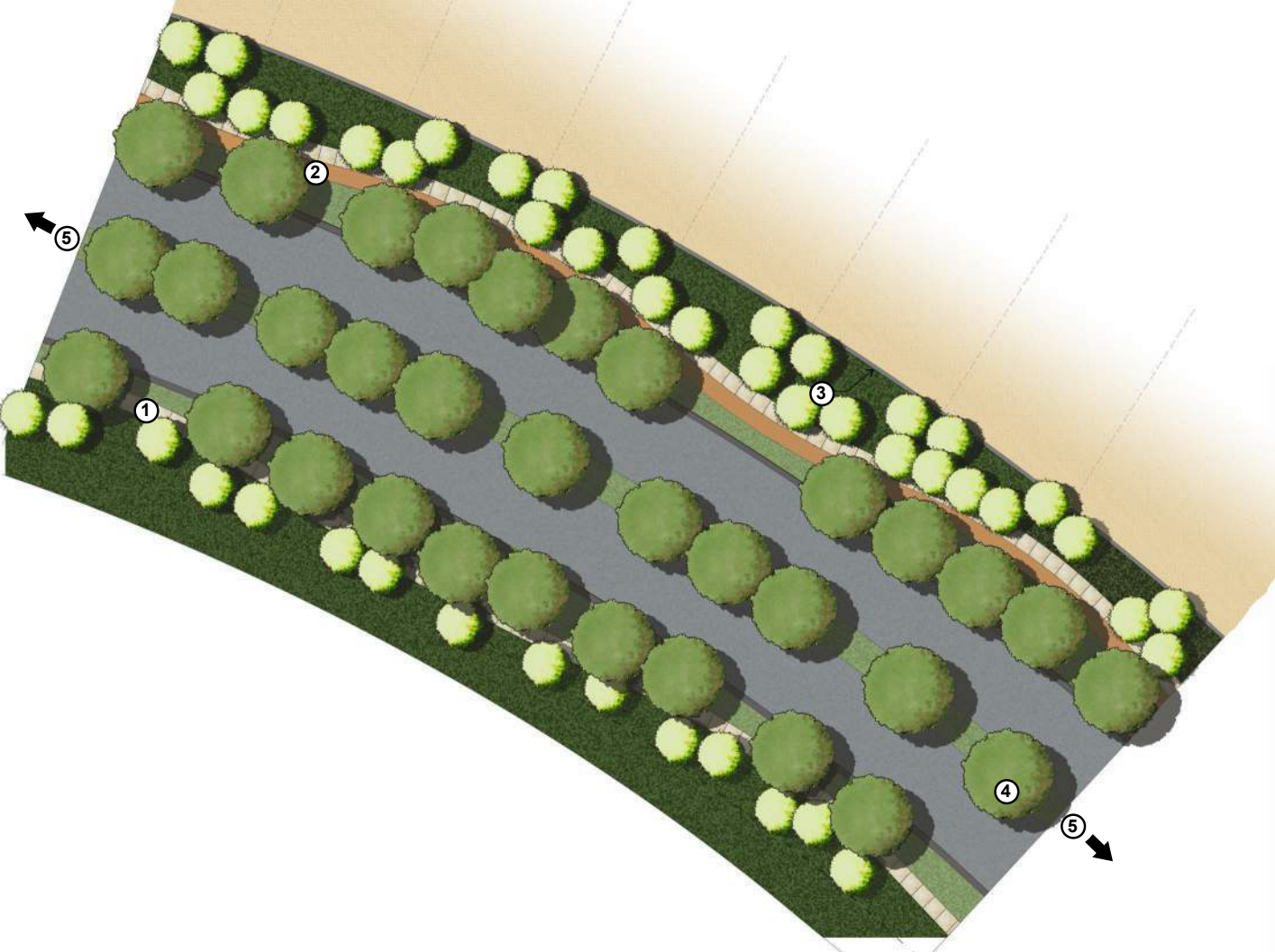
- ① PERIMETER WALL
- ② STREET TREES INFORMALLY SPACED ALONG MEDIAN

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Streetscape Concept Plan View and Section

- "H" Street ("B" Street to Highland Home Rd.)
- "B" Street
- "C" Street ("B" Street to Oak Valley Pkwy.)
- "F" Street (PA 63 to Highland Home Rd.)

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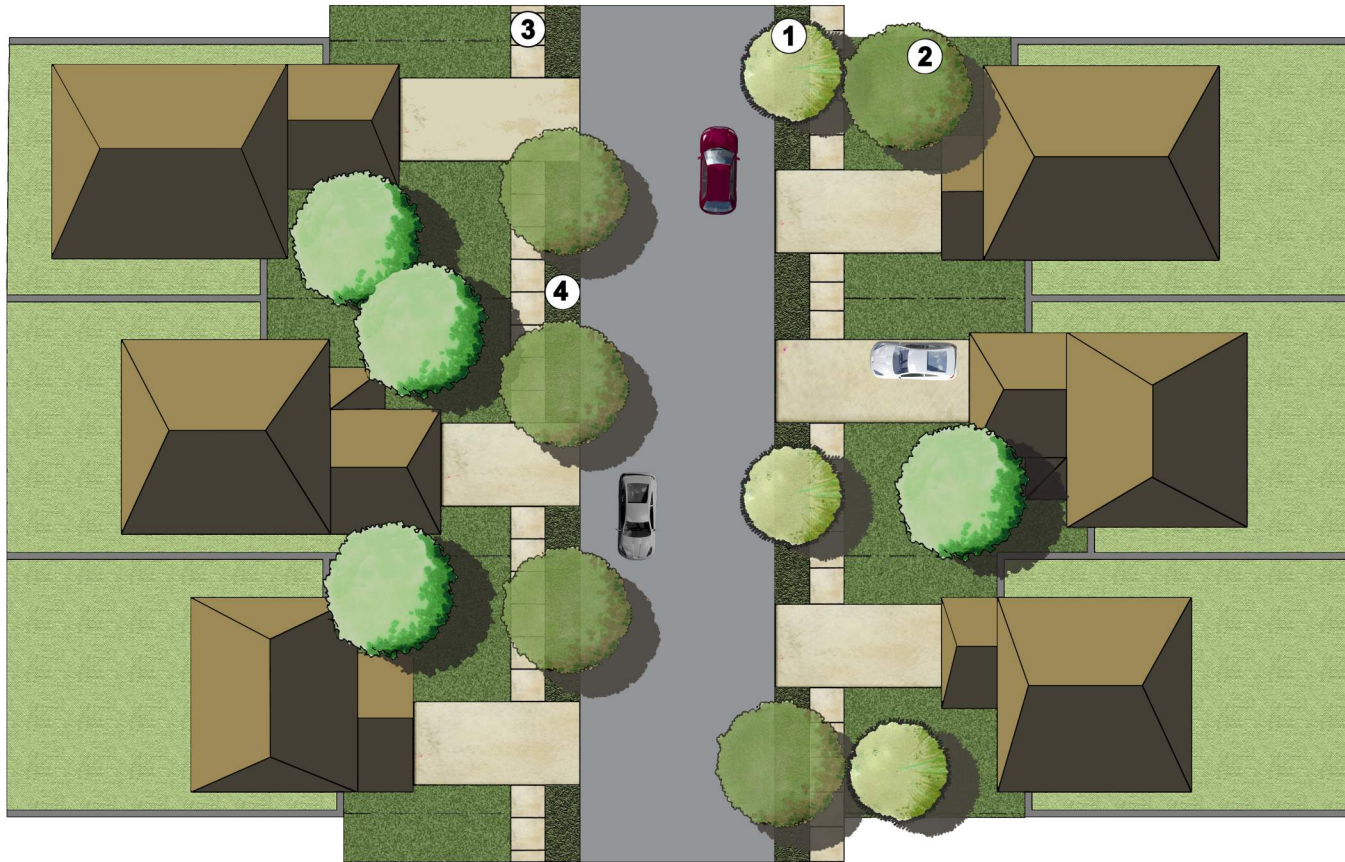


*SIDEWALK SHALL BE ALLOWED TO MEANDER TO CURB ADJACENT IN LIMITED AREAS TO ALLOW FOR MEANDERING OF SIDEWALK WITHIN PARKWAYS. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

LEGEND

- ① SIDEWALK
- ② DG PATH
- ③ PERIMETER WALL
- ④ STREET TREES INFORMALLY SPACED ALONG MEDIAN
- ⑤ Decorative street paving in the form of stamped and/or colored concrete shall be provided on 'B', 'C' and 'F' Streets secondary enteries at a minimum length of 35'.

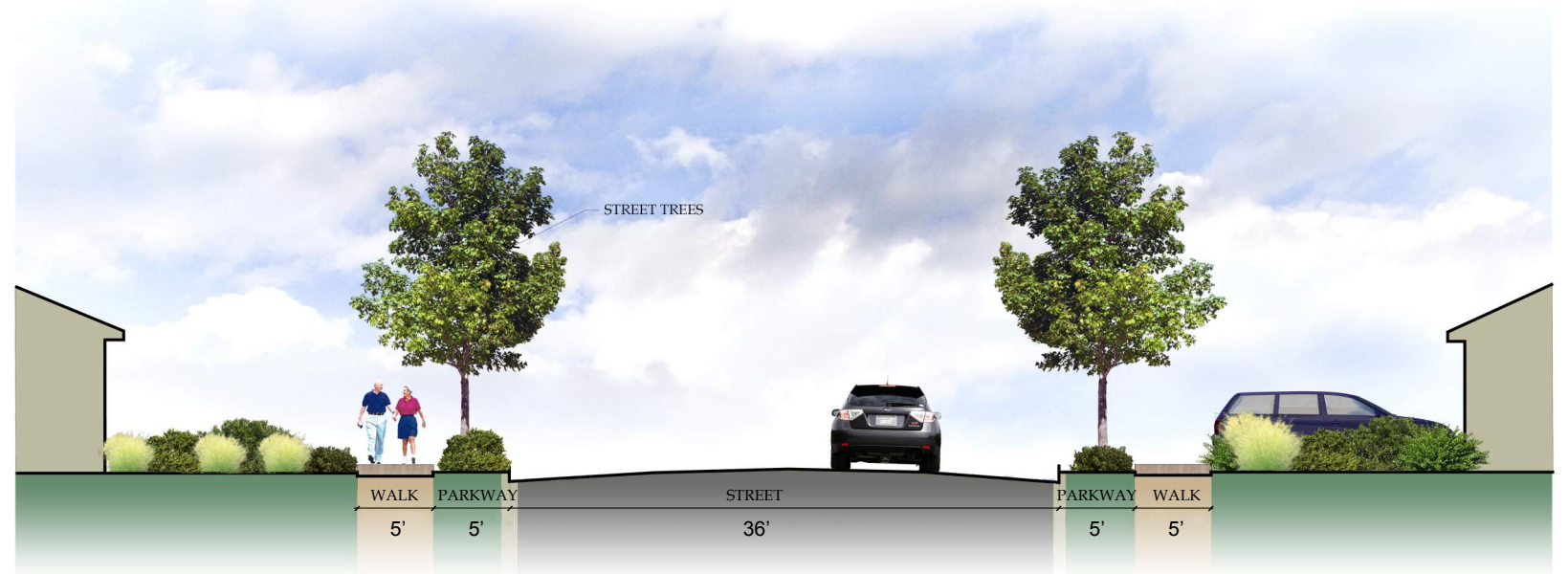
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LEGEND

- ① STREET TREE
- ② FRONTYARD TREE
- ③ SIDEWALK
- ④ STREET

NOTE: SIDEWALKS ON LOCAL STREETS MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.



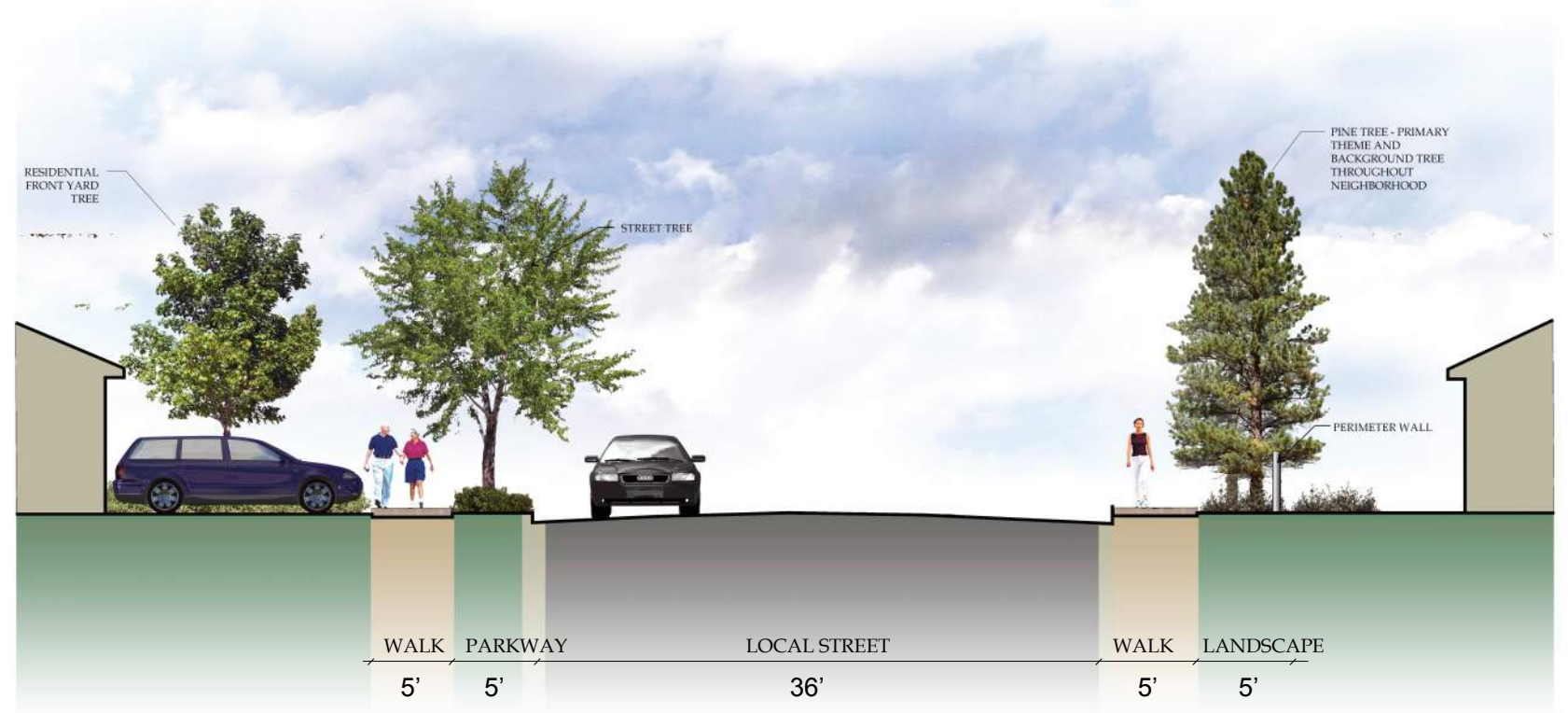
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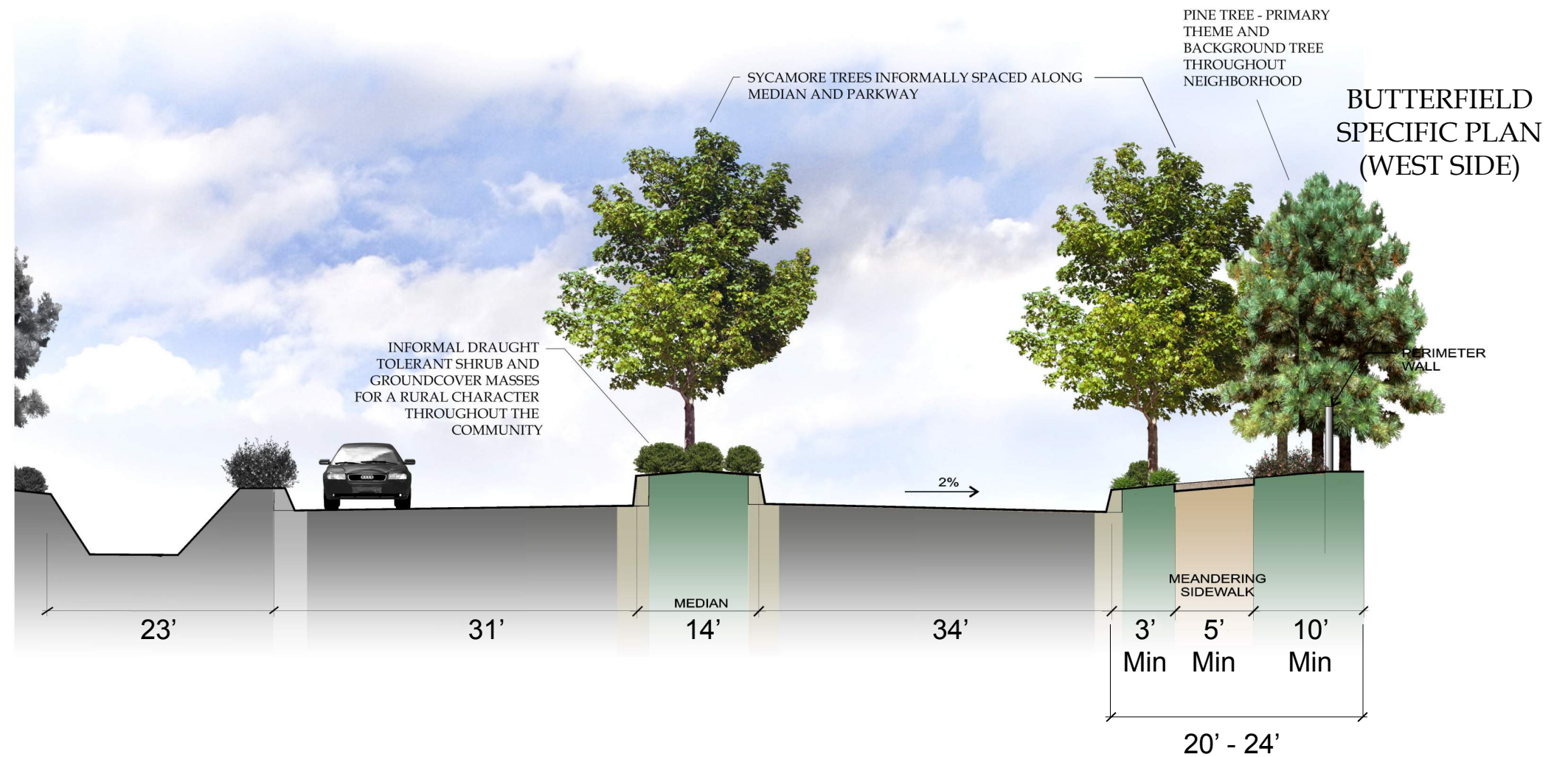
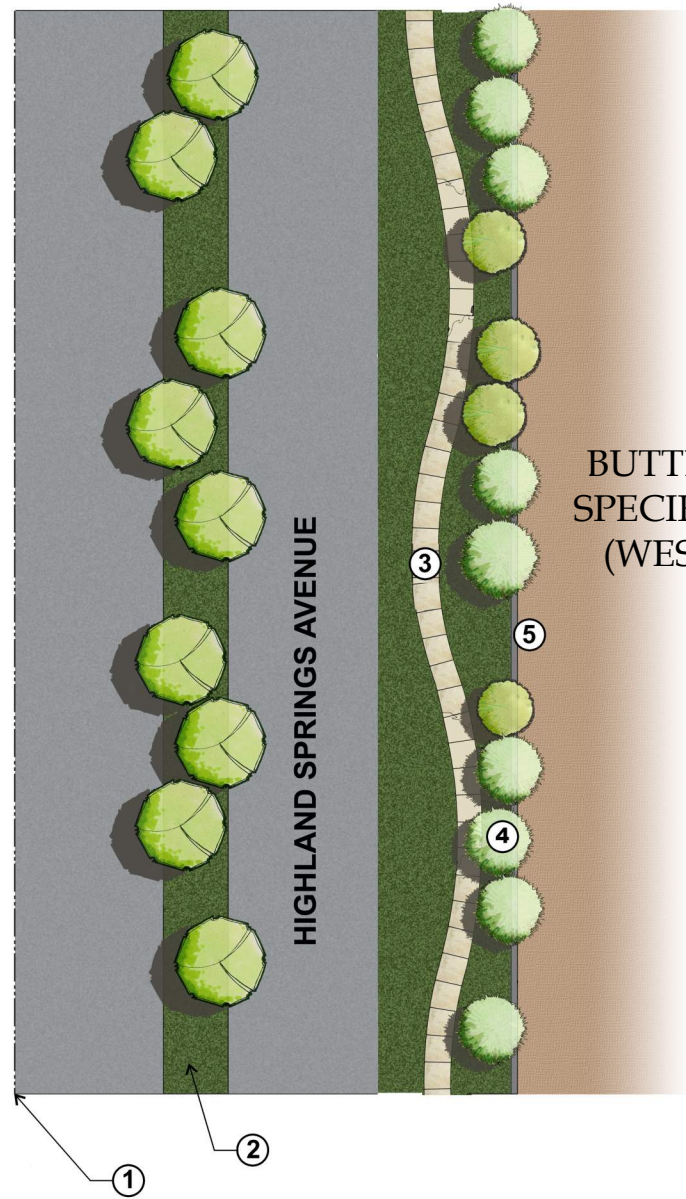
LEGEND

- ① STREET TREE
- ② SIDEWALK
- ③ CMU WALL
- ④ SCREEN TREE

NOTE: SIDEWALKS ON LOCAL STREETS MAY BE LOCATED ADJACENT TO THE CURB OR MAY BE SET OFF OF THE CURB, SEPARATED BY A LANDSCAPED STRIP.

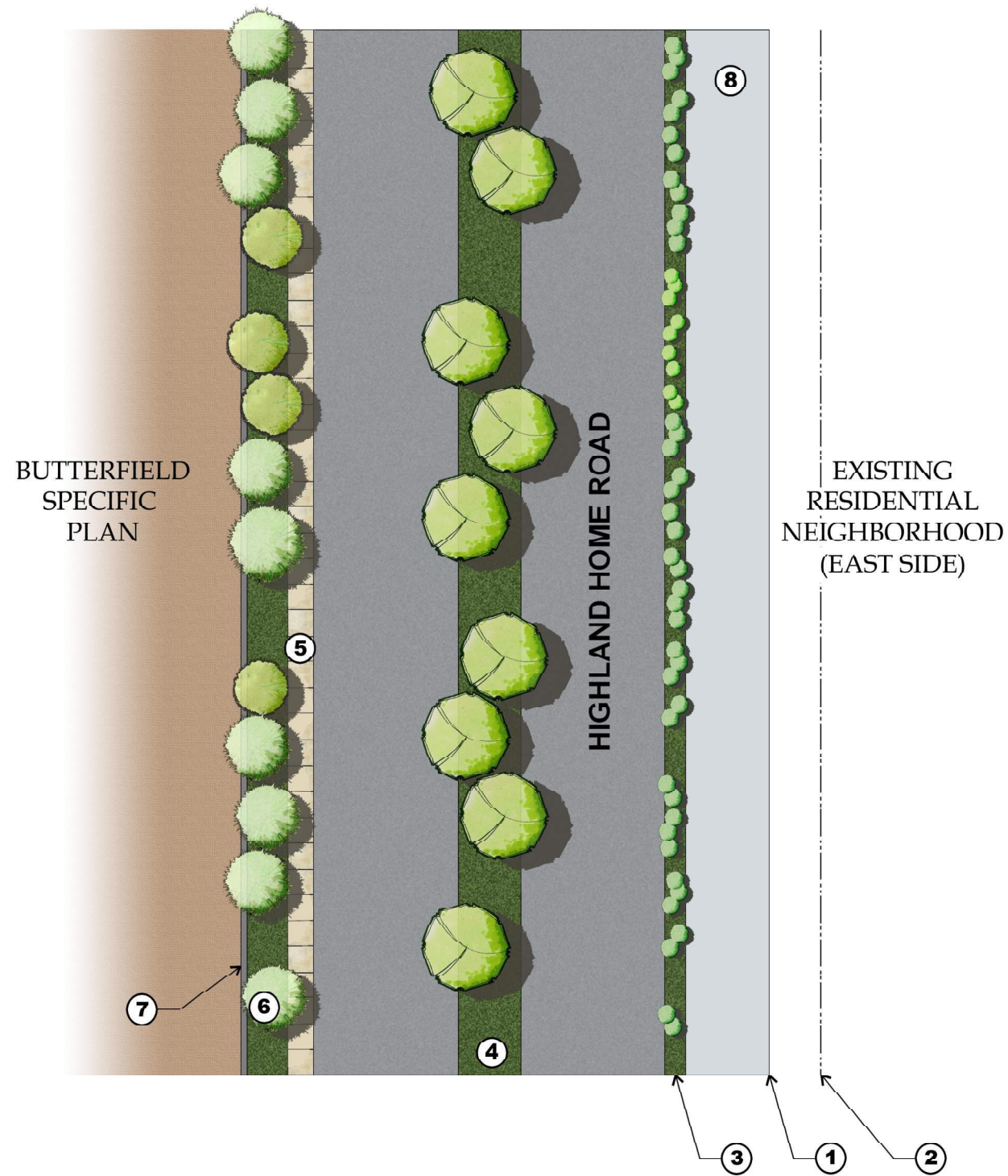


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*LANDSCAPE AND PARKWAY AREAS CAN BE REDUCED TO MINIMUM OF 2-3' BETWEEN THE WALKWAY AND ROADWAY AND 5' BETWEEN THE WALKWAY AND THE RIGHT OF WAY. (SEE EXHIBIT 3.3B, ROADWAY CROSS SECTIONS) TO ALLOW FOR FURTHER SIDEWALK AND AND PATHWAY MEANDERING. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

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LEGEND

- ① EXISTING CURB
- ② EXISTING R.O.W.
- ③ 4' WIDE PLANTING AREA WITH HEDGE
- ④ MEDIAN TREE
- ⑤ SIDEWALK
- ⑥ STREET TREES INFORMALLY SPACED
- ⑦ PERIMETER WALL
- ⑧ EXISTING ROAD

NOTES:

This section of Highland Home Road is from north of Wilson Street to south of proposed H Street.

Exhibit 3.3B provides another alternative section for this portion of Highland Home Road (Alternative B) that maintains existing Pershing Channel in the median and eliminates the frontage drive on the east side.

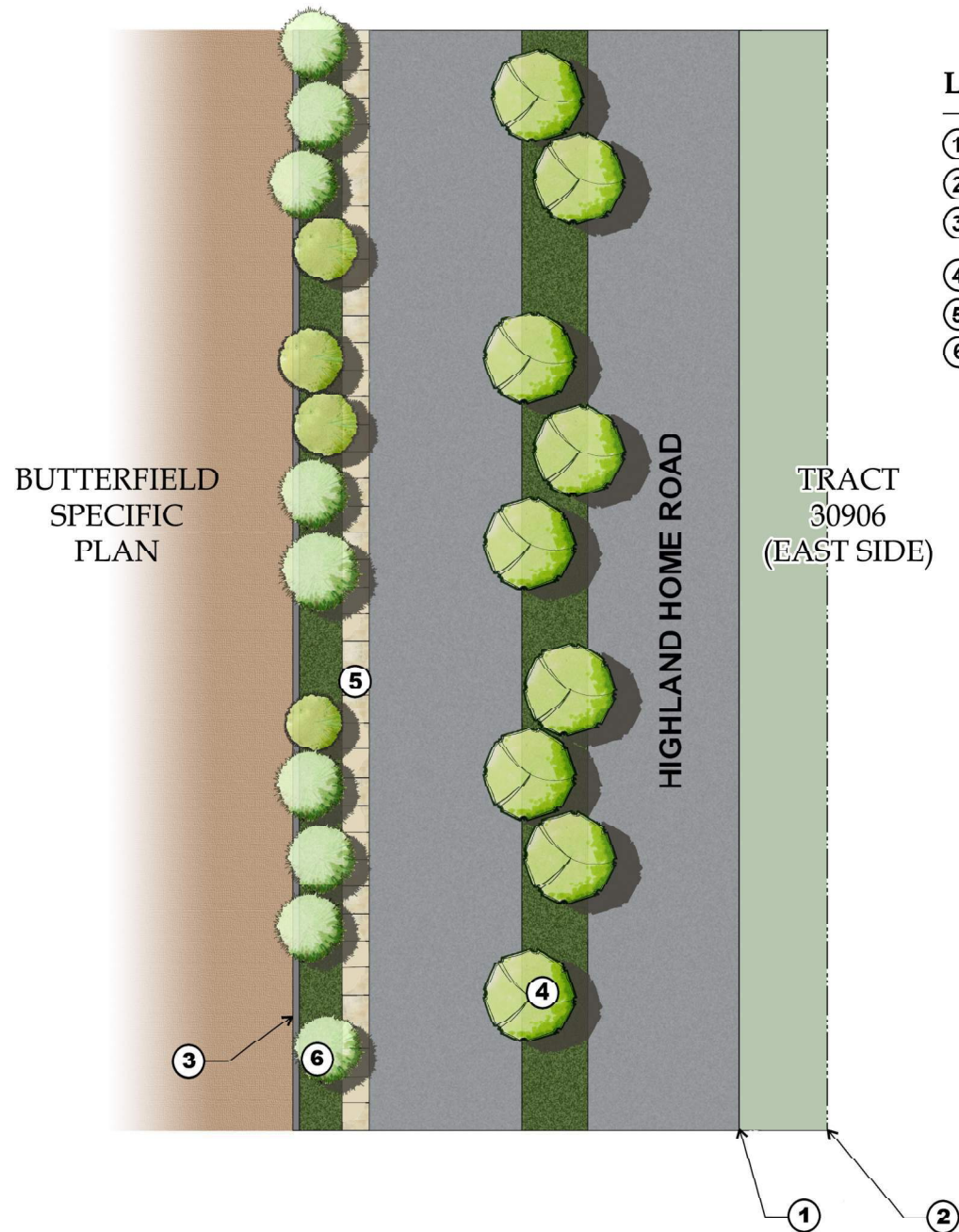
BUTTERFIELD SPECIFIC PLAN



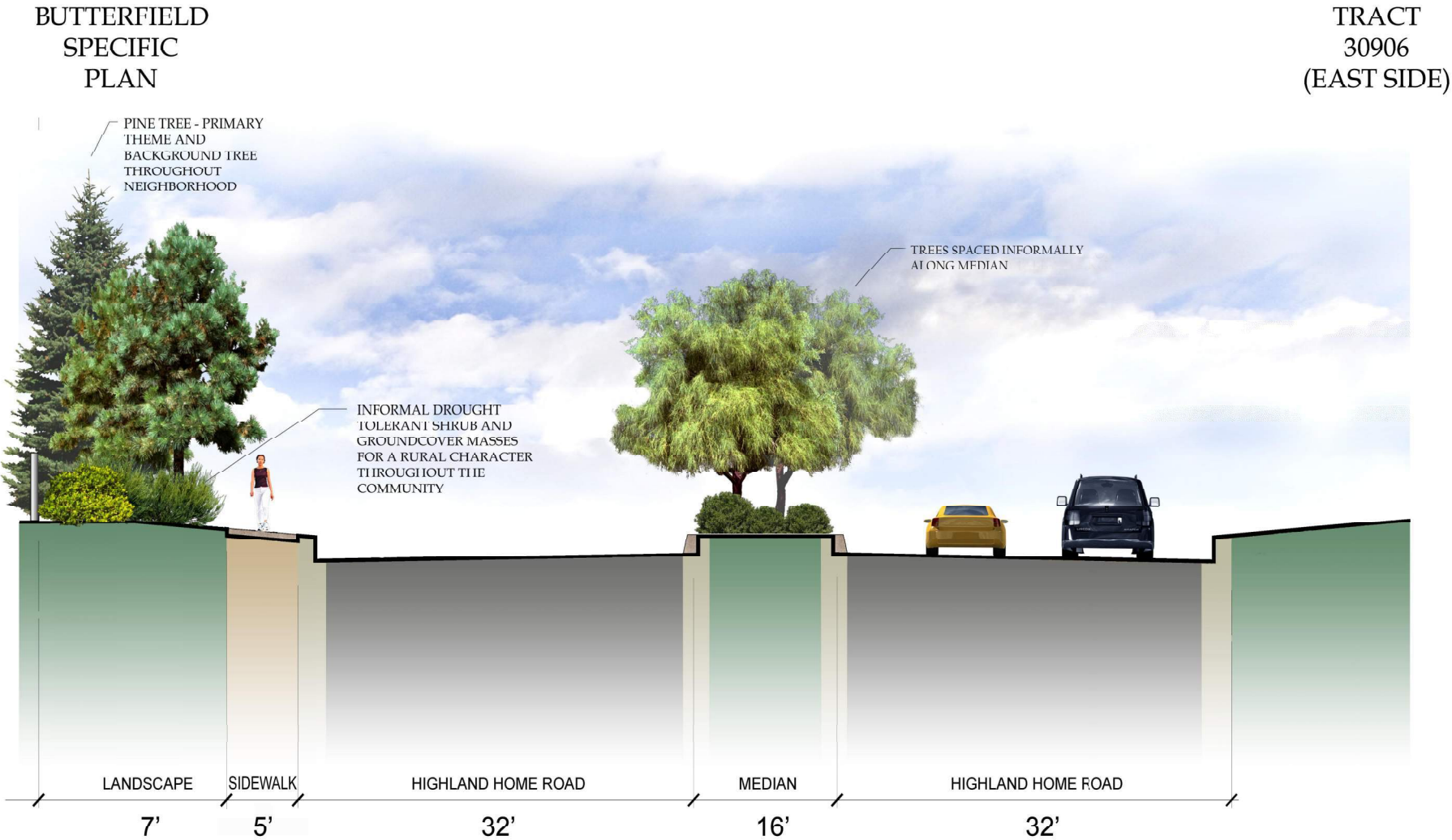
PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Typical Streetscape Concept Plan View and Section - Highland Home Road (Southern Portion)

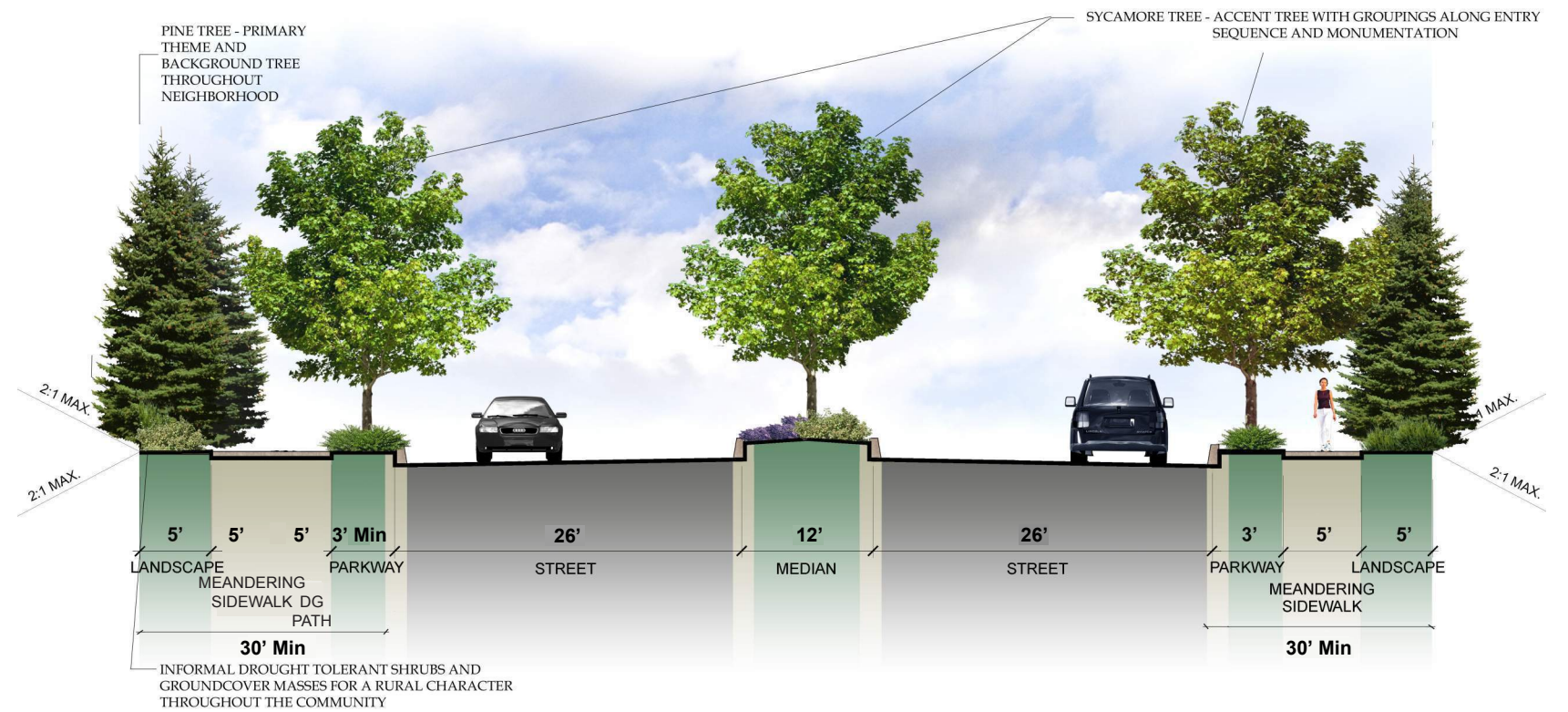
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NOTE: THIS SECTION OF HIGHLAND HOME ROAD IS FROM PROPOSED H STREET TO SCE EASEMENT.

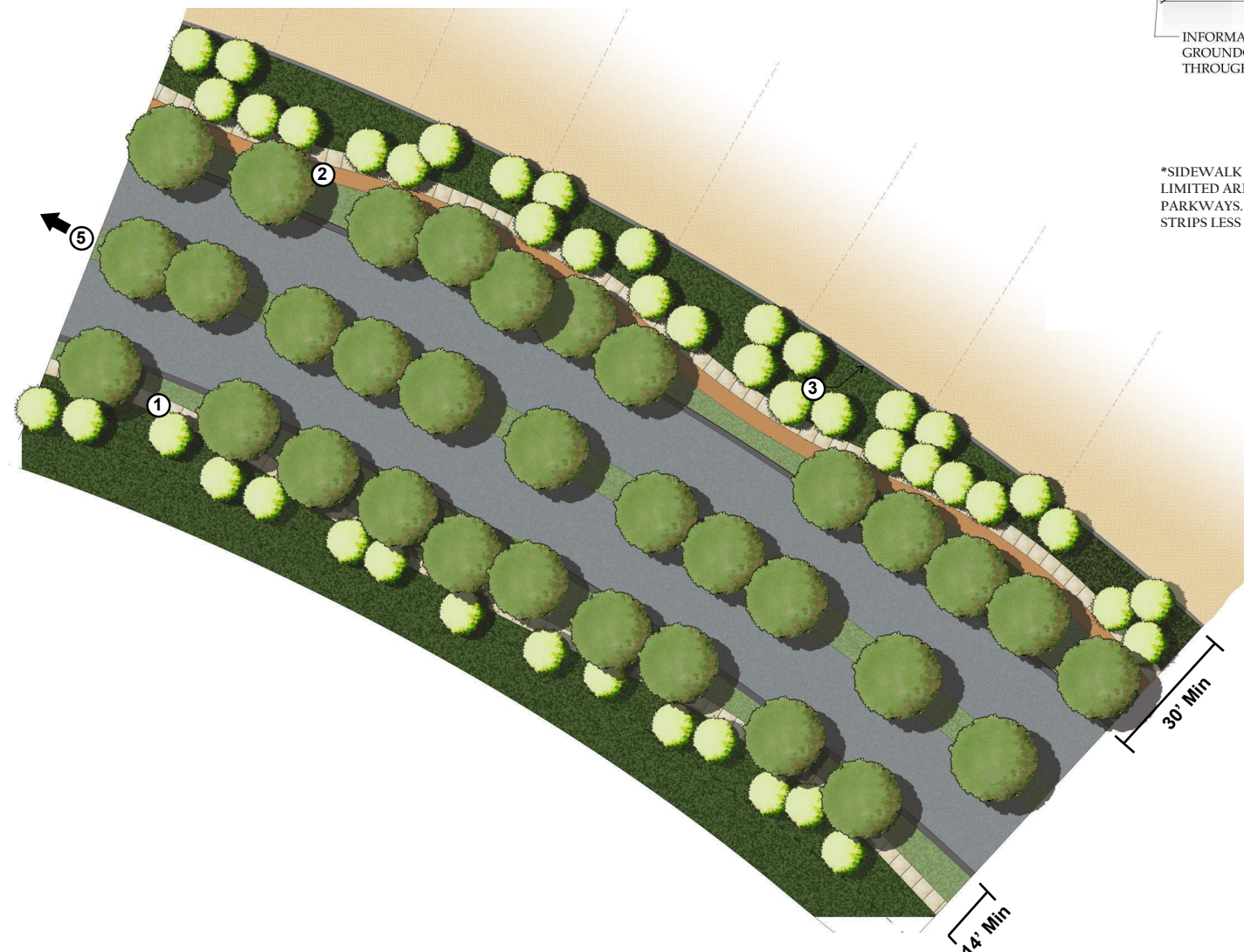


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*SIDEWALK SHALL BE ALLOWED TO MEANDER TO CURB ADJACENT IN LIMITED AREAS TO ALLOW FOR MEANDERING OF SIDEWALK WITHIN PARKWAYS. TREES SHALL NOT BE LOCATED IN LANDSCAPED PARKWAY STRIPS LESS THAN 5' IN WIDTH.

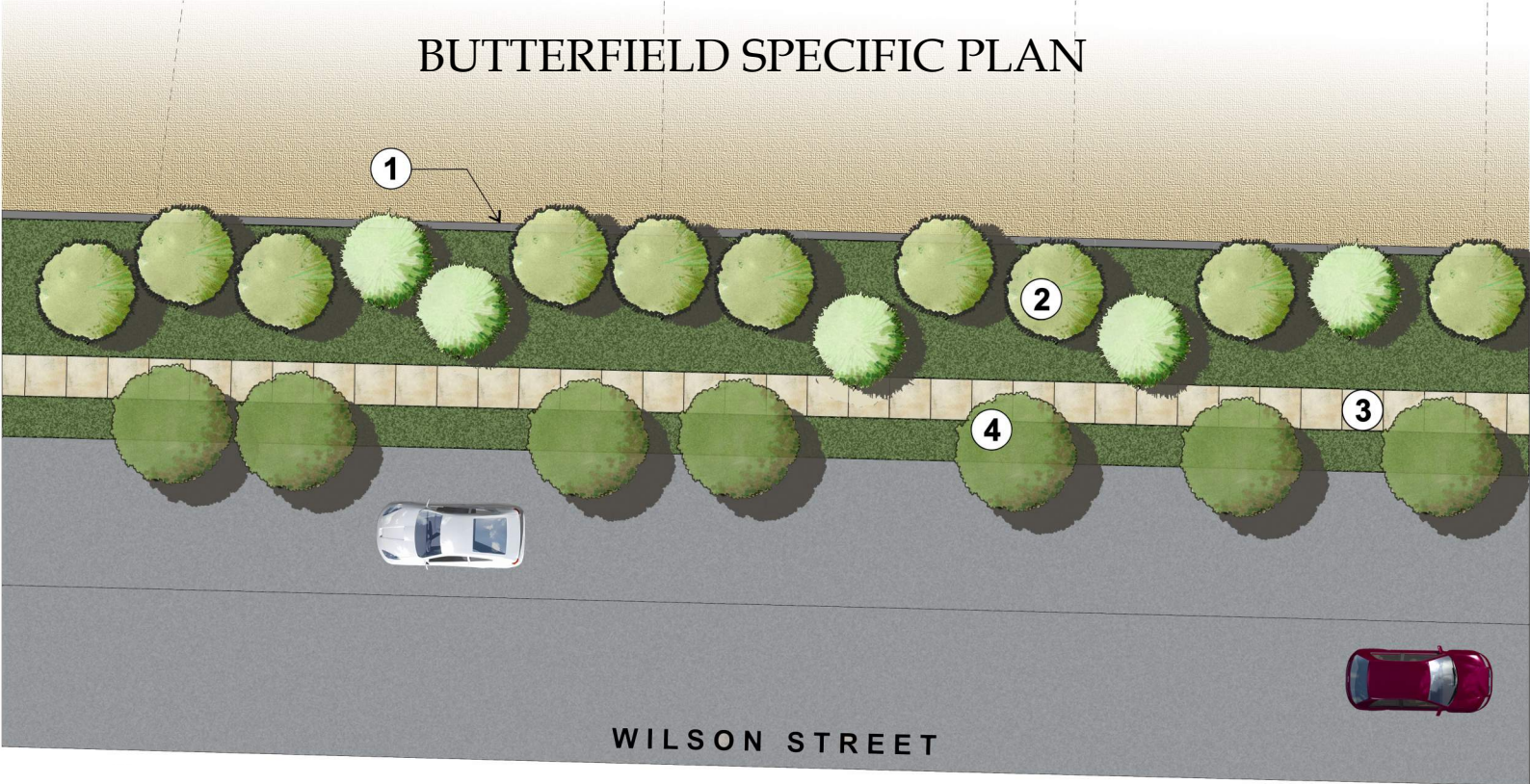
*A RAISED MEDIAN SHALL BE USED AT THE ENTRY OFF OF HIGHLAND SPRINGS AVE. RAISED MEDIANS MAY BE USED ELSEWHERE ON THESE ROAD SEGMENTS WHERE FEASIBLE. A PAINTED MEDIAN IS ACCEPTABLE OTHERWISE



LEGEND

- ① SIDEWALK
- ② DG PATH
- ③ PERIMETER WALL

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NOTES: This section of Wilson Street is the north side from Highland Springs Avenue to proposed C Street.

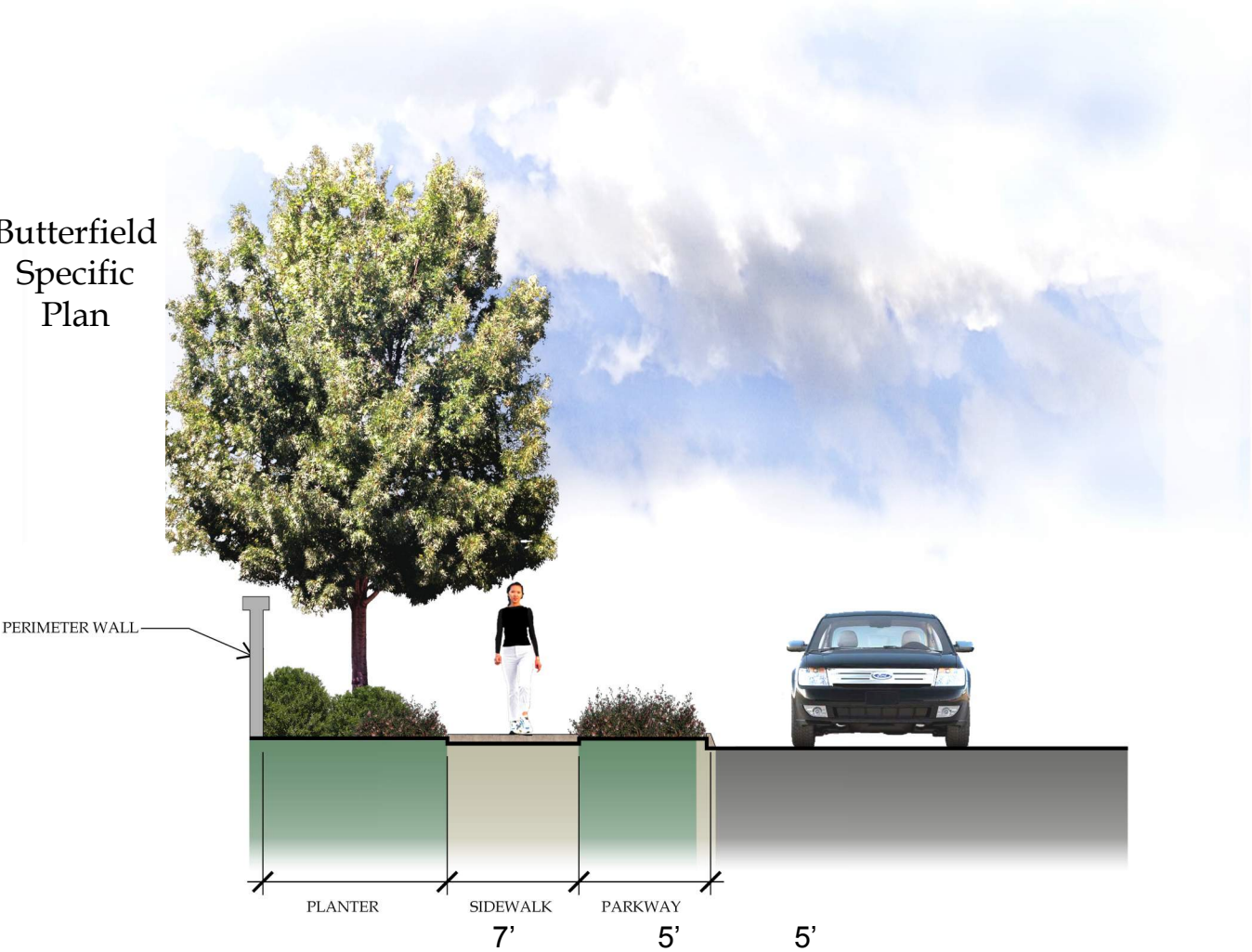
These dimensions are typical of the main westerly length of Wilson Street within the Specific Plan area. For the easterly extent of Wilson Street, from approximately 475' west of Highland Home Road to Highland Home Road, 3' of landscaping and a 5' sidewalk would be provided between the northernly proposed right-of-way line and the existing curb. Please refer to Exhibit 3.3A for further details.

A raised landscaped median will be added to the Wilson Street fronting the Project site where appropriate as determined by the City Public Works Director.

LEGEND

- ① PRODUCTION WALL
- ② BACKGROUND TREE
- ③ SIDEWALK
- ④ STREET TREES

Butterfield Specific Plan



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4.3.8 MODEL HOME SITES

Preliminary plans for Model Home sites must be submitted for City approval. The following minimum requirements will apply:

- Model Home Sites must comply with all City, State, Federal, and American Disability Act (ADA) requirements.
- All yards, common areas and open spaces within a model home area, including parking areas, shall be fully landscaped.
- Minimum tree size: 24" box.
- At a minimum, five 24-inch box trees and one 36-inch box tree shall be installed in the front of the Model Home sites in addition to other full landscaping of the site.

4.3.8.1 LIGHTING

Lighting design and placement can animate and enliven a community. Appropriate lighting is essential to create an inviting evening atmosphere while protecting nighttime views. Lighting the night environment, using Dark Sky Association (IDA) principles, includes minimizing glare, obtrusive light and artificial sky glow by limiting outdoor lighting that is misdirected, excessive or unnecessary.

In the Butterfield community consideration shall be taken to respect the rural nature of the area and control sky glow by adhering to the following guidelines:

- All lighting will comply with Dark Sky principles.
- Architectural lighting and landscape accents shall be aesthetically pleasing and non-obtrusive.
- Shielded lights should be utilized throughout the community to reduce light glare.
- All lighting shall be designed and located to reduce power consumption to its lowest practical level, direct light rays toward the unit and be compatible with the lighting on adjacent units.
- Accent lighting should be installed at primary and secondary entry monuments.
- Streetlights shall conform to the overall project theme and City standards.
- All exterior lighting for identification, pools, water features, and landscaping should be subdued and indirect to prevent spillover onto adjacent lots and streets.
- Exposed bulbs, spotlights, and reflectors are prohibited.

4.3.8.2 SIGNAGE

Monument signage containing developer/builder logos and information should be located at the primary entrance. All signage must be compatible with the architectural style of the development and must provide a consistent image that reflects the overall vision of Butterfield. Height and width of the signs should be eye-catching, easy to read and avoid blocking critical lines of sight. Refer to City of Banning Municipal Code for allowed signs within Butterfield.

The following signs will not be permitted:

- Changeable letter signs
- Roof-mounted signs
- Cloth, paper, or fabric signs except as allowed temporary signs

4.3.8.3 SIGNAGE LOCATION AND CONTENT

- Locate signage for easy viewing from fronting streets.
- Use monument signs to address vehicular traffic.
- Pedestrian scale signs are allowed.
- Limit sign information oriented to vehicular traffic.
- Avoid large amounts of sign information using small letters.

The design and location of all signage within the Butterfield Project shall conform to guidelines to be developed for the Master Marketing Program. All planning area sign designs and specifications must be submitted to the City for approval and shall otherwise comply with the Banning Municipal Code.

4.4 COMMUNITY ARCHITECTURE - NON-RESIDENTIAL

The objective of the Non-Residential Design Guidelines is to provide a design framework where developers and designers can express their creativity on individual projects without compromising the overall community character. The key to a successful project is the development of an appropriate architectural image and design palette that conveys that community character. These general guidelines apply to all commercial and community structures within Butterfield.

4.4.1 Guidelines Specific to Community Structures

Community structures, such as recreation buildings and park structures, are considered to be the cornerstones of the community and shall be compatible with the California ranch character of Butterfield. Community structures may use appropriate materials such as, but not limited to, stucco, siding, stone and brick masonry, and decorative wrought iron.

Outdoor trash enclosures, when used, shall be screened from public view and adjacent residences. Trelliswork over the enclosure shall be compatible with the architectural style of the primary building and is encouraged.

4.4.2 Parcels Adjacent to Residential

Commercial and community facility properties adjacent to residential uses should have additional provisions to protect nearby residential uses from excess noise, traffic and glare. The following guidelines will assist in reducing these negative impacts:

- Commercial and community facilities adjacent to residential land use areas may incorporate a six-foot high masonry wall along the property line.
- Solid property line walls are encouraged to have vines or creeping plants.
- Additional landscape is encouraged to be installed as a buffer between the residential and commercial properties.
- When possible, orient buildings and parking lots away from the property line adjacent to the residential lot.
- Deliveries for commercial and community facilities adjacent to residential uses are limited to the hours of 7:00 a.m. to 9:00 p.m.
- Egress points are encouraged to be located away from residential properties.
- Orient architectural and parking lot lighting so that glare is minimized.
- Fuel modification areas or zones shall be created adjacent to residential areas that abut areas designated potential wildland fire areas, including in temporary phased development conditions.

See Exhibits 4.22A – 4.22C for residential interface concepts with commercial, school and open space areas.

4.4.3 Massing

- In general, building forms and masses should be compatible with the architectural style of the building.
- Massing should be compatible with the community theme of California ranch.
- Building massing should express the organization and volumes within the buildings, avoiding artificial layering of elements, pop-outs, false gables, etc. except in the case of very large plan forms that may require the addition of elements to break up long wall and roof planes.
- Building mass is encouraged to create, when possible, at least one significant courtyard or plaza protected from prevailing winds and summer sun.

4.4.4 Roofs

Roofs are a dominant architectural element as viewed from across the street and from the surrounding area. The following guidelines should be applied to roofs:

- Roofs should be compatible with the community theme of California ranch.
- Rooflines should be broken into a variety of planes and forms.
- Parapet roofs are a primary solution for commercial/office buildings to provide opportunities for architectural enhancement and transitional heights between buildings.
- Introduce both gable and shed roof forms, as appropriate to the character of the architecture, to add variety and interest to the street scene.
- Architectural elements that add visual interest to the roofs are encouraged, where appropriate to the style.
- Roof materials such as flat concrete tile are encouraged.
- Roof mounted solar panels are acceptable.
- Roof materials not permitted include:
 - Wood shakes
 - Standard composition shingles
 - Bright or reflective materials (except solar panels)

4.4.5 Façade Treatment and Materials

- Primary façade elements include windows, doors, wall surfaces, pitched roofs and articulated cornices.
- The architectural treatment of the front façade and its major features should be continued around primary exposed sides of the building.
- The use of natural or natural-looking materials that suggest a connection to the land and its history are strongly encouraged.
- Provide a sense of variety and spontaneity in the streetscene to avoid monotony and repetition. For example, glass storefront displays and frequent entries also provide variety and interest.
- Wall materials used in an elevation must be compatible with the architectural style.
- Material changes must occur at logical articulations of the building wall, including inside corners.
- Heavy forged iron details used as handrails, light fixtures or hardware are strongly encouraged.

4.4.6 Windows

- Window styles should be designed in keeping with the architectural character of each building.
- Vary window header and sill heights, patterns, spacing and framing details.
- To a reasonable extent, upper-story windows should be vertically aligned with the location of windows and doors on the ground level.
- Clear and bronze-tinted glass is acceptable. Mirrored surfaces and clear anodized aluminum frames are prohibited.
- Exterior wood may be used but must be finished with paint or solid base stain.
- Horizontal slider windows and mill-finished aluminum are not permitted.
- Window proportions may be square or vertical. Horizontal groupings must be pulled together into compositions of square or vertical forms.
- Size exterior shutters in proportion to the window opening, such that if closed they would cover the window.
- Specialty windows, such as arches, half rounds, quarter circles, diamonds and rounds should be limited in their application.

4.4.7 Awnings/Canopies

- Use awnings or canopies in forms, colors and materials appropriate to the selected building style that add to and enhance the appearance of the streetscene.
- Avoid visual impairment of overall façade composition and unnecessary concealment of architectural features such as cornices, columns, pilasters or decorative details.

4.4.8 Mechanical Equipment

- Exterior components of plumbing, cooling and ventilating systems cannot be mounted on the exterior of any primary building wall.
- Mechanical equipment must be screened by a parapet wall or a similar treatment and be integrated into the architectural design of the building. The screening device must be at least the height of the mechanical equipment.
- Utilitarian drainage pipes on building facades along streets and public spaces must not be exposed. Decorative drainage pipes, where appropriate to the architectural style, are encouraged.

4.4.9 Indoor/Outdoor Spaces

- Indoor/outdoor transitional spaces are a signature element in Butterfield including commercial buildings. Covered, shaded and protected areas create visual depth and interest and provide shelter and appropriate human scaled space for users.
- All buildings, when possible, should utilize one of the following in order to provide for functional outdoor use, gathering and entry places:
 - Arcades
 - Trelliswork
 - Deep overhangs
 - Porches/verandas
 - Courtyards/gardens
 - Plazas/squares

4.5 NEIGHBORHOOD DESIGN

The goal for the design of neighborhoods as set forth in this Specific Plan is to achieve a safe and pleasant neighborhood community featuring varied architecture, and pedestrian-scaled landscapes and walkways that link community elements and amenities.

4.5.1 Neighborhood Plotting

Diversity and variety are important in Butterfield and shall be maintained in the following ways when plotting standard single family homes in the project neighborhoods:

- No home plan may be plotted more than two in a row. Reverse plots of the same plan are acceptable in minimal quantities.
- No adjacent elevations of the same style are permitted.
- Same plans may be plotted on lots across from each other, provided a different elevation style is selected for each unit.
- Identical color schemes must be separated by at least one (preferably two) adjacent lots or across the street.
- Varying the placement of living space and garages in relation to the street can create a more interesting streetscene.

4.5.2 Visible Edges

4.5.2.1 SIDE AND REAR ARTICULATION

The second-story portion of the rear elevation of homes that back onto primary streets, parks, paseos and public open space should include enhanced window treatments and details to avoid a monotonous edge condition. Exterior wall materials, trim and architectural details should be applied to exposed sides of a home that back or side onto a primary street, park, paseo or public open space.

4.5.2.2 ROOF FORMS

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roofline. Rooflines should include a mix of front-to-rear, side-to-side, gables and hipped roofs and/or by the introduction of a one-story element.

4.6 RESIDENTIAL DESIGN - BUILDER GUIDELINES

The development of successful pedestrian-friendly neighborhoods in Butterfield can be achieved by implementing the following goals:

- Give design integrity and character to the composition of building mass.
- Incorporate single-story elements on two-story buildings where appropriate to style.
- Avoid repetitious designs, colors, elevations and footprints.
- Incorporate rear and side architectural details along primary visible edges, as these views are prominent to neighboring areas.

4.6.1 Residential Landscaping – Front Yard

- The Developer/Builder will provide the homeowner with the option for full front yard landscaping and automatic irrigation systems for all homes subject to City approval.
- Landscape areas shall be automatically irrigated and planted in an appropriate manner, which meets or exceeds current City standards and regulations, industry standards, and shall comply with the design intent and minimum set forth in these guidelines.
- All landscaping shall conform to Chapter 17.32, Landscape Standards, of the Banning Municipal Code.
- All lots shall provide for a minimum of one, 15-gallon front yard tree, and one, 15-gallon accent tree. See Exhibit 4.23 – *Typical Front Yard Landscape Plan*.
- Quality artificial turf is considered acceptable as one component of a complete multi-component landscape approach.

4.6.2 Neighborhood Plant List

The plant list for Butterfield was developed to create varied seasonal interest with a palette of deciduous and evergreen plants, while maintaining a well-balanced landscape. Following is a list of plants chosen for street trees, common area/slope landscape and front yard landscapes.

Trees

ALNUS RHOMBIFOLIA (WHITE ALDER)
ARBUTUS UNEDO (STRAWBERRY TREE)
CEDRUS DEODARA (DEODAR CEDAR)
CINNAMOMUM CAMPHORA (CAMPHOR TREE)
CUPRESSUS GLABRA (ARIZONA CYPRESS)
CUPRESSOCYPARIS LEYLANDII (LEYLANDI CYPRESS)
LAGERSTROEMIA INDICA (CRAPE MYRTLE)

LAURUS NOBILIS 'SARATOGA' (BAY TREE)
MAGNOLIA SPECIES (MAGNOLIA)
MELALEUCA LINARIFOLIA (FLAXLEAF PAPERBARK)
PINUS ELDARICA (EL DARICA PINE)
PINUS HALEPENSIS (ALEPPO PINE)
PLATANUS ACERIFOLIA 'BLOODGOOD' (LONDON PLANE TREE)
PLATANUS RACEMOSA (CALIFORNIA SYCAMORE)
POPULUS SPECIES (POPULAR)
PRUNUS CAROLINIANA (CAROLINA CHERRY)
QUERCUS AGRIFOLIA (COAST LIVE OAK)
QUERCUS VIRGINIANA (LOUISIANA LIVE OAK)
RHUS LANCEA (AFRICAN SUMAC)
SCHINUS MOLLE (CALIFORNIA PEPPER)

Shrubs/Groundcover

ACACIA REDOLANS 'DESERT CARPET' (PROSTRATE ACACIA)
AGAVE AMERICANA (CENTURY PLANT)
ARBUTUS UNEDO 'COMPACTA' (DWARF STRAWBERRY TREE)
BACCHARIS PILULARIS 'TWIN PEAKS' (COYOTE BRUSH)
CALLISTEMON 'LITTLE JOHN' (DWARF BOTTLEBRUSH)
CISTUS SPECIES (ROCKROSE)
DIETES BICOLOR (FORTNIGHT LILY)
ECHIUM FASTUOSUM (PRIDE OF MADEIRA)
EUONYMUS J. 'MICROPHYLLA' (BOXLEAF EUONYMUS)
FESTUCA O. 'GLAUCA' (BLUE FESCUE)
JUNIPERUS SPECIES (JUNIPER)
LAVANDULA SPECIES (LAVENDER)
LAVATERA ASSURGENTIFLORA (TREE MALLOW)
LIGUSTRUM TEXANUM (WAXLEAF PRIVET)
MUHLENBERGIA RIGENS (DEER GRASS)
PITTOSPORUM SPECIES (TOBIRA)
PYRACANTHA SPECIES (FIRETHORN)
RAPHIOLEPIS SPECIES (INDIA HAWTHORNE)
ROMNEYA COULTERI (MATILIJIA POPPY)
ROSMARINUS SPECIES (ROSEMARY)
SALVIA SPECIES (SAGE)
SESLERIA AUTUMNALIS (SESLERIA)
SISYRINCHIUM BELLUM (BLUE-EYED GRASS)
STYPA (MEXICAN FEATHER GRASS)
TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)

- Quality artificial turf is considered acceptable as one component of a complete multi-component landscape approach.

4.6.3 Area Specific Plant Palettes

4.6.3.1 PLANT PALETTE FOR HABITAT RESTORATION AND MITIGATION AREAS

The plant palette used for native habitat and riparian restoration areas for mitigation purposes is subject to the review and approval of state and federal regulatory agencies pursuant to the permit approvals issued by these agencies.

4.7 NEIGHBORHOOD WALLS AND FENCING

The wall and fence design criteria is intended to provide continuity of design within the Butterfield community. All wall and fence heights are measured from the highest-grade elevation on either side of the wall or fence.

Side yard, rear yard or other privacy walls along block end conditions of a neighborhood, or facing any street, shall be constructed of masonry block. Fence returns from a side property line to the house may be constructed of masonry wall or vinyl fencing. These should occur within the front 50% of the building footprint. Combination retaining and privacy wall at block end conditions may be used. See Exhibit 4.24 – *Conceptual Wall & Fence Details*.

4.7.1 Front Yard Fencing and Walls

- Fencing and walls may not exceed 42-inches in height when located within the required front yard setback.
- Fencing and walls between the edge of the setback and a dwelling unit shall not exceed **(six), 6-feet** in height, and may be solid or transparent.

4.7.2 Side Yard Fencing

- Side Yard fencing is permitted to a maximum height of **(six) 6-feet** between the front yard setback and rear yard property line.

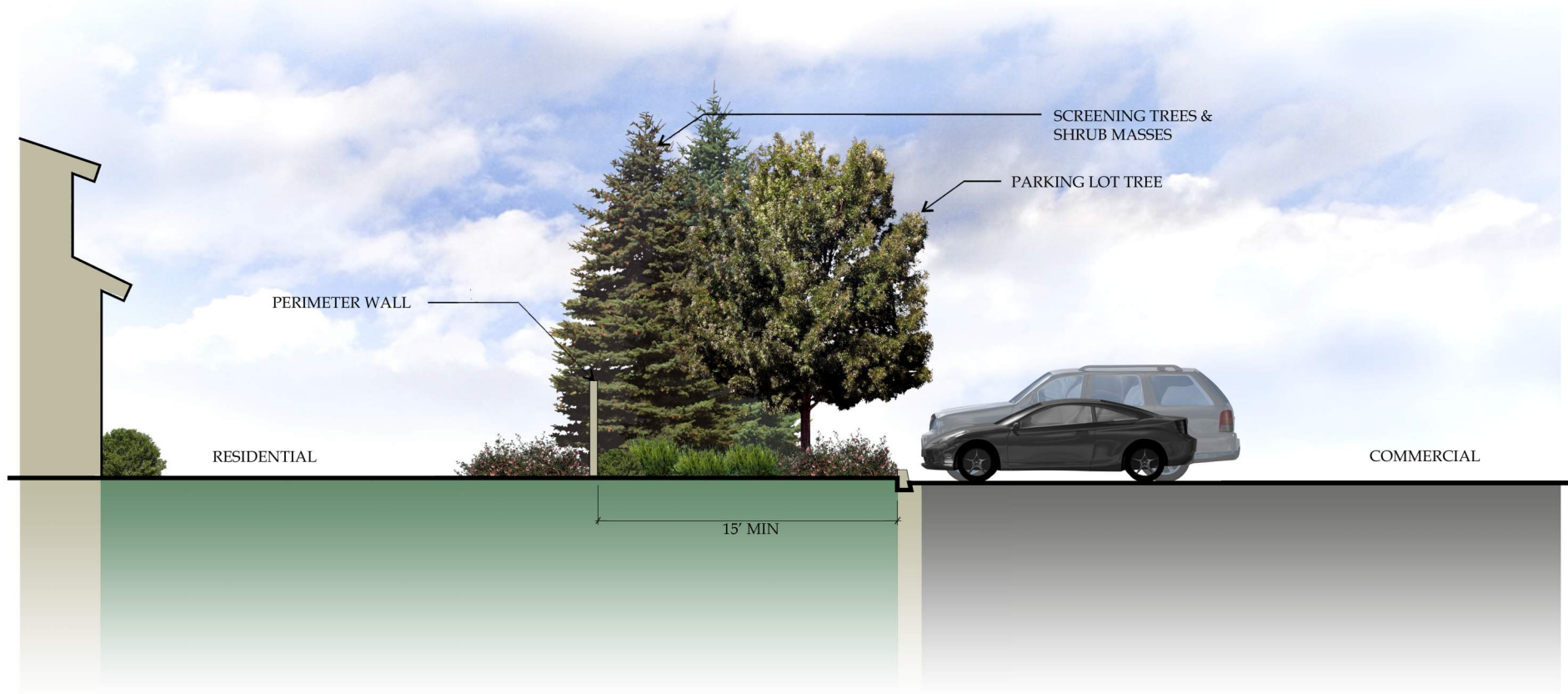
4.7.3 Rear Yard Fencing

- Rear Yard fencing along rear yards and top of slope shall be a maximum of **(six), 6 feet** in height.

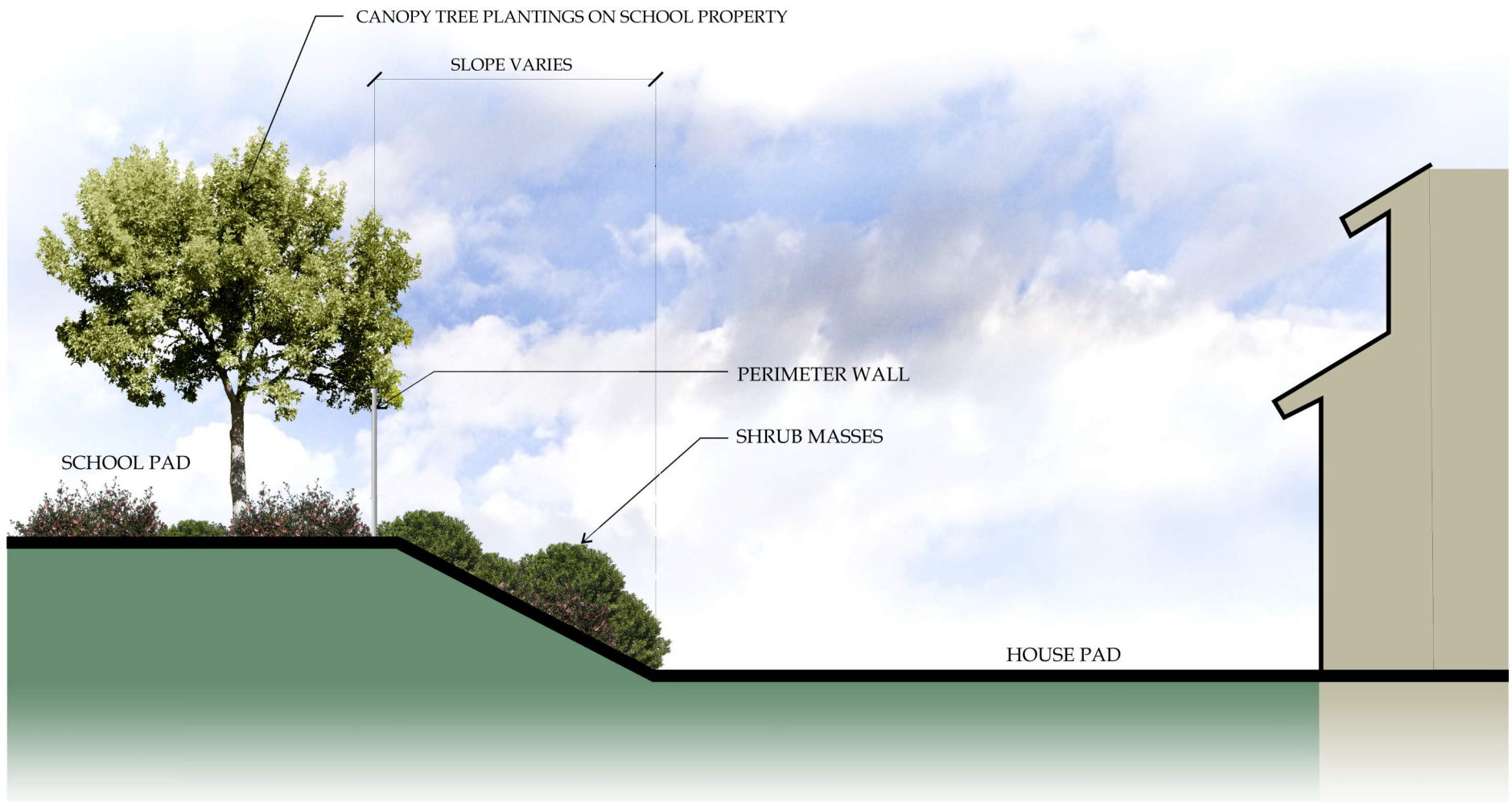
4.7.4 Sound Attenuation Walls

- Solid walls located in side and rear yards may exceed **(six) 6-feet** in height when sound attenuation is required.

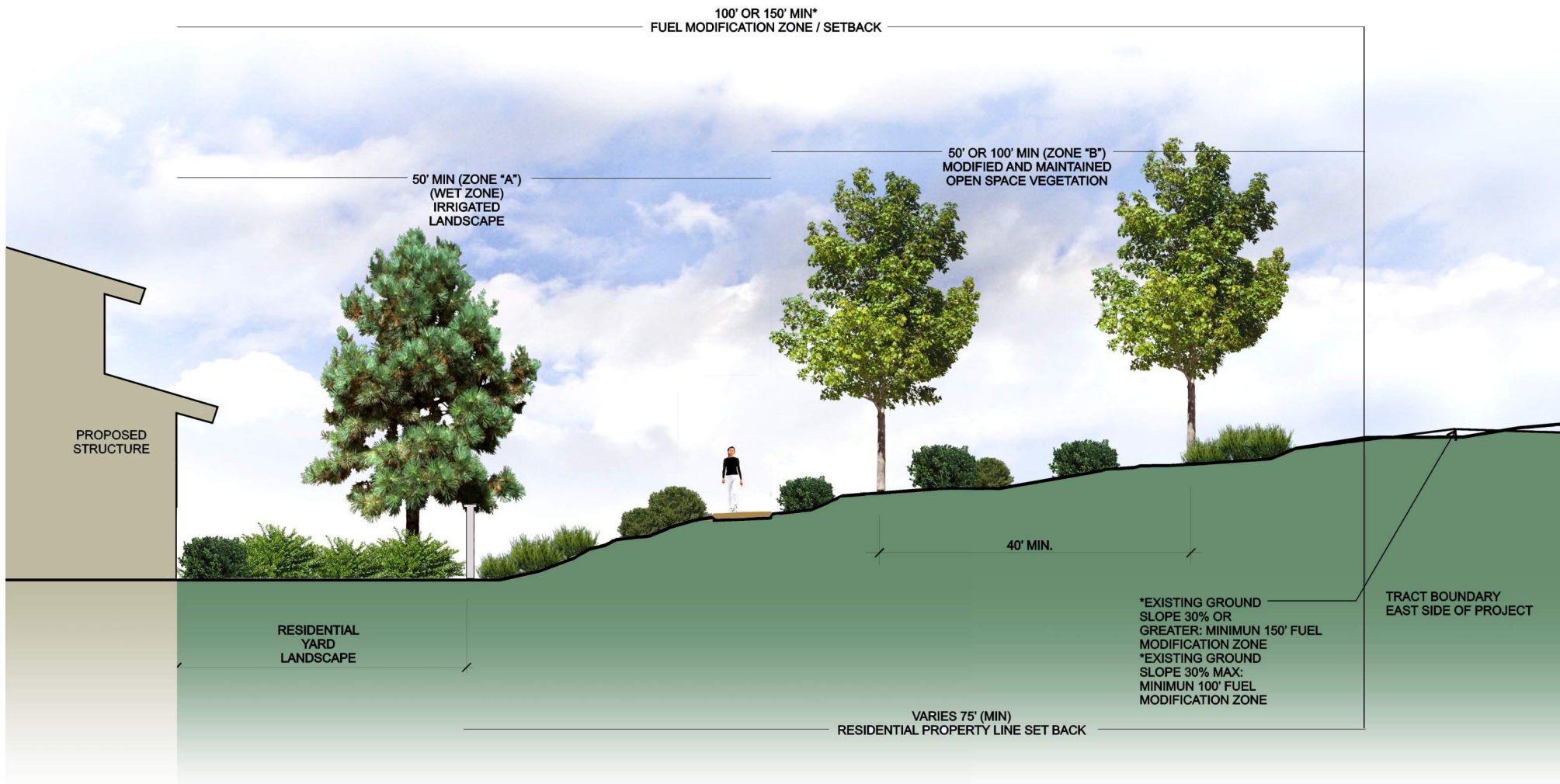
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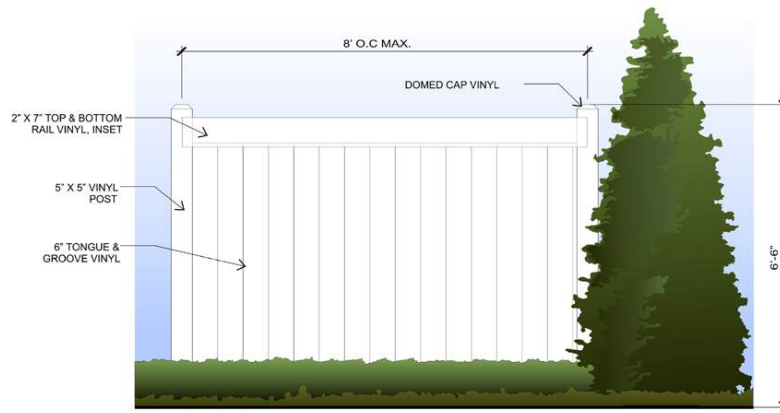
The front yards and side yards visible from the public right-of-way, of all residential subdivisions shall be landscaped with trees, shrubs and groundcover. At minimum, each front yard shall include one 15-gallon front yard tree, one 15-gallon accent tree and sufficient shrubs and groundcover to provide full coverage within 2 years of installation.

Plant materials should be spaced so they do not interfere with lighting, and so they do not restrict access to fire hydrants. Proper spacing should insure unobstructed access for vehicles and pedestrians. The following spacing standards should be used:

- 25 feet from the property corner at a street intersection to the center of the first tree or large shrub
- 15 feet between trees and large shrubs
- 15 feet between trees or large shrubs and fire hydrants
- 5 feet between trees or large shrubs and the edge of any driveway

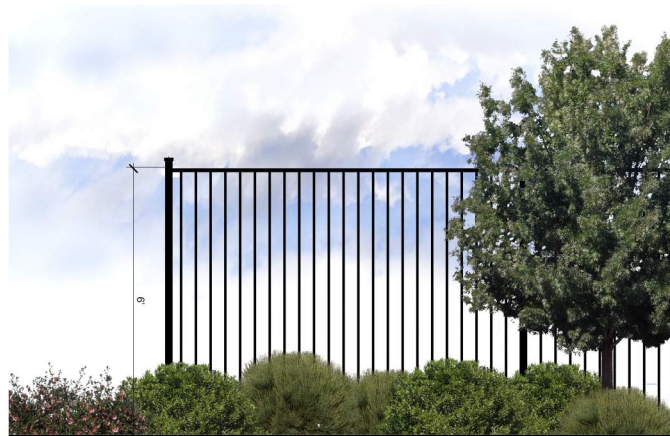


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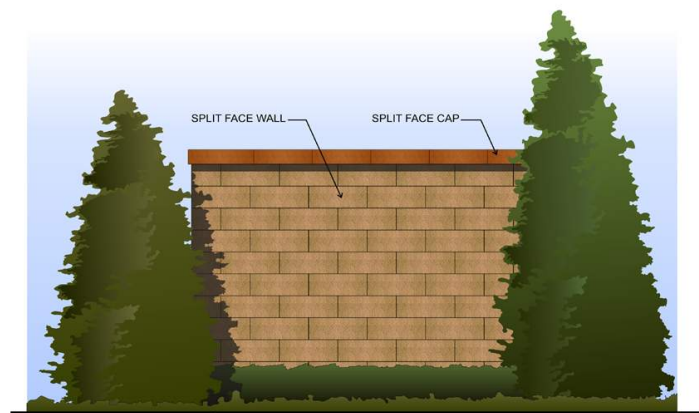


VINYL FENCE

VINYL FENCE



TUBULAR STEEL FENCE



CMU BLOCK WALL

CMU BLOCK WALL

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4.8 RESIDENTIAL ARCHITECTURAL DESIGN

Quality architecture is a key element of great and memorable neighborhoods. Materials, building forms, roofs, colors and materials are inspired by those located in Banning and the surrounding region. The primary elements of an architectural style are its massing and roof forms. In order to accurately represent the selected architectural styles, these and other style elements are described in the *Architectural Styles* section of these guidelines.

4.8.1 Home Entries

The entry of residential dwellings shall be articulated as a focal point of the building's front elevation. Entries should be sheltered in order to create a welcoming appearance, promote individuality and increase privacy.

4.8.2 Home Architecture Articulation

Architecture articulation of all sides of homes visible from roadways inside and outside the Specific Plan area is important in creating attractive neighborhoods and street scenes. In these instances there shall be additional architectural features provided such as:

- Enhanced window treatments, and/or
- Continuation of building materials to match the front elevation

4.8.3 Indoor/Outdoor Spaces

Indoor/outdoor transitional spaces are a signature element in Butterfield. Covered, shaded and protected areas create visual depth and interest, as well as providing shelter and appropriate human scaled space for users.

Homes are encouraged to utilize functional outdoor gathering and entry places. Examples of these are:

- Porches or Balconies
- Patio Covers
- Trelliswork
- Arcades

4.8.4 Porches and Balconies

Porches or balconies are encouraged on front elevations to provide transitional spaces and add further visual interest to the street scene. The design of these elements should be consistent with the architectural style of the residence and must meet all setback requirements.

4.8.5 Patio Covers

Patio covers shall be treated in one of the following ways:

- Sloping roof element with roof tile matching the home
- Flat roof with parapet, where appropriate to style
- Trellis element
- Columns should be proportionate to the roof and convey a sense of strength and support.

4.8.6 Courtyards

The use of a courtyard provides the opportunity to enhance outdoor space or provide a semi-enclosed living space outdoors. Courtyards are encouraged as an extension of interior living space or provide a shaded or protected transitional space between the interior and outdoors.

4.8.7 Trellis and Arbors

Trellises and arbors are encouraged to enhance the architectural character of residential and overall community design. When used, they must be designed and constructed with long-term durability and appearance in mind.

4.8.8 Accessory Structures

When provided, all such accessory structures must be compatible in massing, design, materials and color to the primary building or residence. The height of any accessory structure shall not be greater than 14 feet.

4.9 ARCHITECTURAL DETAILS

4.9.1 Shutters

The shape and size of shutters should be proportionate to the window opening.

4.9.2 Chimneys

The design of chimneys should be compatible with the architectural style of the building. Exposed spark arrestors are not an allowed design element and must be provided with a more decorative cap.

4.9.3 Skylights

Skylights are permitted, but should be designed as an integral part of the roof. White “bubble” skylights are not permitted. Skylight frame material should be bronze anodized or match the adjacent roof color as closely as possible.

4.9.4 Gutters and Downspouts

Gutters and downspouts that are utilitarian in design should match the adjacent building surface color as closely as possible. When gutters and downspouts are used as an architectural enhancement, they may contrast in a style-appropriate, color or finish.

4.9.5 Photovoltaics

Photovoltaics or solar panels, if used on the roof, shall be integrated into the roof design.

4.9.6 Mechanical Equipment

Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such similar devices shall not be mounted on any roofs. Every effort should be taken to conceal television and radio antennas from public view, especially along paseos, and major streets.

4.9.7 Vents

'B' type vents for gas appliances, water heaters, and heating units shall be painted to match the roof color. Such elements shall be located to minimize visual impact to building elevations.

4.9.8 Architectural Lighting

- Exterior lighting should only be used for outdoor living spaces, entries porches, courtyards and patios.
- Exterior lighting shall be shielded to minimize glare and light spill onto adjacent properties and streets. All lighting sources shall be stationary and have appropriate intensity for a residential use.
- The type and location of building lighting should preclude direct glare onto adjacent property, streets, or skyward and shall not spill onto adjacent properties

The design of the exterior lighting fixtures shall be appropriate to the style and character of the home. For example, a Craftsman style home shall use a Craftsman style light fixture.

4.10 CLUSTER HOMES (MEDIUM DENSITY RESIDENTIAL)

Cluster homes are higher density, detached, single-family homes oriented toward a common motor court, drive, or 'green court' area. These homes have private yards at sides or rear and may share a common vehicular access drive, green court or green belt paseo.

A motor court cluster typically has four to eight homes oriented toward a central "T" motor court. All homes have entries oriented towards the motor court or the front street. The private yards are located to the rear and sides of the home.

A green court cluster typically has four to eight homes oriented toward a common open space, or "green court". A stub alley at the rear of the home provides vehicular access to these homes. Private yards are located at the rear or sides of the home.

A stub street cluster typically has four to eight homes oriented toward a common stub street at the front of the homes. This provides vehicular and pedestrian access to these homes from the front street side. Private yards are located at the rear or sides of the home.

4.10.1 Additional Guidelines for Cluster and Attached Homes

As cluster and attached homes often share common service elements such as trash enclosures and mailboxes the following additional guidelines are required for these home types.

4.10.2 Trash Enclosures

Where common trash enclosures are used, the following guidelines shall apply:

- Areas used for trash and recycling bins shall be concealed from public view with decorative masonry walls and caps.
- Enclosures shall be provided to accommodate the numbers and type of trash containers as required by the disposal company.
- It is encouraged for enclosures to be positioned away from the edges of the neighborhood to minimize impact on adjacent properties.
- Enclosures shall be consistent with the overall architectural character of the development.
- All trash enclosures shall be gated.
- Lighted pedestrian access is required at each enclosure.

4.10.3 Mail Boxes

All mailboxes must be clustered and screening elements require approval from the local Postmaster.

4.11 ATTACHED HOMES (HIGH DENSITY RESIDENTIAL)

By the very nature of the product, attached home neighborhoods are much like small villages, or communities. The following general concepts should be considered when planning for and designing attached homes: see development standards section for additional criteria.

- Individual elevation or building colors should be selected from an overall community color palette to avoid a clash.
- Wherever possible locate attached housing adjacent to or near public facilities, open space or community amenities.
- Design and site buildings with a strong physical relationship to public areas of the community.
- Emphasize pedestrian access and connections to public sidewalks, trails and open space systems when preparing site plans.

4.11.1 Townhomes

Attached townhomes are higher density, side-attached oriented either toward the street front, a common motor court or common 'green court' area. These homes typically have semi-private courtyards and may share a common green court or open space in each module or neighborhood.

4.11.2 Building Massing

- Minimize building "ends" and blank, singular planes oriented toward public views. Provide some architectural elements on primary elevations.
- Consider intended styles in conjunction with the development of building plans, massing forms, elements, details, and color.
- Carefully consider the building massing, details, and color, in developing an appropriate architectural character for the project.

4.11.3 Single Story Elements

Single story elements are encouraged on all homes to establish pedestrian scale and add variety to the street scene. This is especially important on larger attached buildings where inadequate articulation of mass tends to produce monotonous, single planes. Single story elements may include elements such as interior living spaces, porches and entries. The addition of such elements helps to provide a transitional space between public and private space.

4.11.4 Entries

Entries should create an initial impression, locate and frame the doorway, act as an interface between public and private spaces and further identify individual unit entries.

- Wherever possible, site plans should orient the front door image and principal access toward the public street or entry courtyard.
- Incorporate appropriate roof elements, columns, feature windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways.
- If front entry location is not immediately obvious due to building configuration, direct and draw the observer to it with added elements such as lighting and landscape.

4.11.5 Windows

Typically the location of windows is determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here should be of particular concern as windows play an important role in the exterior architectural character of multi-family buildings.

- Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition.

- Where appropriate to style and window form, use of multi-paned windows is encouraged.
- Use appropriate scale and proportion in window design to enhance the elevation style.

4.11.6 Balconies

The inclusion of balconies is encouraged for both aesthetic and practical purposes. They are useful in breaking up large wall planes, offsetting floors, creating visual interest and adding human scale to the building. They provide the practical advantage of creating outdoor living areas and elevated open space.

- Balconies may be covered or open. They may be either recessed into the mass of the building or serve as a projecting element.
- Design balconies as integral elements of the building with details, eaves, supports, and railings in keeping with the architectural style and other elements of the building's design.
- Avoid designing plans with balconies that attach side by side.

4.11.7 Community Recreation and Common Facilities

Attached home neighborhoods may include common recreation facilities such as pools, spas, club houses, management offices, barbecues or other facilities appropriate to the demographic profiles identified for the community by the master developer.

- If included, common recreation facilities shall be key character elements for the neighborhood.
- Architectural and community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall character for the neighborhood.
- Colors, massing, roof pitch and materials shall be compatible with the project theme.

4.11.8 Trash Enclosures

Where common trash enclosures are used, the following guidelines shall apply:

- Areas used for trash and recycling bins shall be concealed from public view with decorative masonry walls and caps.
- Enclosures shall be provided to accommodate the numbers and type of trash containers as required by the disposal company.
- It is encouraged for enclosures to be positioned away from the edges of the neighborhood to minimize impact on adjacent properties.
- Enclosures shall be consistent with the overall architectural character of the development.
- All trash enclosures shall be gated.
- Lighted pedestrian access is required at each enclosure.

4.11.9 Mail Boxes

All mailboxes must be clustered and screening elements require approval from the local Postmaster.

4.12 ARCHITECTURAL COLORS AND MATERIALS

The effective use of colors and materials will further define and enhance the community structures and homes in Butterfield. Variety in texture, hue and value is required in harmonious combinations.

Detail elements such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features should be finished in a color that is consistent with its architectural style. Building details such as flashing, pipes and vents should either be detailed as an enhancement or painted to match the building surface so as to virtually disappear.

4.13 ARCHITECTURAL STYLES

Architecture within Butterfield is intended to reflect the architectural heritage of Southern California and Banning as a distinctive imaging and place-making strategy for the community. An important goal in this community is to develop varied and interesting street scenes.

Neighborhoods will be comprised of a variety of architectural styles. The architectural styles within Butterfield will reflect the heritage of California's early towns (Including Banning). Below are the selected architectural styles Builders may choose from:

- California Ranch
- Butterfield Americana
- Western Farmhouse
- California Craftsman
- Butterfield Cottage
- Southwest Prairie
- Santa Barbara
- Napa
- Monterey

On the following pages, including Exhibits 4.25 – 4.33, each architectural style is defined by the typical characteristics of that style. Suggested enhancements include elements that help to further define the character of each style and are meant as an elective by the homebuilder.

4.13.1 California Ranch

Typical style characteristics

- One- or two-story asymmetric form
- Low-pitched roof, 4:12 to 5:12

- Gable or hip roof forms
- 6 to 12-inch overhangs at rakes; 12- to 24-inch overhangs at eaves
- Rectangular, multi-light windows
- Simple wood-appearing trim on front and visible windows
- Front porch
- Minimum 6x6 post,
- Shutters on feature windows on front elevations
- Flat, shake-textured concrete tiles
- Stucco finish
- Board and batten siding used as an accent at gable end porch roof



Shutters



Simple square
porch columns



Board and batten
siding accents



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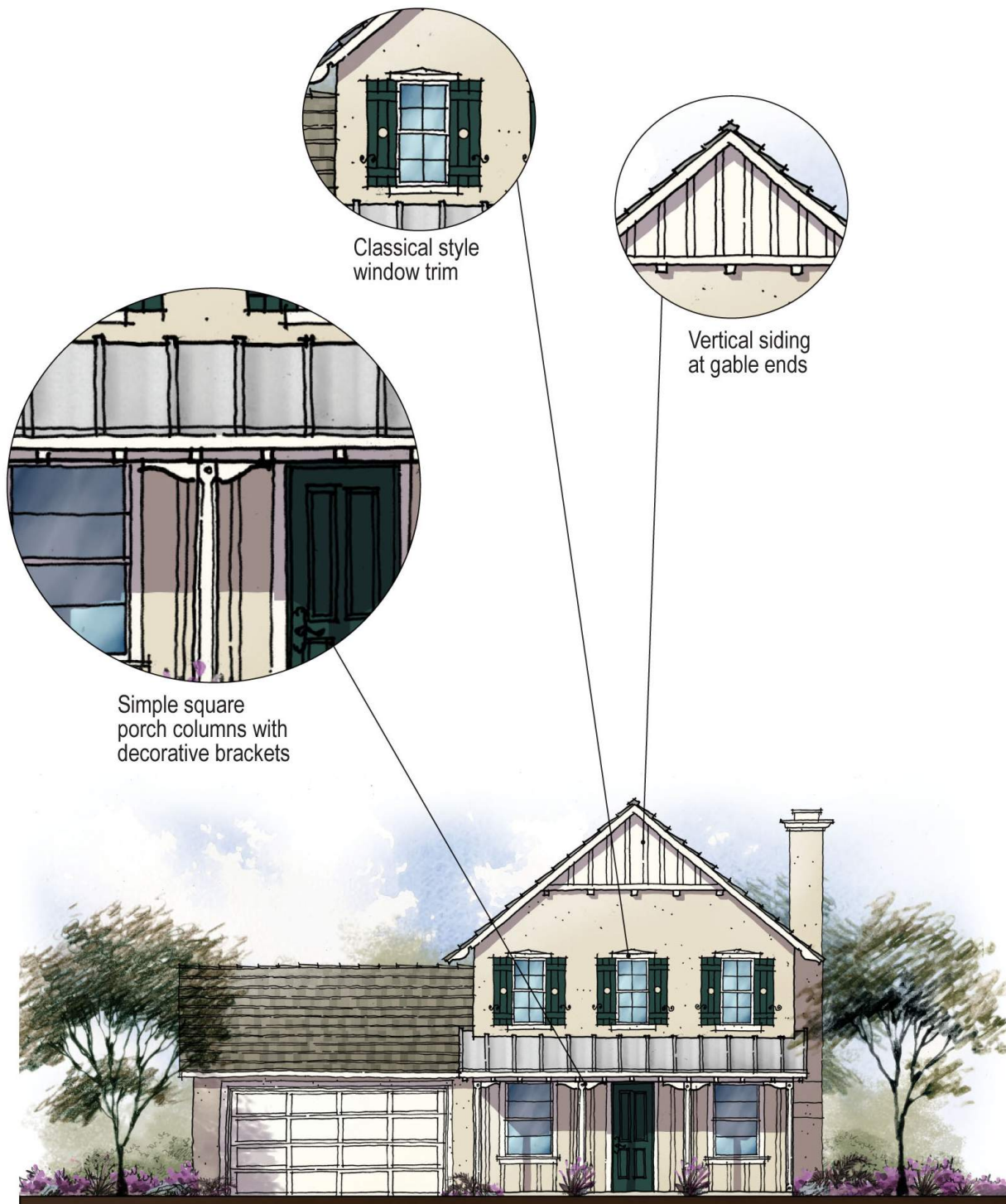
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4.13.2 Butterfield Americana

Typical style characteristics

- Rectangular or 'L' shaped plan form
- Main gable roof with intersecting gable roofs
- Roof pitch range varies from 4:12 to 12:12
- 6- to 12-inch overhangs at rakes, 18- to 24-inch overhangs at eaves
- Rectangular, vertically-oriented windows
- Decorative brackets on porch posts
- Plank style shutters
- Smooth, flat concrete roof tiles or architectural grade composition shingles
- Stucco finish
- Vertical wood-appearance siding as an accent on first-story front elevation

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Butterfield Americana Elevation and Details

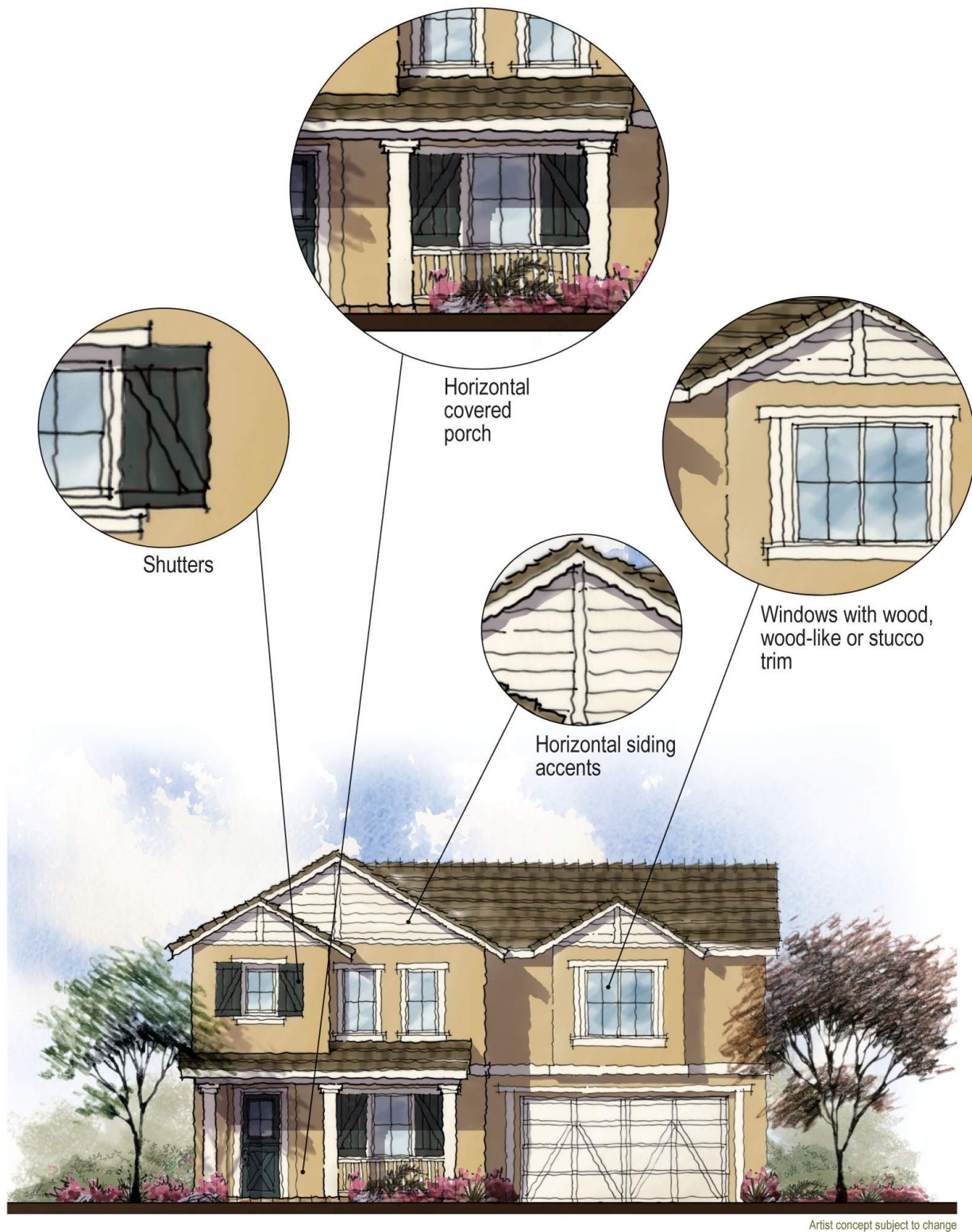
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4.13.3 Western Farmhouse

Typical style characteristics

- Simple plan form massing and simple roof design
- Primary gable roof with intersecting, gable and shed roofs
- 4:12 to 8:12 roof pitch
- 8- to 12-inch overhangs at rakes; 12- to 18-inch overhangs at eaves
- Vertically oriented, multi-light, windows
- All visible and front elevation windows have wood-appearance trim or stucco trim
- Shutters on accent windows
- Covered porch at entry
- Flat, shake-textured concrete roof tiles or architectural grade composition shingles
- Stucco finish
- Horizontal lap siding accent at gable ends, pop-outs and/or second story elements

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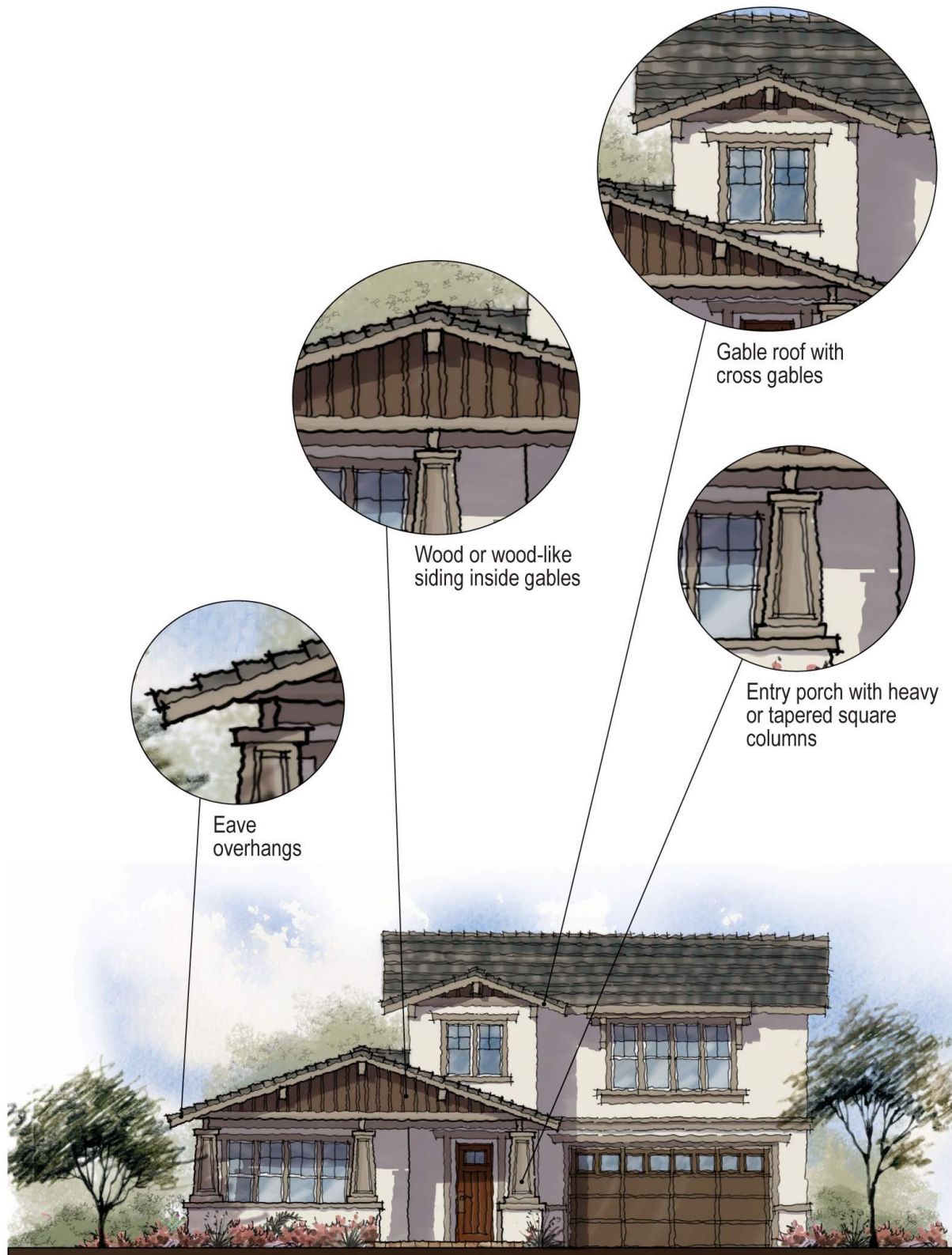
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4.13.4 California Craftsman

Typical style characteristics

- Simple one or two-story massing with vertical and horizontal breaks
- Basic gable roof with cross gables
- 3 1/2:12 to 5:12 roof pitch
- 12- to 18-inch overhangs at rakes; 18- to 24-inch overhangs at eaves
- Vertically hung upper-divided windows on front elevations
- Covered entry
- Heavy, square or tapered porch columns or posts on piers
- Shaped, wood-appearing header trim at windows and doors
- Architectural grade composition shingles or concrete roof tiles
- Stucco finish
- Wood-appearance siding at gables on front elevation

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Artist concept subject to change

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

California Craftsman Elevation and Details

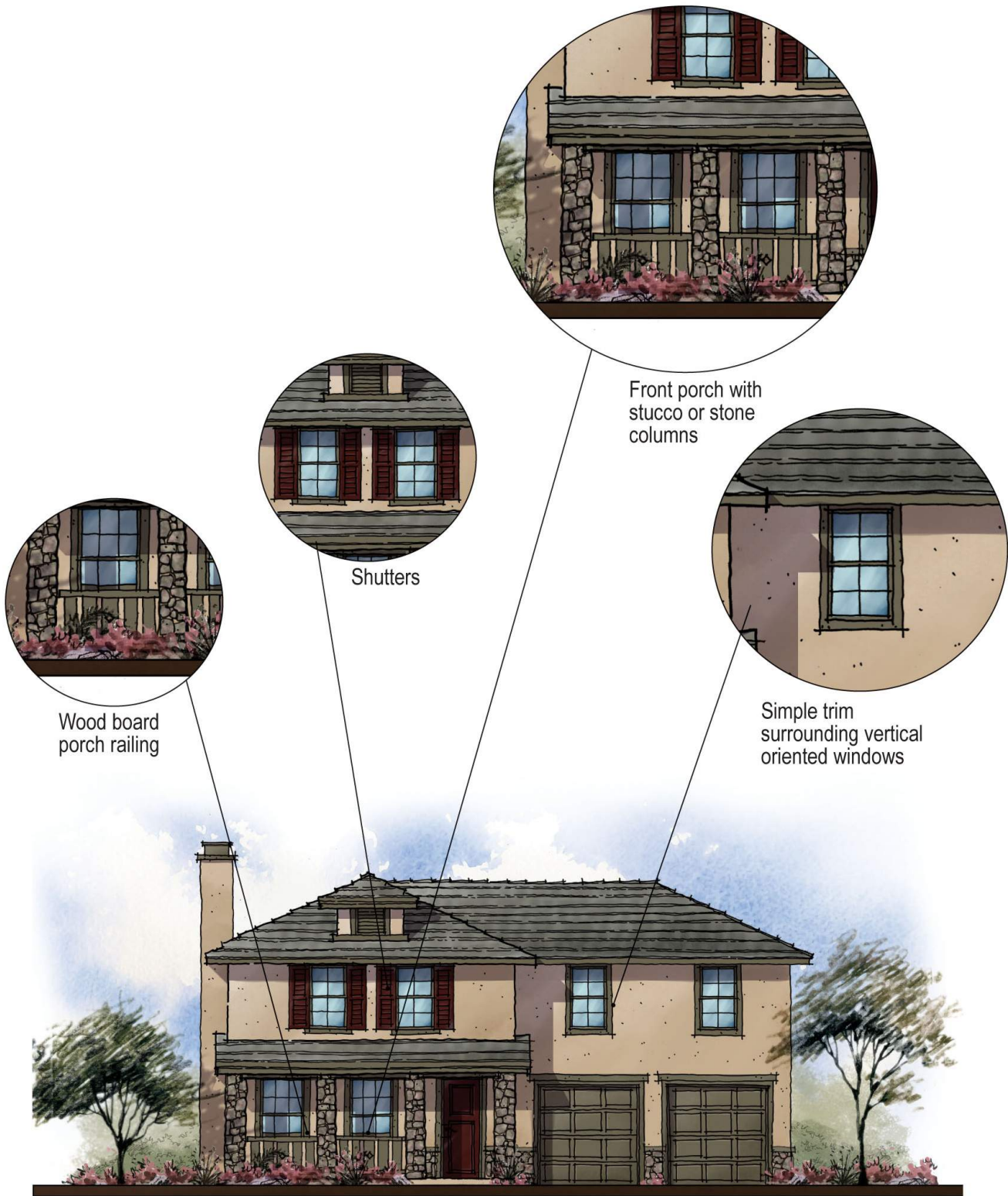
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4.13.5 Butterfield Cottage

Typical style characteristics

- Rectangular or “L” shaped plan form
- Hip roof only on primary focal massing
- Intersecting roofs may be hip or shed
- 5:12 to 12:12 roof pitch
- Tight to 6-inch overhangs at rakes, 12 to 18-inch overhangs at eaves
- Rectangular, vertically oriented windows
- Covered entry
- Shutters on front
- Wood-appearance trim or stucco over foam trim (colored to simulate wood-appearance) surrounding doors, windows and over openings
- Flat, smooth, concrete roof tiles
- Stucco finish
- Rusticated stone veneer accents

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Butterfield Cottage Elevation and Details

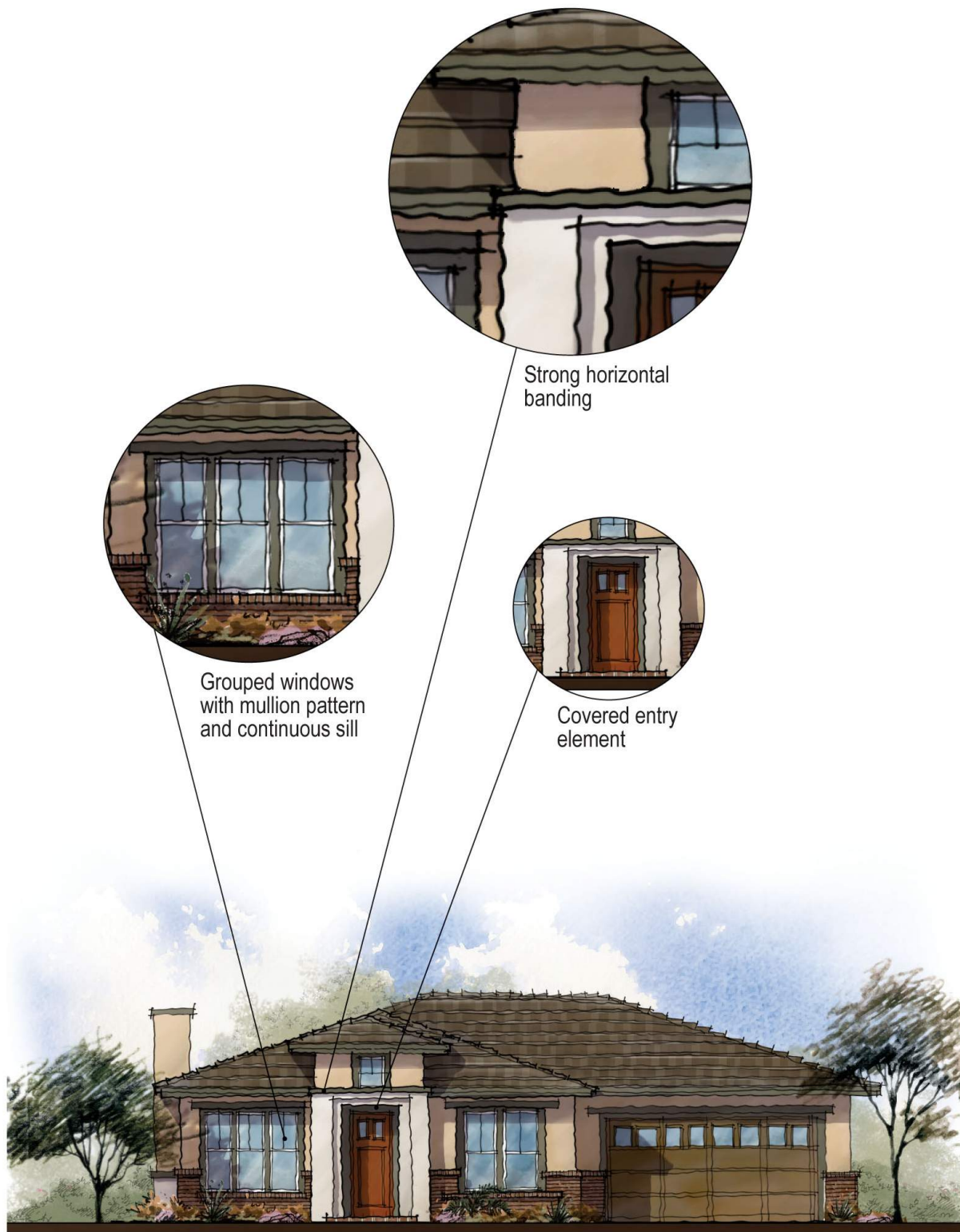
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4.13.6 Southwest Prairie

Typical Style Characteristics

- One-story massing with recessed second-story where possible
- Strong single-story elements
- Primarily hip roofs
- Low, 3 ½:12 to 5:12 roof pitch
- Overhangs – 18 - 24 inches
- Boxed stucco soffits
- Covered entry element
- Horizontal banding or belt course
- Header trim on primary windows
- Flat, smooth, concrete roof tile
- Stucco finish
- Rusticated brick accents and wainscot

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Artist concept subject to change

PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Southwest Prairie Elevation and Details

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4.13.7 Santa Barbara

Typical style characteristics

- Simple one- or two-story massing
- 3 ½ :12 to 5:12 roof pitch
- Tight to 12-inch overhangs at rakes; 12- to 18-inch overhangs at eaves
- Multi-light windows on front
- Stucco arched entry feature
- Decorative wrought iron detailing
- Shutters on feature window on front elevations
- Barrel or 's'-shaped concrete roof tiles in terra cotta tones or blends with terra cotta
- Stucco finish

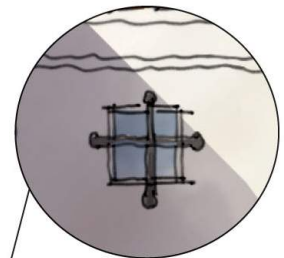
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Strong arch elements



Shutters



Wrought iron detailing



Artist concept subject to change

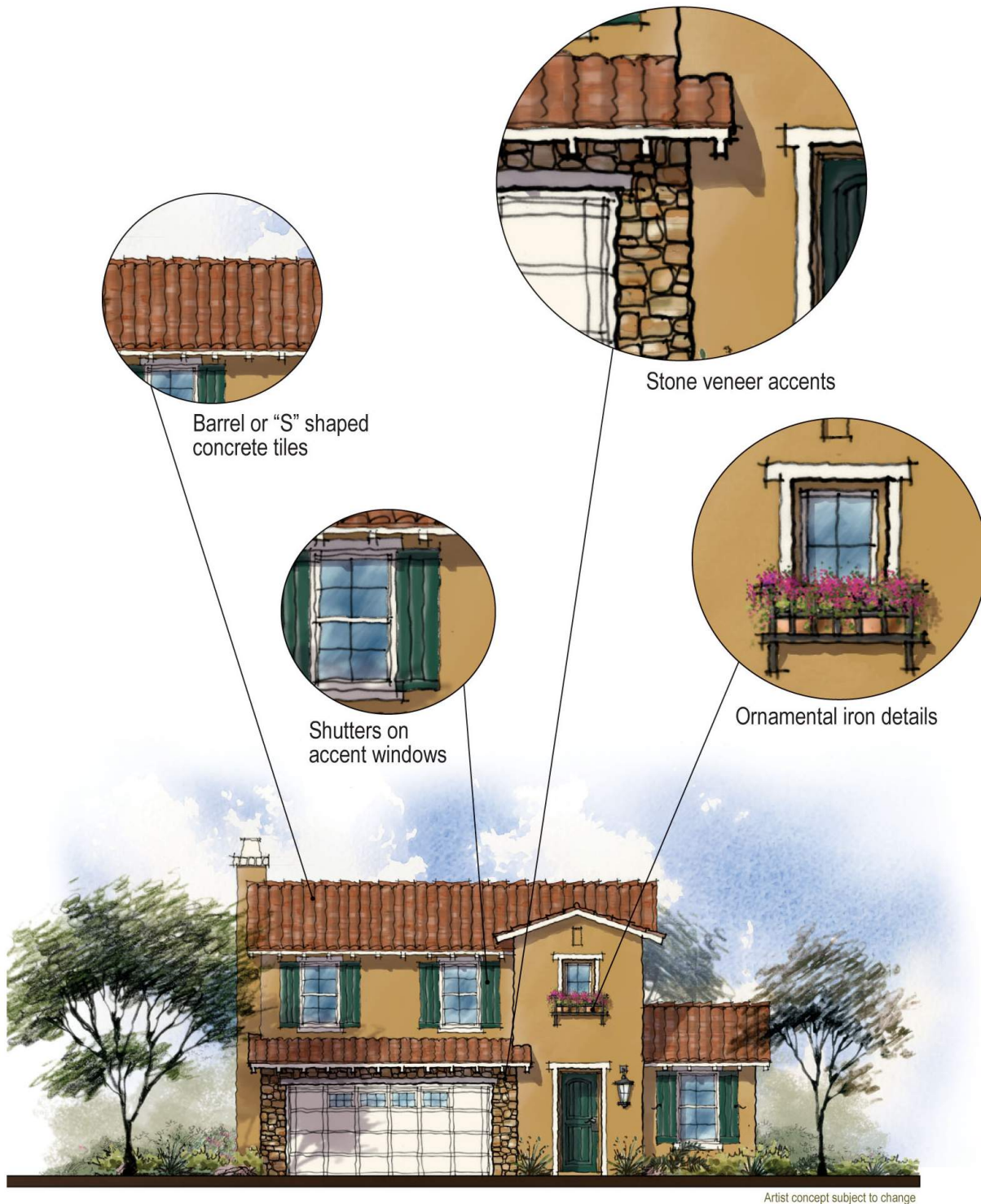
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4.13.8 Napa

Typical Style Characteristics

- Simple two-story rectangular plan form with a single-story element
- Main hip or gable roof with secondary shed or gable roofs over one-story elements
- 4:12 to 6:12 roof pitch
- 6- to 18-inch overhangs at rakes; 12- to 24-inch overhangs at eaves
- Vertically-oriented, multi-light windows
- Barrel or 'S'-shaped concrete roof tiles
- Stone veneer accents
- Stucco finish

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PARDEE HOMES • BUTTERFIELD SPECIFIC PLAN

Napa Elevation and Details

EXHIBIT 4.32

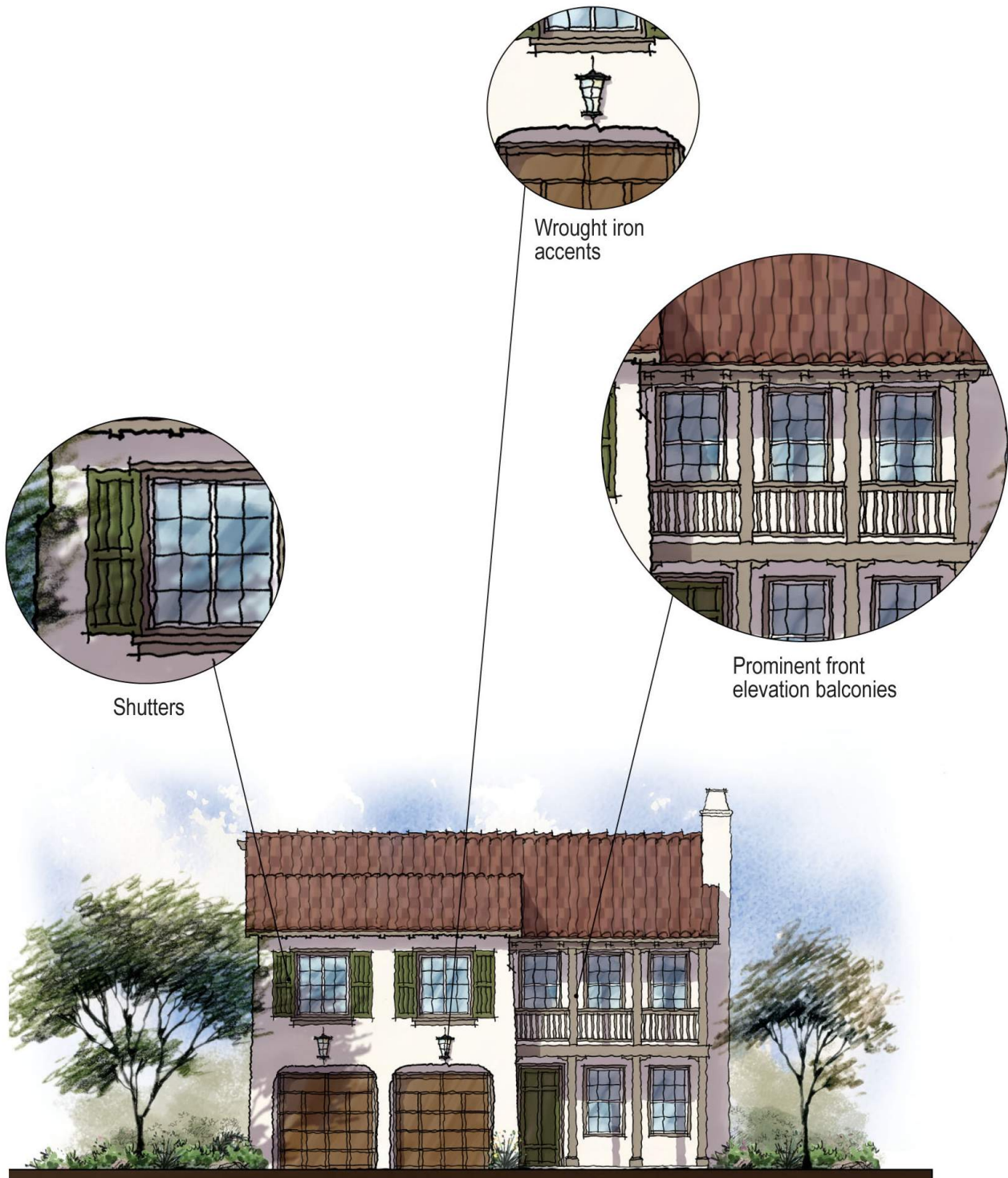
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4.13.9 Monterey

Typical Style Characteristics

- Simple two-story box-like massing form with balcony
- Main front-to-back gable roof
- 3 ½ :12 to 5:12 roof pitch with optional pitch break at balcony
- 6- to 12-inch overhangs at rakes; 18- to 24-inch overhangs at eaves
- Multi-light windows at front
- Simple header trim over front window
- Round attic tile vents or decorative vents at gable ends on front elevation
- Simple wood-appearance balcony railing
- Shutters on accent windows
- Barrel or 's'-shaped concrete roof tiles
- Stucco finish

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5.0 DEVELOPMENT REGULATIONS

SECTION 5

BUTTERFIELD SPECIFIC PLAN

5.0 DEVELOPMENT REGULATIONS

This section of the Butterfield Specific Plan has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Banning Zoning Ordinance. This section sets forth standards for all uses allowed for development within the Butterfield Specific Plan. Regulations are provided for low and medium density residential, cluster residential, commercial, active recreational open space, parks, and undeveloped open space land uses. These regulations are based on and help to achieve compliance with the Design Guidelines presented in Section 4 of this Specific Plan.

Application of these regulations is specifically intended to provide for appropriate use of the project site, to create a well-ordered pattern of land uses within this Specific Plan, and to protect the health, safety and welfare of the community.

5.1 GENERAL PROVISIONS

5.1.1 Applicability

Upon adoption of the Butterfield Specific Plan, the development standards contained in this Section shall serve as the zoning regulations applicable to the Specific Plan area, in accordance with the City of Banning Zoning Ordinance. Development plans or agreements, tract or parcel maps, precise development plans or any other action regarding the subject property which requires ministerial or discretionary approval must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged consistent with the City of Banning General Plan as mandated in California Government Code, Section 65454.

Should the regulations contained herein differ from the regulations of the City of Banning Zoning Ordinance, the regulations of this Specific Plan shall take precedence.

Development standards contained in this Section are subject to a ten percent deviation, subject to the discretion and approval of the Community Development Director.

5.1.2 Severability

In the event that any regulations, conditions, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

5.1.3 Determination of Unlisted Uses

Any land use not specifically covered by the provisions contained herein shall not be allowed unless the Community Development Director reviews the proposed use and makes a determination of similarity with allowed uses.

5.1.4 Interpretation

Any ambiguities related to the implementation of this Specific Plan's provisions shall be resolved by the City of Banning Planning Division. Interpretations of the Planning Division shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the City of Banning Planning Division may be appealed to the Planning Commission. The decision(s) of the Planning Commission shall be final unless appealed to the City Council.

5.1.5 Definitions

Unless otherwise specified herein, terms used in this document shall be defined as provided in the City of Banning Zoning Ordinance (Municipal Code), Section 17.04.070, Definitions.

5.2 LOW DENSITY RESIDENTIAL (LDR)

5.2.1 Low Density Permitted Uses

Per Section 3.1, the Low Density Residential land use designation applies to 517 acres within this Specific Plan. Approximately 135 acres of the 488 acres designated for Low Density Residential could be developed as age-restricted, or "active adult" homes alternative. Table 5-1 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. The areas designated Low Density Residential on the current Specific Plan Land Use Plan (Exhibit 3.1) consist of Planning Areas 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43, 44A, 44B, 46, 48A, 48B, 50A, 50B, 52A, 52B, 56A, 57, 58 and 59. Please note that the residential uses which may be developed within the PAs listed above may also be developed within the Medium Density Residential and High Density Residential designations of this Specific Plan subject to the Low Density Residential Regulations. Section 6.1.2 in the *Administration and Implementation* section of this Specific Plan sets forth the allowance of minor adjustments and modifications of these regulations.

Land uses permitted within Low Density Residential planning areas shall comply with the following use and development standards provisions. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.2.2 Low Density Development Standards

Low Density Residential lots are intended to accommodate detached single-family homes with private yards. These homes may have either street or alley vehicle access to garages. Typically, lots within this land use designation are at least 46 feet wide. Low Density Residential standards are applicable to Low Density Residential-designated Planning Areas 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43, 44A, 44B, 46, 48A, 48B, 50A, 50B, 52A, 52B, 56A, 57, 58 and 59. Low-density, age-restricted housing is a further option which could be developed in compliance with these standards. These standards and permitted uses shall also apply in any of the Medium

Density or High Density Residential planning areas, as well as in Planning Areas 17, 18, 20 and 68 if alternate Low Density Residential uses are allowed in these areas.

Table 5-1
LDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43, 44A,
44B, 46, 48A, 48B, 50A, 50B, 52A, 52B, 56A, 57, 58 and 59

Land Uses	Low Density Residential
Residential Uses	
Assisted Living Facility	C
Bed & Breakfast	C
Community Care Facility	C
Condominiums	P
Day Care Center	X
Homeless Shelters	X
Multi-Family Dwellings	X
Nursing Home & Congregate Care	P
Planned Unit Development	P
Residential Care Facilities	C
Second Dwelling Unit	P
Single Family Dwelling	P
Equestrian Uses	
Stables, Private	X
Stables, Commercial	X
Tack & Feed Stores	X
Veterinary Offices and Hospitals	X
Agricultural Uses	
Grazing of Animals	C
Kennels and Catteries, Commercial	C
Locally Adaptive Farming	X
Factory Farms with Genetic Monocultures	X
Ranching	X
Recreational Uses	
Clubhouses/Community Centers	C
Swimming Pool/Sports Club	C
Parks, Sports Courts and Fields	C
Accessory Uses	
Telecommunications Antennae	X
Rooftop Solar Energy/Water Heating Panels	P
In-Garage Electric/Compressed Natural Gas Fueling Station	P
Garages ²	C

Other Uses	
Land Uses	Low Density Residential
Cemeteries	C
Churches	C
Fire Stations	P
Utility Facilities	C
Private Schools	C
Neighborhood Oriented Retail Stores 3	X
Temporary Uses 4	T
NOTES: 1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T). 2 Intended for vehicles storage only, except in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance. 3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee or similar uses, less than 5,000 SF in total square footage. 4 Include such uses as model sales complexes and trailers, and construction offices. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.	

Table 5-2 below establishes standards for lot dimensions, building setbacks and height, design variation and parking for Butterfield Specific Plan's Low Density Residential homes. Minimum lot sizes of 5000 square feet are allowed in Planning Areas 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43, 44A, 44B, 46, 48A, 48B, 50B, 52B, 56A, 57, 58 and 59. For Planning Areas 50A and 52A, designated LDR-7500, the minimum lot size required is 5,000 square feet, with a minimum average (or mean average) lot size of 7,500 square feet (see Table 5.3). See Section 5.2.3 for an example of plotting and setback requirements for Low Density Residential areas.

Table 5-2
Low Density Residential (LDR) Development Standards
for Planning Areas 1A, 1B, 2B, 6, 7, 9A, 9C, 10, 12, 16A, 16B, 40, 41, 42A, 42B, 43,
44A, 44B, 46, 48A, 48B, 50B, 52B, 56A, 57, 58 and 59

Category	Standard
Lot Dimensions	
Maximum Density	5 DU/AC
Minimum Lot Area	5,000 square feet
Minimum Lot Width	
Interior	46'
Corner	51'
Minimum Lot Frontage	20'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
• Swing-In Garage	10'
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living	10'
Rear	
• Living	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	50% two-story; 70% one-story
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

Table 5-3 provides additional required development standards for Planning Areas 50A and 52A that require a minimum lot area of 5,000 square feet and a minimum average lot size of 7,500 square feet in these two planning areas.

Table 5-3
Low Density Residential (LDR) – 7500
Development Standards for Planning Areas 50A and 52B

Category	Standard
Lot Dimensions	
Maximum Density	5 DU/AC
Minimum Lot Area *	5,000 square feet
Minimum Average Lot Area *	7,500 square feet
Minimum Lot Width	
Interior	50'
Corner	55'
Minimum Lot Frontage	30'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
• Swing-In Garage	12'
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living	10'
Rear	
• Living	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	50% two-story; 70% one-story
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

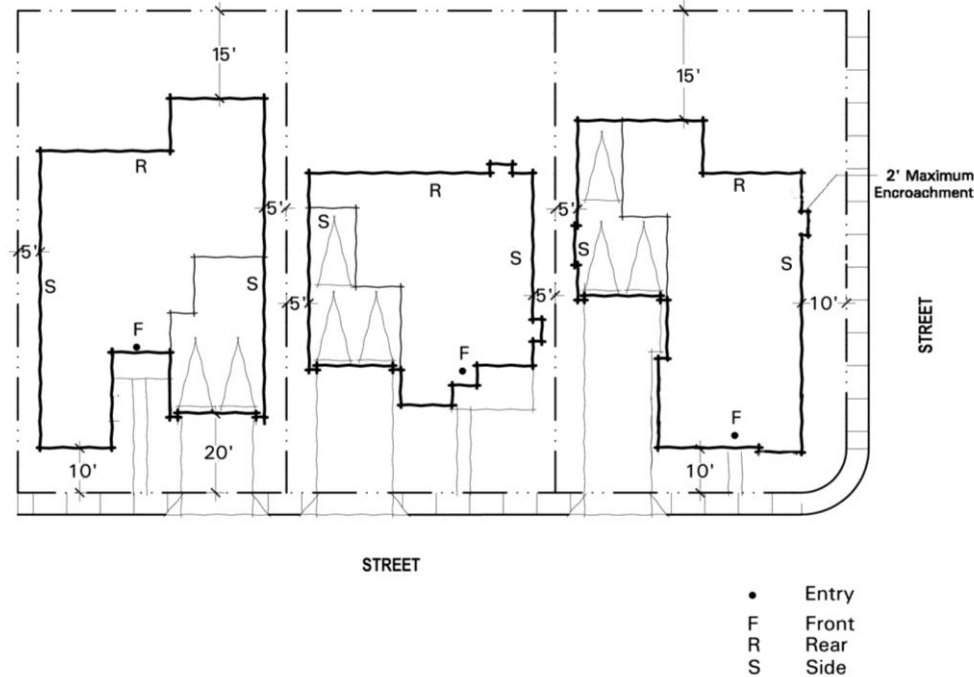
* Minimum average lot size shall be calculated as a mean average by dividing the total area of all residential lots in a planning area (excluding street right-of-way and open space lots) by the total number of residential lots in the planning area.

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

5.2.3 Low Density Residential Lots – Illustrative Plot

Figure 5.1 provides an illustration of a concept plotting for Low Density Residential homes, which is expected to be typical of those developed within the Butterfield Specific Plan.

Figure 5.1
Low Density Residential Illustrative Plot



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.3 MEDIUM DENSITY RESIDENTIAL (MDR)

5.3.1 Medium Density Permitted Uses

Per Section 3.1, the Medium Density Residential land use designation applies to 336 acres within this Specific Plan. Approximately 115 acres of the 336 acres designated for Medium Density Residential could be developed as age-restricted, or “active adult” homes alternative. Table 5-4 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. Areas designated Medium Density Residential consist of Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 51, 53, 54, 55A, 55B and 56B per the current Specific Plan Land Use Plan (Exhibit 3.1).

Table 5-4
MDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 51, 53, 54,
55A, 55B and 56B

Land Uses	Medium Density Residential
Residential Uses	
Assisted Living Facility	C
Bed & Breakfast	X
Community Care Facility	C
Condominiums & Townhouses	P
Day Care Center	X
Homeless Shelters	X
Multi-Family Dwellings	X
Nursing Home & Congregate Care	P
Planned Unit Development	P
Residential Care Facilities	C
Second Dwelling Unit	X
Single Family Dwelling	P
Equestrian Uses	
Stables, Private	X
Stables, Commercial	X
Tack & Feed Stores	X
Veterinary Offices and Hospitals	X
Agricultural Uses	
Grazing of Animals	X
Kennels and Catteries, Commercial	X
Locally Adaptive Farming	X
Factory Farms with Genetic Monocultures	X
Ranching	X
Recreational Uses	
Clubhouses/Community Centers	C
Swimming Pool/Sports Club	C
Parks, Sports Courts and Fields	C
Accessory Uses	
Telecommunications Antennae	X
Rooftop Solar Energy/Water Heating Panels	P
In-Garage Electric/Natural Gas Fueling Station	P
Garages ²	P

Table 5-4 (continued)
MDR Permitted, Conditional and Prohibited Land Uses for
Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 51, 53, 54,
55A, 55B and 56B

Land Uses	Medium Density Residential
Other Uses	
Cemeteries	X
Churches	C
Fire Station	P
Utility Facilities ³	P
Private Schools	C
Neighborhood Oriented Retail Stores ⁴	X
Temporary Uses ⁵	T

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Intended for vehicles storage only, except in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

3 This use category shall include development of a wastewater treatment plant to serve the Butterfield Specific Plan area.

4 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee bars or similar uses, less than 5,000 in SF in total square footage.

5 Include such uses as model sales complexes and trailers, and construction offices special events. Temporary uses required a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance as modified by this Specific Plan.

Land uses permitted within the Medium Density Residential planning areas shall comply with the following use and development standards provisions. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.3.2 Conventional Medium Density Development Standards

Conventionally plotted Medium Density Residential would consist of detached single-family homes on individual lots with private yards. These homes may have either street or alley vehicle access to the garage. Typically, conventional lots within this land use designation range from 38 to 50 feet in width. The standards below can be applied to Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 51, 53, 54, 55A, 55B and 56B. Medium-density, age-restricted housing is a further option which could be developed in compliance with these standards. These standards may also be applied in any of the High Density Residential designated planning areas as well as in Planning Areas 18, 20 and 68 if alternative residential uses are allowed in these areas.

Table 5-5 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's conventionally-plotted Medium Density Residential homes in Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54, 55A, 55B and 56B. Minimum lot sizes of 3,400 square feet are allowed. See Section 5.3.3 for an example of details on plotting and setback requirements for the Conventional Medium Density Residential areas.

Table 5-6 provides additional required development standards for Planning Area 51 that requires a minimum lot area of 4,500 square feet a minimum average lot size of 7,200 square feet in this particular planning area.

Table 5-5
Conventional Medium Density Residential (MDR) Development Standards
for Planning Areas 2A, 3, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54,
55A, 55B and 56B

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	3, 400 square feet
Minimum Lot Width	
• Interior	38'
• Corner	43'
Minimum Lot Frontage	20'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living	10'
• Front-Facing Garage	20' door face to back of sidewalk
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living Area	10'
Rear	
• Living Area	10'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Maximum Projections	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	70%
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

**Table 5-6
Medium Density Residential (MDR) – 7200
Development Standards for Planning Area 51**

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	4,500 square feet
Minimum Average Lot Area *	7,200 square feet
Minimum Lot Width	
• Interior	45'
• Corner	50'
Minimum Lot Frontage	30'
Minimum Setbacks	
Front Setback **	
• Porch	10'
• Living Area	10'
• Front-Facing Garage	20' door face to back of sidewalk
Side Yard	5'
Street Side Yard	
• Porch	5'
• Living Area	10'
Rear	
• Living Area	15'
• Garage/Patio	5'
• Living Over Garage	10'
Maximum Building Height	
Main Structure	35'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Lot Coverage	70%
Parking	
• Resident	2 spaces per unit within a garage
• Guest	Provided on driveway or street

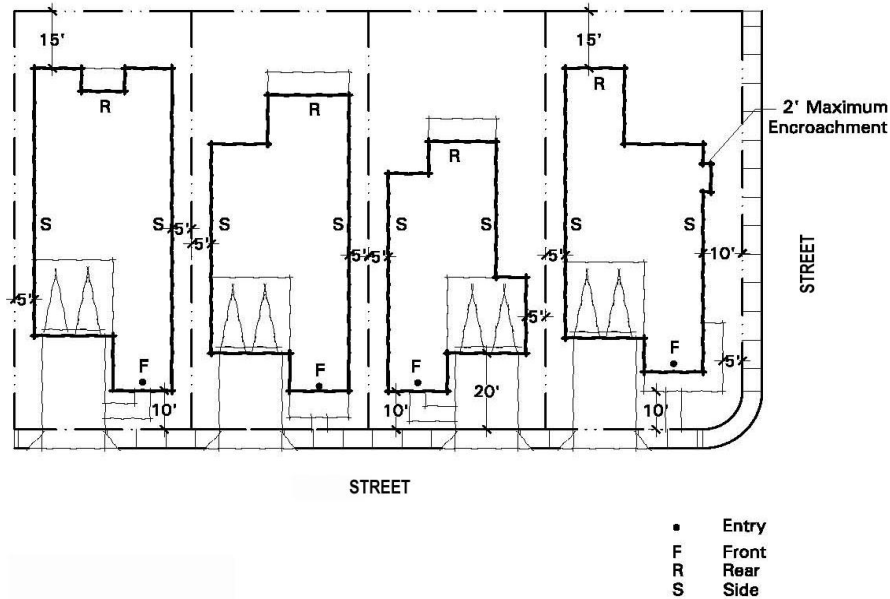
* Minimum average lot size shall be calculated as a mean average by dividing the total area of all residential lots in a planning area (excluding street right-of-way and open space lots) by the total number of residential lots in the planning area.

** Front setbacks shall be measured from the back of sidewalk, not from the property line.

5.3.3 Conventional Medium Density Residential Lots – Illustrative Plot

Figure 5.2 provides an illustration of a conceptual plotting for Medium Density Residential homes, which is expected to be typical of conventionally developed product within this density category of the Butterfield Specific Plan.

Figure 5.2
Conventional Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.3.4 Cluster Medium Density Permitted Uses

As an alternative to conventionally-plotted Medium Density Residential development, a cluster approach to developing within the Medium Density Residential land use designation may be applied to Planning Areas 2A, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54, 55A, 55B and 56B. Table 5-7 summarizes potential land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Cluster Medium Density Residential planning areas shall be permitted in accordance with the following use and development standard provisions of this Section. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

**Table 5-7
Cluster Medium Density Residential
Permitted, Conditional and Prohibited Land Uses**

Land Uses	Green Court Cluster MDR	Motor Court Cluster MDR	Stub St. Court Cluster MDR
Residential Uses			
Assisted Living Facility	C	C	C
Bed & Breakfast	X	X	X
Community Care Facility	C	C	C
Condominiums & Townhouses	P	P	P
Day Care Center	C	C	C
Homeless Shelters	X	X	X
Multi-Family Dwellings	X	X	X
Nursing Home & Congregate Care	P	P	P
Planned Unit Development	P	P	P
Residential Care Facilities	C	C	C
Second Dwelling Unit	X	X	X
Single Family Dwelling	P	P	P
Equestrian Uses			
Stables, Private	X	X	X
Stables, Commercial	X	X	X
Tack & Feed Stores	X	X	X
Veterinary Offices and Hospitals	X	X	X
Agricultural Uses			
Grazing of Animals	X	X	X
Kennels and Catteries, Commercial	X	X	X
Locally Adaptive Farming	X	X	X
Factory Farms with Genetic Monocultures	X	X	X
Ranching	X	X	X
Recreational Uses			
Clubhouses/Community Centers	C	C	C
Swimming Pool/Sports Club	C	C	C
Parks, Sports Courts and Fields	C	C	C
Accessory Uses			
Telecommunications Antennae	X	X	X
Rooftop Solar Energy/Water Heating Panels	P	P	P
In-Garage Electric/Natural Gas Vehicle Fueling	P	P	P
Garages ²	X	X	X

Table 5-7 (continued)
Cluster Medium Density Residential
Permitted, Conditional and Prohibited Land Uses

Land Uses	Green Court Cluster MDR	Motor Court Cluster MDR	Stub St. Court Cluster MDR
Other Uses			
Cemeteries	X	X	X
Churches	C	C	C
Fire Stations	P	P	P
Utility Facilities	C	C	C
Private Schools	C	C	C
Neighborhood Oriented Retail Stores ³	X	X	X
Temporary Uses ⁴	T	T	T

NOTES:

- 1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).
- 2 Intended for vehicles storage only, except in excess of the parking required under Chapter 17.28, Banning Zoning Ordinance.
- 3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee bars or similar uses, less than 5,000 SF in total square footage.
- 4 Include such uses as model sales complexes and trailers, and construction offices. Temporary require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

5.3.5 Cluster Medium Density Development Standards

5.3.5.1 Green Court Cluster Development Standards

Table 5-8 establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's green court cluster Medium Density Residential homes. Minimum lot sizes of 2800 square feet for green court homes are allowed. See Section 5.3.5.2 for an example of plotting and setback requirements

Green court clusters are intended to accommodate detached single-family homes oriented on a paseo (green court), rather than a street. These homes have vehicular access through an alley, with guest parking provided on the street or in a common parking area. These standards could also be applied to green court-oriented, medium-density, age-restricted housing. The standards below can be applied to Planning Areas 2A, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54, 55A, 55B and 56B. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

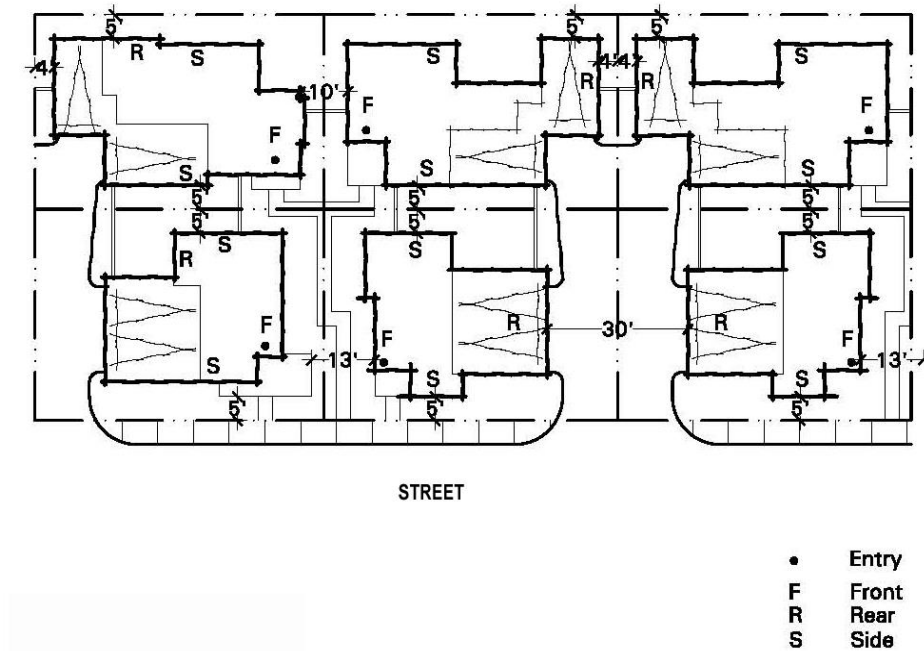
**Table 5-8
Green Court Cluster
Medium Density Residential Development Standards**

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,800 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Minimum Setbacks	
Street-side yard	
<ul style="list-style-type: none"> Living – (Front entry) to back of sidewalk 	10'
<ul style="list-style-type: none"> Side (no entry) to back of sidewalk 	5'
<ul style="list-style-type: none"> Porch - to back of sidewalk 	5'
Rear yard – to alley edge	
<ul style="list-style-type: none"> Living 	10'
<ul style="list-style-type: none"> Garage face to Alley (Apron) 	3'
<ul style="list-style-type: none"> Garage (Swing-In Side Wall) 	4'
<ul style="list-style-type: none"> Living Over Garage 	2' minimum, minimum 3' from a P/L 3' maximum cantilever
Minimum Building Separation	
Front to Front (entries) – at green court	15'
Side to side (no entries)	10'
2 nd -Story Living Rear to Rear at alley	24'
Garage Door to Door at alley	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	150 square feet with a minimum 10' dimension
Parking	
<ul style="list-style-type: none"> Resident 	2 spaces per unit within a garage
<ul style="list-style-type: none"> Guest 	.33 spaces per unit

5.3.5.2 Green Court Cluster – Typical Illustrative Plot

Figure 5.3 provides an illustration of a conceptual plotting for green court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.3
Green Court Cluster Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.3.5.3 Motor Court Cluster Development Standards

Table 5-9 establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's motor court cluster Medium Density Residential homes. Minimum lot sizes of 2000 square feet for motor court homes are allowed. See Section 5.3.5.4 for an example of plotting and setback requirements.

Motor court clusters are intended to accommodate detached single-family homes on a common driveway, with guest parking provided on the street or in a common parking area. These standards could also be applied to motor court-oriented, medium-density, age-restricted housing. The standards below can be applied to PAs 2A, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54, 55A, 55B and 56B. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

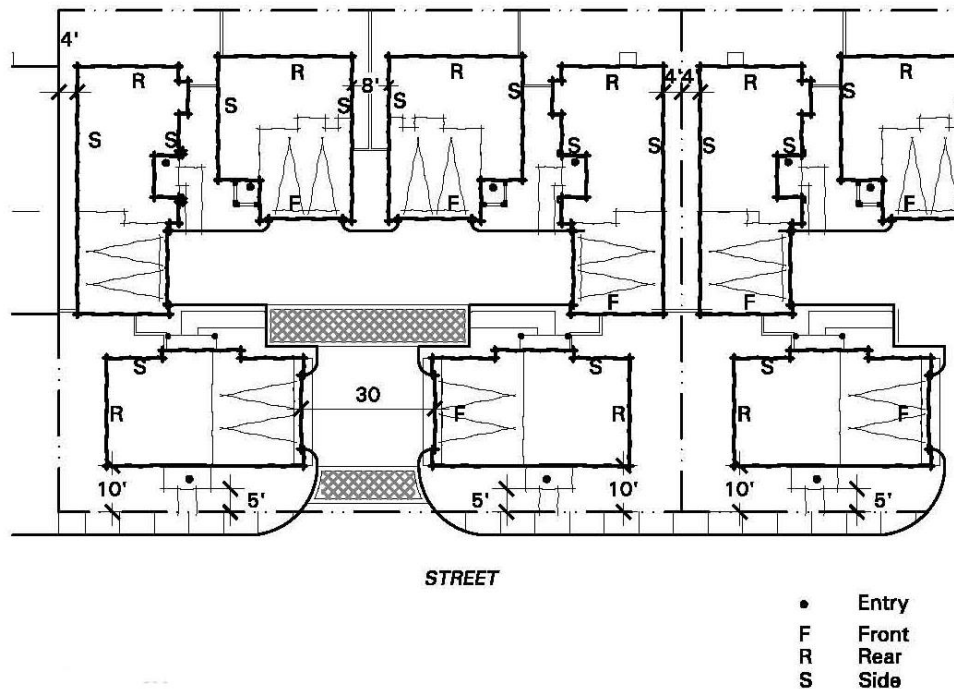
**Table 5-9
Motor Court Cluster
Medium Density Residential Development Standards**

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,000 square feet
Minimum Lot Width	30'
Minimum Lot Depth	60'
Minimum Setbacks	
Front Setback (From Shared Drive or ROW)	
• Garage	4'
• Garage to Alley (Apron)	3'
• Living Over Garage	2' minimum, 3' minimum from a P/L 3' maximum cantilever.
Street-side Yard	
• Living - to back of sidewalk	10'
• Porch - to back of sidewalk	5'
Rear yard – to P/L	
• Living	10'
• Porch	5'
Minimum Building Separation	
Front to Front (entries)	15"
Front to Side (entries)	15'
Side to Side (no entries)	8'
2 nd -Story Front to Front Living	24'
Garage Door to Garage Door	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	300 square feet with a minimum 10' dimension
Parking	
• Resident	2 spaces per unit within a garage
• Guest	.33 spaces per unit

5.3.5.4 Motor Court Cluster – Typical Illustrative Plot

Figure 5.4 provides an illustration of a conceptual plotting for motor court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.4
Motor Court Cluster Home Illustrative Plot
Medium Density Residential



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5.3.5.5 Stub Street Court Cluster Development Standards

Tables 5-10 establish the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's stub street court cluster Medium Density Residential homes. Minimum lot sizes of 2200 square feet for stub street court homes are allowed. See Section 5.3.5.6 for an example of plotting and setback requirements

Detached condo lots are intended to accommodate detached single-family homes oriented on a short stub street or alley. Guest parking for these homes is provided on the street or in a common parking area. These standards may also be applied to medium density detached condo cluster, age-restricted housing. The standards below are applicable to Planning Areas 2A, 4, 5A, 5B, 8A, 9B, 11, 13, 45, 47A, 47B, 47C, 49A, 49B, 53, 54, 55A, 55B and 56B. These standards may also be applied in any of the High Density Residential designated planning areas, as well as in Planning Areas 18, 20 and 68 if residential uses are allowed in these areas.

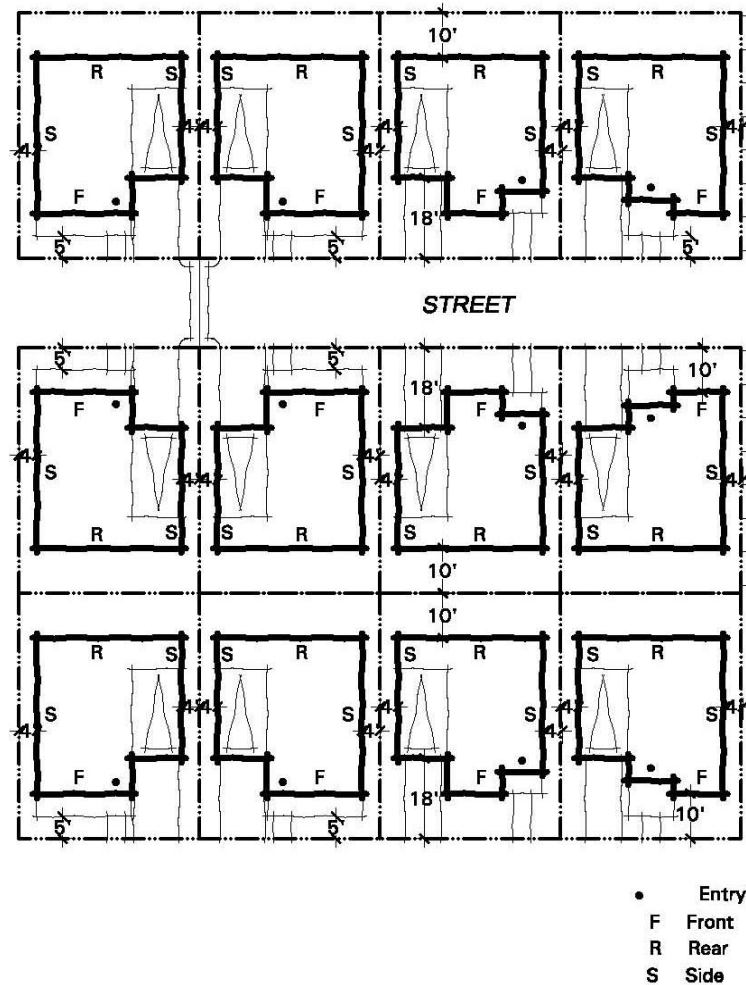
Table 5-10
Stub Street Court Cluster
Medium Density Residential Development Standards

Category	Standard
Lot Dimensions	
Maximum Density	10 DU/AC
Minimum Lot Area	2,200 square feet
Minimum Lot Width	40'
Minimum Lot Depth	55'
Minimum Setbacks	
Front Setback (From back of sidewalk or curb)	
• Porch	5'
• Living	10'
• Garage	18'
Side Yard	4'
Rear	10'
Minimum Building Separation	
Building to Building	8'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	300 square feet with a minimum 10' dimension
Parking	
• Resident	2 spaces per unit, one within a garage
• Guest	.33 spaces per unit

5.3.5.6 Stub Street Court Cluster – Typical Illustrative Plot

Figure 5.5 provides an illustration of a conceptual plotting for stub street court cluster Medium Density Residential homes, which is expected to be typical of cluster developed product of this type within this density category of the Butterfield Specific Plan.

Figure 5.5
Stub Street Court Cluster Home Illustrative Plot
Medium Density Residential



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.4 HIGH DENSITY RESIDENTIAL (HDR)

5.4.1 High Density Residential Permitted Uses

Per Section 3.1, the High Density Residential land use designation applies to 38.4 acres within this Specific Plan. Table 5-11 summarizes potential land uses permitted within this designation either by right or which may be conditionally permitted. Areas designated High Density Residential consists of Planning Areas 8B, 15A, and 15B.

Land uses permitted within the High Density Residential planning areas shall comply with the following use and development standards provisions. Single family detached homes (i.e. Low Density Residential or Medium Density Residential uses and development standards) may also be utilized and developed under this development designation. The City of Banning Planning Division shall analyze all applications for approval of conditional uses for consistency with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance, *Conditional Use Permits*.

5.4.2 High Density Residential Development Standards

High Density Residential lots are intended to accommodate attached single-family dwellings with semi-private courtyards and common green spaces. These homes may be oriented either toward the street front, a common motor court or common 'green court' area. The standards below can be applied to Planning Areas 8B, 15A and 15B. Age-restricted housing is a further option which could be developed in compliance with these standards. Low Density and Medium Density Residential development may be developed in the HDR planning areas.

Table 5-12 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's conventionally-plotted High Density Residential homes in Planning Areas 8B, 15A and 15B. See Section 5.4.3 for an example of details on plotting and setback requirements for the High Density Residential areas.

**Table 5-11
HDR Permitted, Conditional and Prohibited Land Uses
for Planning Areas 8B, 15A and 15B**

Land Uses	High Density Residential
Residential Uses	
Assisted Living Facility	C
Bed & Breakfast	X
Community Care Facility	C
Condominiums & Townhouses	P
Day Care Center	C
Homeless Shelters	X
Multi-Family Dwellings	P
Nursing Home & Congregate Care	P
Planned Unit Development	P
Residential Care Facilities	C
Second Dwelling Unit	X
Single Family Dwelling	P
Equestrian Uses	
Stables, Private	X
Stables, Commercial	X
Tack & Feed Stores	X
Veterinary Offices and Hospitals	X
Agricultural Uses	
Grazing of Animals	X
Kennels and Catteries, Commercial	X
Locally Adaptive Farming	X
Factory Farms with Genetic Monocultures	X
Ranching	X
Recreational Uses	
Clubhouses/Community Centers	P
Swimming Pool/Sports Club	P
Parks, Sports Courts and Fields	P
Accessory Uses	
Telecommunications Antennae	X
Rooftop Solar Energy/Water Heating Panels	P
In-Garage Electric/Natural Gas Fueling Station	P
Hydrogen Vehicle Fueling Station (ancillary use)	C
Garages ²	X

Table 5-11 (continued)
HDR Permitted, Conditional and Prohibited Land Uses
for Planning Areas 8B, 15A and 15B

Land Uses	High Density Residential
Other Uses	
Cemeteries	X
Churches	C
Fire Station	P
Utility Facilities	C
Private Schools	C
Neighborhood Oriented Retail Stores ³	X
Temporary Uses ⁴	T

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Intended for vehicles storage only, except in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

3 Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery stores or green grocer, video rental, drug stores, sit down restaurants , coffee shops or coffee bars, or similar uses, less than 5,000 SF in total square footage.

4 Include such uses as model sales complexes and trailers, and construction offices. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

Table 5-12
High Density Residential (HDR) Development Standards
for Planning Areas 8A, 15A and 15B

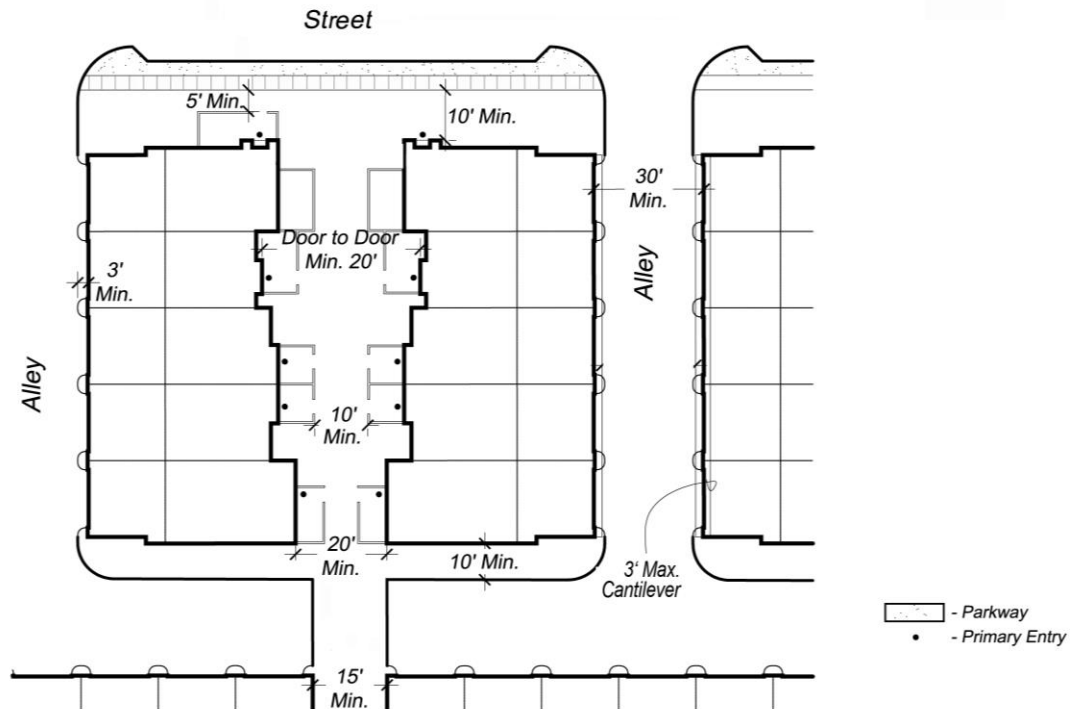
Category	Standard
Lot Dimensions	
Maximum Density	18 DU/AC
Minimum Lot Area*	1 acre
Minimum Lot Width	55'
Minimum Setbacks	
Street-side Yard	
• Living - to back of sidewalk	10'
• Porch - to back of sidewalk	5'
Rear – to alley edge	
• Living Over Garage at alley	3' maximum cantilever, w/ minimum 3' from all P/L
• Garage to Alley (Apron)	3'
Minimum Building Separation	
Living Front to Front (entries)	20'
Living Side to Side (no entries)	15'
Living Front to Side (entry)	15'
Opposing Porches, Balconies, courtyard walls	10'
Garage Door to Garage Door at alley	30'
Maximum Building Height	
Main Structure	45'
Projections Into Setbacks	
	Per Sec. 17.24.120 of the Banning Zoning Ordinance
Others	
Minimum Private Yard Area	50 square feet
Parking	
• Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
• Guest	0.5 spaces per unit

* Development of single family detached or cluster homes at proposed densities of less than 10 DU/AC would comply with minimum lot area and other development standards for LDR (Table 5-2), conventional MDR (Table 5-6) or cluster MDR (Table 5-9, 5-10 or 5-11) as applicable.

5.4.3 High Density Residential Lots – Illustrative Plot

Figure 5.6 provides an illustration of a concept plotting for High Density Residential, which is expected to be typical of high density attached homes to be developed within the Butterfield Specific Plan, at a density of 10-18 DU/acre.

Figure 5.6
High Density Residential Illustrative Plot



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5.5 COMMERCIAL

5.5.1 Commercial Permitted Uses

Within the Butterfield Specific Plan, 36.7 acres have been designated Commercial in Planning Areas 17 and 18. While conventional retail and office uses are those primarily intended for PA 17, PA 18 may combine a number of uses onsite, some of which may complement those of the expanded Banning Healthcare complex nearby. A senior-oriented residential project, a restaurant, and a community care facility are potential additional elements of a mixed use development.

Table 5-13 summarizes potential land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Commercial planning areas shall be permitted in accordance with the following use and development standards provisions. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

5.5.2 Commercial Development Standards

General commercial allows a broad range of uses including food and drug stores, retail stores and services uses that serve the general neighborhood. The design of commercial areas will take into consideration the surrounding use. The standards below can be applied to Planning Areas 17 and 18. These standards shall also apply to Planning Areas 3, 4, 9B, 20 and 26 if alternate commercial use as allowed are proposed in these areas. Table 5-14 which follows establishes the standards for lot dimensions, building setbacks, building height, design variation and parking for Butterfield Specific Plan's general commercial development.

If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 9B, 20 and 26, approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.

**Table 5-13
Commercial Permitted, Conditional and Prohibited Land Uses**

Land Uses	Commercial Pas 17, 18
Recreation / Education / Public Assembly Uses	
Adult entertainment	X
Adult day care facilities	C
Automobile race track	X
Billiard parlors/pool halls	X
Churches	P
Community centers	P
Convention facilities	X
Day Care Centers	C
Health/fitness facilities	P
Indoor recreation centers	P
Libraries	P
Membership organization facilities	X
Museums	P
Outdoor commercial recreation	P
Public parks and playgrounds	X
Recreational vehicle (RV) parks	X
Recreational vehicle (RV) storage	C
Schools	P
Sport facilities and outdoor public assembly	C
Studios for dance, art, music, photography	P
Theatres and meeting halls	P
Retail Uses	
Accessory retail uses	P
Alcoholic Beverage Sales, on- or off-site	C
Antique stores	P
Art Galleries	P
Mobile home & motor vehicle sales, new	X
Mobile home & motor vehicle sales, new & used	X
Bakeries, retail	P
Bars and drinking establishments	X
Building material stores	X
Certified farmers' markets	T
Convenience Stores	P
Convenience Stores, no liquor sales	P
Department stores	P
Drive-in and drive-through sales	C
Drug stores	

Table 5-13 (continued)
Commercial Permitted, Conditional and Prohibited Land Uses

Land Uses	Commercial Pas 17, 18
Factory outlet centers	P
Farm and ranch supply stores	X
Furniture, furnishings, home equipment stores	P
Gift shops	P
Grocery stores, retail butchers and greengrocers	P
Hardware/lumber stores	P
Liquor stores (off-site consumption)	X
Outdoor retail merchandise display/activities	X
Outdoor retail sales, temporary	T
Pawn shops	X
Pet stores and grooming	P
Restaurants, no beer, wine or liquor sales	P
Restaurants, serving beer, wine or liquor	C
Restaurants, drive-in, take-out, fast food	X
Retail stores, general merchandise	P
Second hand/thrift stores	X
Shopping centers, 15,000 SF +	P
Video rental stores	P
Warehouse or club stores	P
Resource and Open Space Uses	
Plant nurseries, with on-site sales	X
Plant nurseries, without on-site sales	X
Surface Mining	X
Cargo/Storage Containers	P
Services	
Freestanding ATM Machines	P
Banks and financial establishments/services	P
Barber Shops and Beauty Shops	P
Bed and breakfast establishments	X
Business support/secretarial services	P
Car wash	X
Columbriums and mortuaries	X
Construction storage (indoor &/or outdoor)	X
Drive-in and drive-through services	C
Dry cleaning, retail	P
Equipment rental yards	X

Table 5-13 (continued)
Commercial Permitted, Conditional and Prohibited Land Uses

Land Uses	Commercial Pas 17, 18
Government offices	P
Hotels and motels	P
Laundry, coin operated	X
Massage Parlors	X
Medical services, clinics and labs	P
Vehicle fueling/service stations (gas & electric)	C
Professional offices	P
Public parking	C
Public utility and safety facilities	P
Real estate offices	P
Repair/maintenance of consumer products	X
Repair and maintenance of motor vehicles	X
Research and development facilities	P
Storage, accessory, including self-storage	X
Veterinary clinics, animal hospitals, grooming	C
Residential Uses	
Senior Housing	P
Elder Care Housing	P
Assisted Living Facility	P
Other Uses	
Public Utility Facilities	P
Fire Stations	P
Telecommunications Antennae/Towers	P
Day Care Centers	C
General Retail / Gift Shops (ancillary use)	C
Restaurants (ancillary use)	C
Group Homes	X
Social Service Agency Offices	X
Rooftop Solar Energy/Water Heating Panels	P
Electric/Natural Gas Vehicle Fueling Station (ancillary use)	P
Hydrogen Vehicle Fueling Station (ancillary use)	C
Temporary Uses ³	T

NOTES:

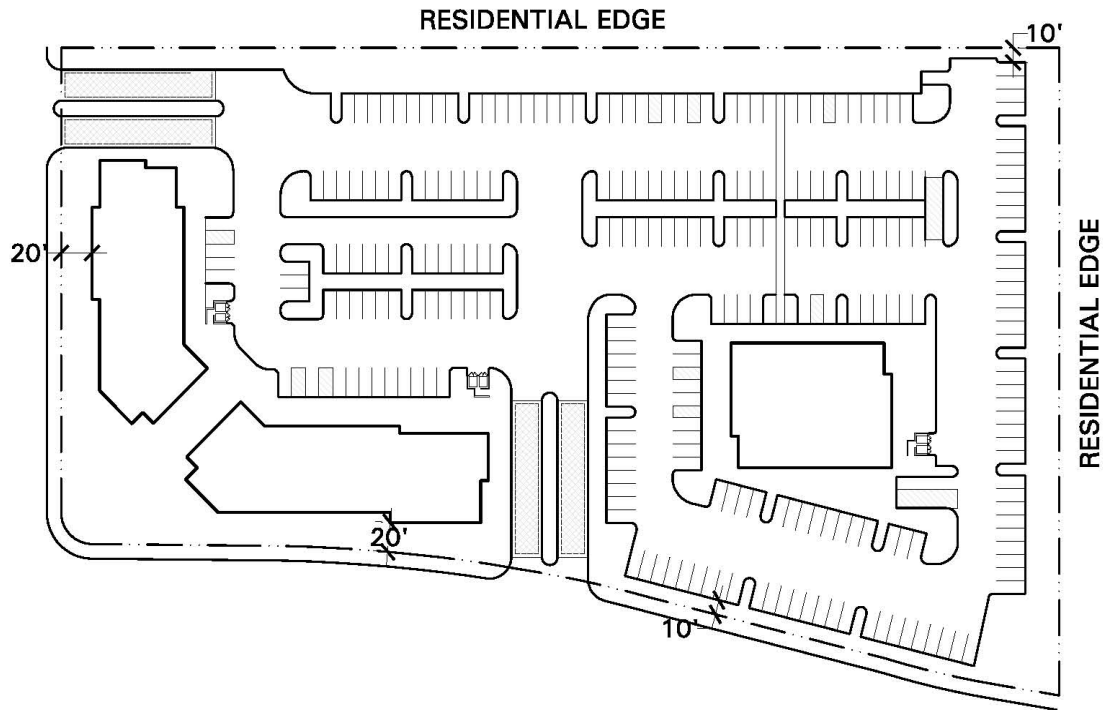
- 1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).
- 2 Parking requirements for commercial and/or other uses shall be determined through a parking demand study provided in connection with processing a development application(s) to approve particular uses for implementation on each of these sites.
- 3 Include such uses as model sales complexes and trailers, construction offices, Christmas tree sales lots, and special events. Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.

**Table 5-14
Commercial Development Standards**

Category	Standard
Lot Dimensions	
Minimum Lot Area	6,000 square feet
Minimum Lot Width	60'
Minimum Setbacks	
Front Setback	
• Parking	10'
• Building	20'
Side Yard	
• Parking adj. to Residential	10'
• Building adj. to Residential	20'
• Other	0'
Street Side Yard	
• Parking	10'
• Building	20'
Rear	
• Parking adj. to Residential	10'
• Building adj. to Residential	20'
• Other	0'
Maximum Building Height	
Main Structure	50'
Others	
Lot Coverage by Buildings	35%
Parking	Per Chapter 17.28, Parking and Loading Standards, of the Banning Zoning Ordinance

5.5.3 General Commercial – Typical Illustrative Plot

Figure 5.7
General Commercial – Typical Illustrative Plot



Notes: Diagram for illustrative plotting purposes only - Minimum setbacks are illustrated except where noted

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5.6 ACTIVE OPEN SPACE

5.6.1 Recreational Permitted Uses

Within the Butterfield Specific Plan, approximately 210 acres have been designated for active recreational uses, within Planning Areas 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 35A-F, 36, 37, 38, 39, 62, 63, 64, 65, 66, 67 and 72. The Central Open Space in the Butterfield Specific Plan includes PAs 23, 25, 27, 35A-F, 64 and 66. Neighborhood, Recreation and Community Parks are proposed for the remaining planning areas. Only Planning Areas 21, 23, 25, 35, 39 and 63, as specified in Section 5.6.2 of the Specific Plan, are anticipated to potentially include buildings to house recreational-related uses. Buildings or structures are not allowed in Planning Areas 36, 37 and 38 (SCE easement), portions of Planning Areas 64, 65 and 66 (fault zone setback areas), or in any designated floodways.

Table 5-15 summarizes potential active recreational land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Table 5-15
Active Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Neighborhood Parks (PA's 22, 24, 26, 28-33, 62, 65, 67, 72)	Neighborhood Recreation Parks (PA's 21, 39, 63)	Community Parks (PA's 36, 37, 38)	Central Open Space / Drainage (PA's 23, 25, 27, 35A-F, 64, 66)
Recreational Uses				
Clubhouses	X	P	X	P
Community Centers	C	P	X	P
Interpretive or Visitor Information Centers	X	C	P	C
Playgrounds	P	P	P	P
Buildings/Grounds/Equipment Maintenance	P	P	P	P
Restroom Facilities	P	P	X	P
Theatres and Amphitheaters	X	P	X	C
Trails	P	P	P	P
Passive Open Space	P	P	P	P
Habitat Conservation Areas	P	P	P	P
Parks, Sports Courts and Fields	P	P	P	P
Lakes	X	X	P	P
Commercial Recreation Facilities	X	X	X	C

Table 5-15 (continued)
Active Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Neighborhood Parks (PA's 22, 24, 26, 28-33, 62, 65, 67, 72)	Neighborhood Recreation Parks (PA's 21, 39, 63)	Community Parks (PA's 36, 37, 38)	Central Open Space / Drainage (PA's 23, 25, 27, 35A- F, 64, 66)
Other Uses				
Administrative Offices	X	P	X	P
Fire Stations	P	P	X	P
Telecommunications Antennae/Towers	X	C	X	X
Day Care Centers	P	P	X	C
Swimming Pool/Sports Club	P	P	X	C
Additional Parking	X	X	P	P
Rooftop Solar Energy/Heating Panels	P	P	P	P
Electric Vehicle Fueling Stations	P	P	P	P
Hydrogen Vehicle Fueling Station	C	C	C	C
Stables	X	X	X	C
Plant Nurseries and Agriculture	X	X	X	P
Locally Adaptive Farming	X	X	C	C
Grazing of Animals	X	X	C	X
Water/Drainage Facilities	P	P	P	P

NOTES:

1 Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

2 Parking requirements for recreational and related uses shall be determined through a parking demand study provided in connection with processing a development application(s) to approve particular uses for implementation on each of these sites.

3 In addition to the parking determined to be required for PAs 35 & 39 which is expected to be provided within PA 39, overflow parking for permitted uses as well as special events may be provided on PA's 36,37 and 38.

Land uses permitted within the Parks or Open Space planning areas shall be permitted in accordance with the use and development standards provisions of Section 5.6. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

5.6.2 Community Recreation Development Standards

Community recreation allows for recreational uses including clubhouses and other recreational structures that may be found in a park or community recreation complex. The design of these recreation facilities will be compatible with the surrounding residential character and are considered to be the cornerstone of the community. The standards found in Table 5-16 below shall be applied to buildings that could potentially

be erected in Planning Areas 21, 23, 25, 27, 35A-F, 39, 63, and 64. Landscaping provided to accompany community recreation facilities will be governed by Chapter 4, Design Guidelines, of the Butterfield Specific Plan.

Table 5-16
Community Recreation Standards

Category	Standard
Lot Dimensions	
Minimum Lot Area	5,000 square feet
Minimum Lot Width	60'
Minimum Setbacks	
Front Setback	
• Parking	10'
• Building	20'
Side Yard	
• Parking	10'
• Building	20'
Street Side Yard	
• Parking	10'
• Building	20'
Rear	
• Parking	10'
• Building	20'
Maximum Building Height	
Main Structure	35'
Others	
Lot Coverage by Building	35%
Parking	To be determined through a parking demand study provided during development review

5.7 PASSIVE OPEN SPACE

5.7.1 Passive Open Space

The Natural and Landscaped Open Space consists of natural vegetation and hillsides (Planning Areas 34 and 73), landscaped SCE easements (Planning Area 74), fuel modification setback areas (Planning Areas 69 and 75), and drainage facilities Planning Areas 19 and 71). This open space will also include such amenities as trails, vista points, and re-landscaped biological mitigation areas.

Tables 5-17 summarizes potential passive recreational land uses respectively to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted within the Natural / Landscape / Easement or Drainage planning areas shall be permitted in accordance with the following use and development

standards provisions. Applications for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the Butterfield Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance. If required, a land use permit shall be subject to the provisions of the Banning Zoning Ordinance.

Table 5-17
Passive Recreational Permitted, Conditional and Prohibited Land Uses

Land Uses	Natural / Landscape/ Easement (PAs 34, 69, 73, 74, 75)	Drainage (PA's 19, 71)
Recreational Uses		
Clubhouses	X	X
Community Centers	X	X
Interpretive or Visitor Information Centers	C	X
Playgrounds	X	X
Restroom Facilities	C	C
Theatres and Amphitheatres	X	X
Trails	P	P
Passive Open Space	P	P
Lakes	P	P
Habitat Conservation Areas	P	P
Sports Courts and Fields	X	X
Other Uses		
Water/Drainage Facilities	P	P
Telecommunications Antennae/Towers	C	C
Campgrounds	C	X
Swimming Pool/Sports Club	X	X
Stables	X	X
Grazing of Animals	C	C

Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T)

5.7.2 Passive Open Space Development Standards

All recreation facilities shall be designed in accordance with the design requirements of the City of Banning or any other involved maintenance entity.

All recreational facilities will provide parking in accordance with City standards as applicable.

All recreation and park facilities will be constructed to meet current State and Federal safety and accessibility standards.

All active and passive recreational facilities will be landscaped and, where necessary, irrigated in a manner conducive to the type of plant material and landscape setting.

Landscaping within Passive Open Space areas will be further governed by Chapter 4, Design Guidelines, of the Butterfield Specific Plan.

The project is subject to fees for neighborhood and community park facilities, in accordance with the City's Parkland Development Fees. These fees shall be paid or facilities provided in lieu of fees for each dwelling unit constructed within the Specific Plan. Credit against these fees shall be granted by the City for all public parkland and improvements provided by the developer of Butterfield.

5.8 PUBLIC FACILITIES

5.8.1 Public Facility Development Standards

The California State Architect, in coordination with the Banning and Beaumont Unified School Districts respectively, has authority over design and permitting requirements for public school construction within PAs 20 and 68 of the Specific Plan area. No permits are required from any local government entity, including the City of Banning. Therefore, no development standards for school facilities are promulgated within Section 5 of this Specific Plan.

Planning Area 70 is a 4.2 acre site for the City of Banning's use as an electrical substation facility. This City substation site facilitates interconnection with SCE's transmission lines because of its location just north and adjacent to the east-west easement that runs through the mid-portion of the project site. The City's own technical requirements for this facility will apply.

Approximately 2 to 5 acres of the south end of Planning Area 11, adjacent to Wilson Street and Highland Home Road, may be developed as a satellite wastewater treatment as an alternative for project wastewater treatment. A change to the Chromium drinking water standard has also occurred since the Butterfield Specific Plan approval in 2012. The City has identified this site also as a potential site for Chromium treatment facilities. The development of wastewater and water treatment facilities will comply with California state law and with the plan check requirements of the County Environmental Health Department and/or the City of Banning. The maximum height allowed on all structures associated with these treatment facilities will be 35 feet. The minimum structure setback will be 20 feet from all property lines. Screen walls and landscaping are allowed in the setback.

The Butterfield Project Development Agreement calls for the development of a site within the project for a public Community Recreation Center and proposes that PA 39 could be the site for such a center. The 3 acre Planning Area 39 site is reserved as a community park site in the Specific Plan and can be used as site for a community recreation center for the City of Banning if the City determines this is appropriate. Other areas in the Specific Plan that allow for development may also be used for the proposed community

recreation center site, including the south end of PA 11 as indicated in the Development Agreement.

PA 72 located on the proposed northerly extension of Highland Home Road has been identified as a potential fire station site (1.6 acres) option, if the City determinates that an additional station is needed and that this location is appropriate, otherwise the site is designated for park use.

6.0 ADMINISTRATION AND IMPLEMENTATION

SECTION 6

BUTTERFIELD SPECIFIC PLAN

6.0 ADMINISTRATION AND IMPLEMENTATION

6.1 SPECIFIC PLAN ADMINISTRATION

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of the city's General Plan. As with General Plans, the Planning Commission must hold a public hearing before the planning agency can recommend the adoption of a Specific Plan.

The City of Banning's Community Development Director shall be responsible for administering the provisions of the Butterfield Specific Plan in accordance with the provisions of the Specific Plan, the State of California Government Code, the Subdivision Map Act, and the City of Banning General Plan, Zoning Ordinance and Municipal Code. The Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

6.1.1 Interpretation and Determination of Substantial Conformance

The final plans for each planning area for the project may be adjusted or modified, based upon final engineering and the precise plans of a project developer. A minor modification or adjustment to the Butterfield Specific Plan listed under Section 6.1.2 below would not require a Specific Plan Amendment.

Documentation of the proposed project as modified to support an implementing map, plot plan, or use permit, must be submitted for the review and approval of the Community Development Director. The Community Development Director shall have the authority to identify and approve on behalf of the City minor adjustments or modifications which substantially conform to the adopted Specific Plan. If the project proponent seeks a modification or adjustment to the Butterfield Specific Plan which is deemed to be a substantial modification, the Community Development Director shall have the discretion to refer any such requests to the Planning Commission.

The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo such technical review by City agencies as the Community Development Director deems necessary to provide for updated conditions of project approval.

6.1.2 Minor Adjustments and Modifications

The following minor modifications to the Specific Plan would qualify for processing under a Substantial Conformance application instead of as a Specific Plan Amendment, subject to the review and approval of the Community Development Director:

- Changes in the location of infrastructure and public facilities (such as internal roads, drainage facilities, etc.), subject to the review and approval of the Public Works Director also.

- Minor change in roadway alignment and grade, subject to the review and approval of the Public Works Director also.
- Adjustment of planning area boundaries provided the total acreage of the affected planning area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan, notwithstanding the other minor adjustment provisions herein, and except that school, park and open space planning areas may increase more than 20%.
- Revision to the number of dwelling units within a planning area if the total number of units for the Specific Plan area does not exceed the maximum number of units (4,862) allowed by the Butterfield Specific Plan and the maximum density allowed in a planning area.
- Revision in the land use density and applicable use standards to Medium Density Residential within all planning areas designated Low Density Residential, except PAs 50 and 51, so long as the maximum dwelling unit total (4,862) for the Specific Plan is not exceeded.
- Minor change of landscaping materials and/or locations, wall materials within those allowed by the Specific Plan, wall alignment, entry design, and streetscape design which are consistent with the conceptual designs set forth in the Specific Plan Design Guidelines.
- Minor changes to the Design Guidelines set forth in Section 4.0, which are intended to be flexible in nature.
- Changes in the sequencing of the development phasing as discussed in Section 3.7 of this Specific Plan.
- Deviations not exceeding 10% are allowed from the development standards set forth in Section 5.0 of this Specific Plan, subject to the discretion and approval of the Community Development Director.
- The Neighborhood Parks and Neighborhood Recreation Parks (PAs 21, 22, 24, 26, 28-33, 39, 63, 65, 67 and 72) may be relocated in their respective areas, including into central open space (PA's 23, 25, 27, 35A-F, 64 and 66).
- If it is deemed preferable to locate additional stormwater detention facilities at the south end of the Specific Plan Area along Smith Creek, these facilities may be located in Planning Area 9.
- Alternate uses of PA's 3, 4, 9B, 17, 18, 20, 26 and 68 as allowed by Section 3.1.1.2 of this Specific Plan. If Commercial or mixed use development is proposed in any portions of PAs 3, 4, 9B, 20, and 26, as allowed by Section 3.1.1.2, approval of a Conditional Use Permit and/or a Planned Unit Development application will be required subject to Sections 17.52 and 17.92 of the City of Banning Zoning Ordinance. The City Community Development Director will have the discretion of determining which of these applications will be required. A Traffic Validation Report (TVR) will be required to verify that the Project's total peak hour trips based on this

alternative commercial use are consistent with the assumptions of the *Butterfield Specific Plan Traffic Impact Analysis*, dated December 2010.

- Other minor modifications similar to those listed above and deemed minor by the Community Development Director, which are in keeping with the intent of the Butterfield Specific Plan.

6.1.3 Specific Plan Amendments

Significant amendments may be proposed to the Butterfield Specific Plan using the same process by which it was adopted. In addition, an amendment to this Specific Plan shall demonstrate that it meets the intent of the Specific Plan, or provide a finding that the amendment enhances the Plan or is necessary to implement the Plan. All sections or portions of the Specific Plan to be changed or that may be affected by the change must be included in the Specific Plan Amendment. A concurrent amendment to the General Plan would not be required provided the City Council determines that substantive changes would not influence the goals, objectives, policies or programs of the City of Banning General Plan.

6.2 SPECIFIC PLAN IMPLEMENTATION

The Butterfield Specific Plan is implemented through City approval of a tentative tract map and design review of site development plans. Any development proposal shall be subject to the review procedures established in this Specific Plan.

6.2.1 Subdivision Maps

Subdivision maps implementing the Butterfield Specific Plan shall be prepared and filed in accordance with the Subdivision Map Act and Chapter 22, *Subdivisions*, of the City of Banning Municipal Code. Approval of the project's Final Tract Map is required in order to create legal lots for the residential development proposed by this Specific Plan.

The City of Banning Planning Commission will review tentative subdivision maps as required by City of Banning Subdivision Ordinance. This planning body makes recommendations of approval or denial to the Banning City Council, which ultimately takes action on the proposed tentative maps.

For purposes of CEQA, the Butterfield Specific Plan is considered a "project". Adoption of the Butterfield Specific Plan, for which an environmental determination shall be made and mitigation measures adopted, shall be deemed to have satisfied the environmental review requirements for the build out of the Specific Plan area.

6.2.2 Project Design Review

The City of Banning shall administer all project submittals and approvals for development within the Butterfield Specific Plan with regard to the implementation of the Specific Plan through the Design Review process. The Community Development Director shall evaluate all projects subject to the Design Review process and may make the required findings and take final action. The Director may also refer projects to the Planning Commission for final action at their discretion.

6.3 MITIGATION MONITORING

A summary of conditions of project approval shall be prepared to mitigate or avoid significant effects on the environment. An approved Mitigation Monitoring Program shall insure that the Butterfield Specific Plan complies with all applicable environmental mitigation and permit requirements. The final approved Mitigation Monitoring program shall be established upon EIR certification.

7.0 GENERAL PLAN CONSISTENCY

SECTION 7

BUTTERFIELD SPECIFIC PLAN

7.0 GENERAL PLAN CONSISTENCY

The Butterfield Specific Plan is required to be found consistent with the City of Banning's General Plan. This chapter describes the projects consistency with the goals and policies set forth in the City of Banning's General Plan which are applicable and furthered by the Butterfield Specific Plan. *Section 7.0 currently involves an analysis of the proposed project as anticipated to be approved by the City of Banning technical review staff for its consistency with the Banning General Plan. The Section 7.0 text will be updated for the Butterfield Specific Plan after the draft Specific Plan has been reviewed and approved by City of Banning.* The City's General Plan is organized into five major chapters: Administration, Community Development, Environmental Resources, Environmental Hazards, and Public Services and Facilities. Within each chapter are the various General Plan Elements and their accompanying goals, policies and programs. The applicable General Plan Goals and Policies listed below follow the organization of the General Plan.

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
CITY-WIDE GOALS & POLICIES				
Goal:	A balanced, well planned community including businesses which provide a functional pattern of land uses and enhances the quality of life for all Banning residents.	The proposed project consists of predominately residential uses, comprised of simple, architecturally designed single-family, detached homes. Neighborhood parks, community parks, schools, open spaces, retail and commercial parcels are also integrated into the community. Parks and pedestrian connections link the neighborhoods together.	●	
Policy 1	The City maintain a land use map which assures a balance of residential, commercial, industrial, open space and public lands.	Once adopted, the Specific Plan will become part of City land use map. As described above, the Specific Plan includes residential, commercial, school, and open space land uses.	●	
Policy 2	The Planning, Public Works and Economic Development staffs shall be closely coordinated, to assure efficient and cost effective processing of applications.	Policy is not applicable.		●
Policy 3	Development in all land use categories shall be of the highest quality.	Design Guidelines are intended to provide an overall framework for future development and to achieve a sense of community identity, character, scale, and sensitivity. These guidelines are intended to provide the means to protect and maintain the long-term quality and value of the community. Accordingly, the Design Guidelines apply to all	●	

		residential, commercial, and landscape construction within Butterfield.		
Policy 4	<p><i>Specific Plans shall be required for projects proposing one or more of the following:</i></p> <ul style="list-style-type: none"> <i>a. More than one residential land use designation;</i> <i>b. A combination of residential, recreational, commercial and/or industrial land use designation; or</i> <i>c. Extension of infrastructure (water, sewer and roadways) into an area where these do not exist.</i> 	The Specific Plan includes several residential land use designations. In addition, the Specific Plan includes recreational and commercial uses, as well as educational uses. All necessary infrastructure to support development associated with the Specific Plan is also included and described in detail.	●	
Policy 5	<i>All land use proposals shall be consistent with the goals, policies and programs of this General Plan, and with the Zoning Ordinance.</i>	The Specific Plan is intended to be consistent with the General Plan (GP). The Specific Plan Development Regulations take precedence over the Zoning Ordinance. The Zoning Ordinance will apply only where not superseded by the Specific Plan.	●	
Policy 6	<i>The City shall implement a program for Art in Public Places.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
COMMERCIAL AND INDUSTRIAL GOALS & POLICIES				
Goal:	Complementary commercial uses which meet the needs of the City's residents, increase the City's revenues, and provide a range of employment opportunities.	The Butterfield Specific Plan designates 36.0 acres of Commercial land use within the Specific Plan area and potentially more with allowed alternatives. The proposed commercial sites within the Specific Plan area are anticipated to accommodate retail and service uses for the proposed Project and surrounding areas. Typical commercial uses permitted in the proposed Specific Plan include primarily conventional retail and offices uses, and a broad range of uses including food and drug stores, retail stores, community and religious centers, health and fitness centers, art studios and theaters, and services that serve the general neighborhood.	●	
Goal:	A balanced mix of non-polluting industrial land uses which provide local jobs for the City's residents.	Policy is not applicable.		●

Policy 1	<i>The land use map shall include sufficient commercial lands to provide a broad range of products and services to the City and region, while carefully considering compatibility with adjacent residential lands.</i>	The Butterfield Specific Plan designates 36.0 acres of Commercial land use within the Specific Plan area and potentially more with allowed alternatives. The proposed commercial sites within the Specific Plan area are anticipated to accommodate retail and service uses for the proposed Project and surrounding areas. Typical commercial uses permitted in the proposed Specific Plan include primarily conventional retail and offices uses, and a broad range of uses including food and drug stores, retail stores, community and religious centers, health and fitness centers, art studios and theaters, and services that serve the general neighborhood.	●	
Policy 2	<i>In coordination with the Economic Development Element, the City shall maintain market information, including information on the City's identified service needs, potential sites, Fast Track System and provide information on those sites to the development community.</i>	Policy is not applicable.		●
Policy 3	<i>The Zoning Ordinance shall include principles, design standards and guidelines which encourage the development of high quality commercial projects.</i>	The Specific Plan is intended to be consistent with the General Plan (GP). The Specific Plan Development Regulations take precedence over the Zoning Ordinance. The Zoning Ordinance will apply only where not superseded by the Specific Plan.	●	
Policy 4	<i>The Zoning Ordinance shall include principles, design standards and guidelines, based on the Downtown Design Charette, which provide for high quality, pedestrian oriented retail development in the Downtown Commercial zoning designation.</i>	Policy is not applicable.		●
Policy 5	<i>The City shall coordinated with the Banning Unified, the Beaumont Unified School Districts and the Mount San Jacinto Community College to provide vocational education to support commercial and industrial businesses in the City and surrounding areas.</i>	Policy is not applicable.		●

Policy 6	<i>The City shall develop and implement a community identification program, including monument signage, directional signs, etc. which provide attractive entry statements for the City, and which direct visitors to local points of interest.</i>	The Specific Plan's Design Guidelines include monument and other signage requirements	●	
Policy 7	<i>The land use map shall include sufficient industrial lands for manufacturing, warehousing and distribution, while carefully considering compatibility with adjacent lands.</i>	Industrial uses not included in Specific Plan but provided elsewhere in the City.	●	
Policy 8	<i>Industrial lands shall be located on major roadways with good access to Interstate 10, to assure that potential traffic impacts associated with tractor-trailers are minimized.</i>	Policy is not applicable.		●
Policy 9	<i>The Redevelopment Agency will consider purchases of residential properties occurring in the industrial land use designations when they are put up for sale.</i>	Policy is not applicable.		●
Policy 10	<i>The Zoning Ordinance shall include principles, design standards and guidelines which encourage the development of high quality industrial projects.</i>	Policy is not applicable.		●
Policy 11	<i>Industrial campuses and master planned projects are encouraged.</i>	Policy is not applicable.		●
Policy 12	<i>The City shall coordinate with developers and the Railroad to secure railroad spurs.</i>	Policy is not applicable.		●
Policy 13	<i>The City shall adequately regulate sand and gravel operations to assure that their impacts to surrounding development are minimized.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
PUBLIC FACILITIES GOALS & POLICIES				
Goal:	Sufficient and appropriately located public facilities to serve the needs of the City’s residents, businesses and visitors.	Specific Plan designates two elementary school sites to accommodate schools that may be required by Beaumont Unified School District and Banning Unified School District. Additional school sites are permitted in the Specific Plan if requested by the School Districts. The Specific Plan identifies optional sites for fire station and waste water treatment plant.	●	
Policy 1	The City shall take a leadership role with all providers of public services in the community to assure they provide adequate and quality levels of service based on future demands.	The Specific Plan identifies sites where public facilities may be provided, anticipating potential future needs.	●	
Policy 2	The City shall review projects, particularly those which propose master planned communities, to assure that public facilities are provided to meet the needs of the project and the surrounding area.	The Specific Plan identifies sites where public facilities may be provided, anticipating potential future needs.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
OPEN SPACE AND CONSERVATION GOALS & POLICIES				
Goal:	The conservation and management of open space areas to provide recreational opportunities and protect important resources in perpetuity.	In addition to the parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities.	●	
Policy 1	Lands preserved through conservation easements, acquired by private or public agencies, or dedicated for open space shall be designated for the appropriate Open Space land use category on the land use map as they are preserved.	Conservation easements or open space dedicated within the Specific Plan will be designated as the appropriate Open Space land use category on the General Plan land use map.	●	
Policy 2	The City shall proactively coordinate with private and public agencies so that lands available for conservation are dedicated appropriately to assure their management in perpetuity.	Policy is not applicable.		●

Policy 3	<i>The City of Banning shall protect the peaks and ridgelines within the City, and encourage coordination with adjacent jurisdictions to protect the peaks and ridgelines within the City's area of influence, to protect the historic visual quality of the hillside areas and natural features of the Pass area.</i>	The Specific Plan does not propose any development on the major peaks and/or ridgelines within the City.		●
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General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
ECONOMIC DEVELOPMENT GOALS & POLICIES				
Goal:	A balanced, broadly-based economy that provides a full range of economic and employment opportunities, while maintaining high standards of development and environmental protection.	The Specific Plan provides 36.7 acres of Commercial land use within the Specific Plan area. The proposed commercial sites within the Specific Plan area are anticipated to accommodate retail and service uses for the proposed Project and surrounding areas. These commercial uses would generate employment opportunities and provide a range of economic opportunities not only for those residing in the Butterfield area but throughout the City as well.	●	
Policy 1	<i>General Plan land use designations and allocations will facilitate a broad range of residential, commercial, industrial and institutional development opportunities.</i>	The Specific Plan includes residential and commercial land uses which provide development opportunities.	●	
Policy 2	<i>The City shall take a proactive role in the retention of existing businesses and the recruitment of new businesses, particularly those that generate and broaden employment opportunities, increase discretionary incomes, and contribute to City General Fund revenues.</i>	Policy is not applicable.		●
Policy 3	<i>Encourage and promote infill development in orderly and logical development patterns that decrease the costs, and increase the efficiency of new utilities, infrastructure, and public services.</i>	Policy is not applicable.		●
Policy 4	<i>Attract a greater number of commercial retail businesses to the Downtown Core area to develop a safe, vital and consumer-friendly downtown shopping area.</i>	Policy is not applicable.		●

Policy 5	Explore opportunities with private entities to fund Smith Creek Park as a viable recreation area.	Policy is not applicable.		●
Policy 6	Encourage and facilitate highway-serving commercial development at appropriate Interstate-10 Interchanges within the City limits.	Policy is not applicable.		●
Policy 7	Explore joint funding opportunities for the improvement of existing at-grade rail crossings and investigate necessary infrastructure and funding to extend trail access to lands designated for industrial development.	Policy is not applicable.		●
Policy 8	In order to maintain existing economic activities and attract new commercial and industrial development, the City shall assure the provision of adequate utilities, infrastructure, and other capital facilities.	The Specific Plan includes the provision of adequate utilities, infrastructure, and other capital facilities for uses within plan area.	●	
Policy 9	All development interest, including residential, commercial and industrial project proponents, shall be responsible for their fair share of on-site and off-site improvements required to support their development proposals. Such improvements may include, but are not limited to, street construction and signalization, grade separation, utilities extension, drainage facilities, and parks.	All development proposals submitted under this Specific Plan will be responsible for fair share of both on-site and off-site improvements required to support development.	●	
Policy 10	Continue to cultivated cooperative relationship with the Morongo Band of Mission Indians and Bureau of Indian Affairs, particularly regarding development of Indian lands within and adjacent to the planning area, and development and enhancement of community facilities that provide join benefit to the Tribe and the City.	Indian lands are not located within or adjacent to the Specific Plan area; however, they are located within proximity to the northeast. The Morongo Band of Mission Indians and the Bureau of Indian Affairs have been notified of the Project.		●
Policy 11	The City will have a comprehensive tourism plan.	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
CIRCULATION GOALS & POLICIES				
Goal:	A safe and efficient transportation system.	The Specific Plan includes a roadway system that extends the City's current circulation system into	●	

		and through the Project site and provides efficient circulation routes throughout the Project and this portion of the City. A total of approximately 101 acres are planned for backbone lighted roadways that make up the proposed Project's basic circulation system.		
Policy 1	<i>The City's Recommended General Plan Street System shall be strictly implemented.</i>	Modifications to specifications within the General Plan are assumed for Highland Springs Avenue, adjacent to the Specific Plan area. Modifications to specifications within the General Plan are proposed to Highland Home Road that match street sections approved by the City with Tract No. 30906 on the east side. The Specific Plan also includes an expansion of the existing Wilson Street right-of-way to allow modifications.	●	
Policy 2	<i>Local streets shall be scaled to encourage neighborhood interaction, pedestrian safety and reduced speeds.</i>	The Specific Plan proposes numerous local roadways as access points to each Planning Area. These roads will have a standard 56' right-of-way, with one travel lane in each direction, and 5' sidewalks on either side. Sidewalks on local streets may be located adjacent to the curbs or may be set off from the curbs, separated by a landscape strip. Additionally, a 3' public utility easement may be located on both sides of the road right-of-way.	●	
Policy 3	<i>The City shall establish and maintain a 5-Year Capital Improvement Program for streets.</i>	Policy is not applicable.		●
Policy 4	<i>Proactively participate in regional transportation planning.</i>	Policy is not applicable.		●
Policy 5	<i>Consider amendments to the Highland Home/Highland Springs/18th Street/Brookside street configurations based on public safety, design feasibility and area needs.</i>	The Highland Home Road proposed alignment in the Specific Plan allows it to bend to the west and connect to Highland Springs Avenue opposite of Cougar Way. General Plan Amendment No. 16-2501, approved by Banning City Council Resolution No. 2017-07 on February 14, 2017 removed of the proposed extension of Highland Home Road to Brookside Ave. and Cherry Valley Blvd. from the Circulation Element. The Specific Plan is consistent with the General Plan as amended.	●	

Policy 6	<i>The City shall maintain peak hour Level of Service C or better on all local intersections, except those on Ramsey Street and at I-10 interchanges, where level of Service D or better shall be maintained.</i>	Signalized intersections, stop-controlled intersections and intersection geometry will be identified and modified as warranted within the traffic study. (Circulation Plan, p. 3-22)	●	
Policy 7	<i>New development proposals shall pay their fair share for the improvement of street within and surrounding their projects on which they have an impact, including roadways, bridges, grade separations and traffic signals.</i>	All development proposals submitted under the Specific Plan will be required pay their fair share for roadway improvements surrounding their projects.	●	
Policy 8	<i>Traffic calming devices shall be integrated into all City streets to the greatest extent possible and all new streets shall be designed to achieve desired speeds.</i>	The Specific Plan includes requirements for traffic calming devices, including traffic lights, signage, and speed limit postings.	●	
Policy 9	<i>Street trees within the City right of way shall be preserved, unless a danger to the public health and safety or if the tree is diseased.</i>	Policy is not applicable.		●
Policy 10	<i>Sidewalks shall be provided on all roadways 66 feet wide or wider. In Rural Residential land use designation pathways shall be provided.</i>	The Specific Plan includes development of sidewalks on all roadways wider than 66 feet. The Specific Plan also proposes pathways within and adjacent to open space Planning Areas 19, 23, 25, 27, 35A-F, 36, 37, 38, 64, 66, 71 and 74. These pathways will assist in providing connections from the residential communities to the open space within and adjacent to the project.	●	
Policy 11	<i>Sidewalks or other pedestrian walkways shall be required on all streets within all new subdivisions.</i>	Sidewalks will be provided on all Specific Plan highways, arterials and collectors. The Circulation Plan street sections for local and interior streets include sidewalks.	●	
Policy 12	<i>In the absence of a vehicular grade separation, the City shall aggressively pursue a grade separated pedestrian access across San Geronio, to assure that high school students do not have to cross the railroad tracks on their way to and from school.</i>	Policy is not applicable.		●
Policy 13	<i>Pedestrian access in the Downtown Commercial designation shall be preserved and enhanced.</i>	Policy is not applicable.		●
Policy 14	<i>The City shall aggressively pursue the construction of all weather crossings over General Plan roadways.</i>	Policy is not applicable.		●
Policy	<i>The City shall develop a Golf Cart</i>	Golf cart circulation is included in	●	

15	<i>Plan compliant with state requirements.</i>	the Specific Plan Circulation Plan. Golf cart parking is proposed as part of Recreation and Open Space.		
Policy 16	<i>Golf cart paths and facilities shall be funded, to the greatest extent possible, by new development.</i>	Golf cart circulation is included in the Specific Plan Circulation Plan. Golf cart parking proposed as part of Recreation and Open Space.	●	
Policy 17	<i>Encourage the expansion of an integrated Pass transit system.</i>	Specific Plan Circulation Plan Development Standards call for coordination with transit authorities to expand bus service.	●	
Policy 18	<i>The City shall review its transit service to major regional attractions, and intra-City recreational locations in future planning efforts, based on need.</i>	Policy is not applicable.		●
Policy 19	<i>Bus pullouts shall be designed into all new projects on arterial roadways, to allow buses to leave the flow of traffic and reduce congestion.</i>	Banning Pass Transit has a stop at Highland Springs and Wilson, with two routes on Highland Springs south of Wilson, and on Wilson between Highland Springs and Sunset. Riverside Transit lines run on Highland Springs south of the 10 and on Ramsey/6 th west of Sunset. Specific Plan Circulation Plan Development Standards call for coordination with transit authorities to expand bus service.	●	
Policy 20	<i>Promote the location of a passenger rail station for long distance and commuter rail service.</i>	Policy is not applicable.		●
Policy 21	<i>Update the Airport Master Plan every five years to meet the needs of the general aviation, business and tourism segments of the community.</i>	Policy is not applicable.		●
Policy 22	<i>Maintain an accurate mapping of all utility corridors.</i>	The Southern California Edison easement is included within the Specific Plan's Land Use plan. All future utility corridors will be mapped in accordance with this policy.	●	
Policy 23	<i>The City shall purchase and/or replace its fleet of vehicles with alternative fuel vehicles when available to the greatest extent possible, and shall encourage other agencies to do the same.</i>	Policy is not applicable.		●
Policy 24	<i>Public alleys throughout the City shall be maintained to be useful and safe at all times.</i>	Policy is not applicable.		●
Policy 25	<i>The City shall develop and implement plans for a coordinated and connected bicycle lane networked in the community that allows for safe use of bicycles on</i>	The Specific Plan provides bike lanes on all arterial and collector streets.	●	

	<i>City streets.</i>			
<i>Policy 26</i>	<i>The City should continue to work with the Morongo Band of Mission Indians and neighboring cities and communities to create a regional bicycle and trail network.</i>	Policy is not applicable.		●
<i>Policy 27</i>	<i>The City shall provide for a comprehensive, interconnected recreational trails system suitable for bicycles, equestrians and/or pedestrians.</i>	The Specific Plan provides for non-vehicular circulation, with bike lanes, sidewalks and trails specified on the Pedestrian Circulation Plan. Decomposed granite multi-purpose trails in this Plan could potentially accommodate equestrians. The Specific Plan proposes trails within and adjacent to seven Planning Areas. It also proposes trails within the natural open space located in the northeastern portion of the Specific Plan area, intended to connect to adjacent open space.	●	
<i>Policy 28</i>	<i>Motorized vehicles shall be prohibited on City trails.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
PARKS GOALS & POLICIES				
Goal:	A high quality public park system with adequate land and facilities to provide recreational facilities and activities for the City’s residents.	The Specific Plan includes 19 public park planning areas ranging in size from 0.4 acres to 19 acres. The proposed gross park acreage totals approximately 78.4 acres, or 5.1 percent of the Specific Plan area.	●	
Goal:	A comprehensive bikeway, trail and walking path system that connects homes to work places, commercial venues and recreational facilities, and which enhances the safety and enjoyment of cyclists, equestrians and pedestrians.	The Specific Plan also proposes pathways within and adjacent to Planning Areas 19, 23, 25, 27, 35A-F, 36, 37, 38, 64, 66, 71 and 74 and within parks and other open space area. These pathways will assist in providing connections from the residential communities to the open space within and adjacent to the project. The Specific Plan also proposes on-street bicycle lanes along all project roadways of modified collector classification or higher. These bicycle lanes will assist in providing connections to regional and local facilities, in addition to the residential communities within the project.	●	
Policy 1	Update the Master Parks and Recreation Plan so as to assure adequate parklands and facilities that meet the immediate and future needs of the community,	The Specific Plan incorporates a functional system of recreational land uses that reinforce the area-wide recreation plans of the City of Banning. The basic project-wide	●	

	<i>and is complementary to the natural environments.</i>	component of the Recreation Plan are the central open space, neighborhood parks, neighborhood recreation parks, community parks, natural and landscaped open space, and the basin/lake area in the north part of the project area.		
Policy 2	<i>The City will distribute parks and reaction facilities in a manner that is convenient to City neighborhoods and balance within population concentrations.</i>	The Specific Plan includes 19 public park planning areas ranging in size from 0.4 acres to 19 acres. The gross park acreage totals approximately 78.4 acres, or 5.1 percent of the Specific Plan area and provide a mix of facilities for both passive and active recreational uses.	●	
Policy 3	<i>Require developers of new residential projects to provide on-site recreational and/or open space facilities in addition to City-wide park requirements.</i>	The Specific Plan refers to the General Plan requirement that residential developers provide a minimum of 5.0 net acres of usable local park area for each prospective 1,000 residents. Furthermore, the current factor of 2.9 persons per standard dwelling unit to calculate future population increase is utilized by the Specific Plan. Based on these assumptions and using the proposed maximum number of dwelling units allowed in the project area, the Specific Plan is required to provide a minimum of 65 acres of park area. The Specific Plan proposes dedication and development of approximately 66 acres, or 4.3 percent of the Specific Plan area.	●	
Policy 4	<i>Encourage the development of recreational programs and activities that serve all population segments, including children, the elderly and the disabled.</i>	The Specific Plan proposes park space to provide active, semi-active and passive uses for various levels of recreational activities for residents and visitors of the project area. These parks will include facilities such as play areas, sport courts, picnic areas, ball fields, "tot" lots and picnic areas. In addition, if the northwestern portion of the Specific Plan site is used for active-adult use, Planning Area 63 could serve the surrounding residential neighborhood and this specific age group with a community center.	●	
Policy 5	<i>The City shall consider alternative methods of providing parks and recreational amenities to meet</i>	The Specific Plan includes 19 public park planning areas ranging in size from 0.4 acres to 18 acres. The	●	

	<i>future population demands.</i>	gross park acreage totals approximately 74.8 acres, or 5.1 percent of the Specific Plan area and provide a mix of facilities for both passive and active recreational uses. In addition to the parks, the project site includes an additional 418 acres (28.0%) within the Butterfield Specific Plan area is designated as open space. In addition to the parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities.		
Policy 6	<i>The City shall develop and implement plans for a coordinated and connected bicycle land network in the community that allows for safe use of bicycles on City streets.</i>	The Specific Plan also proposes on-street bicycle lanes along all project roadways of modified collector classification or higher. These bicycle lanes will assist in providing connections to regional and local facilities, in addition to the residential communities within the project.	●	
Policy 7	<i>The City should continue to work with the Morongo Band of Mission Indians and neighboring cities and communities to create a regional bicycle and trail network.</i>	Policy is not applicable.		●
Policy 8	<i>The City shall provide for a comprehensive, interconnected recreational trails system suitable for bicycles, equestrians and/or pedestrians.</i>	The Specific Plan proposes a <i>Backbone Circulation Plan</i> , which established with trail plan with a network of non-vehicular circulation routes. These non-vehicular circulation facilities include on-street bicycle lands, trails/pathways, sidewalks, and combination meandering sidewalks and meandering trails.	●	
Policy 9	<i>Motorized vehicles shall be prohibited on City trails.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
HOUSING OPPORTUNITIES GOALS & POLICIES				
Goal:	<p>Provide a wide range of housing types to meet the existing and future needs of planning area residents.</p> <p>The City wants to encourage the construction of new housing units that offer a wide range of housing types to ensure that an adequate supply is available to</p>	<p>The Specific Plan includes the development of residential low, medium, and high density residential development, which would provide a range of housing types for residents.</p> <p>In addition, while the base proposal for Butterfield is that housing in all residential planning areas would be</p>	●	

	meet existing and future needs. The provision of a balanced inventory of housing in terms of unit type (e.g. single-family, multi-family, etc.), cost, and style will allow the City to fulfill a variety of housing needs.	open to all age groups, two other alternative proposals would allow an age-restricted eligibility criterion to apply to certain PAs. Should these alternatives be implemented, the Specific Plan would also provide age restricted senior housing.		
Policy 1	<i>Provide a variety of residential development opportunities in Banning, ranging from very low density to high density development as described in the Community Development Element and Plan Map in accordance with the Regional Housing needs Assessment.</i>	The Specific Plan includes the development of residential low, medium, and high density residential development, which would provide a range of housing types for residents.	●	
Policy 2	<i>Encourage both the private and public sectors to produce or assist in the production of high quality housing to meet the needs of the handicapped, the elderly, large families, female-headed households and homeless.</i>	While the base proposal for Butterfield is that housing in all residential planning areas would be open to all age groups, two other alternative proposals would allow an age-restricted eligibility criterion to apply to certain PAs. Should these alternatives be implemented, the Specific Plan would also provide age restricted senior housing.	●	
Policy 3	<i>Promote the development of low- and moderate-income, and senior citizen housing by allowing developers density bonuses or other financial incentives for providing units for low- and moderate-income residents. Provide rental assistance vouchers, as available, for some or all of the affordable units provided.</i>	While the base proposal for Butterfield is that housing in all residential planning areas would be open to all age groups, two other alternative proposals would allow an age-restricted eligibility criterion to apply to certain PAs. Should these alternatives be implemented, the Specific Plan would also provide age restricted senior housing.	●	
Policy 4	<i>Require that housing constructed expressly for low- and moderate-income households not be concentrated in any single portion of the City.</i>	Policy is not applicable.		●
Policy 5	<i>Continue to coordinate with local social service providers, such as HELP, to address the needs of the City's homeless population. Permit the development of emergency shelters in commercial and industrial zones, and transitional housing in residential zones in locations close to services, subject to a Conditional Use Permit.</i>	Policy is not applicable.		●
Policy 6	<i>Encourage the development of residential in close proximity to public transportation, services and recreation.</i>	The Circulation Plan development standards include consultation with City of Banning and Riverside County Transit to expand scheduled	●	

		bus service, implement long-term public transportation projects, and to develop vanpools and subscription bus service.		
Policy 7	<i>Locate higher density residential development in close proximity to public transportation, services and recreation.</i>	The Circulation Plan development standards include consultation with City of Banning and Riverside County Transit to expand scheduled bus service, implement long-term public transportation projects, and to develop vanpools and subscription bus service.	●	
Policy 8	<i>Permit the development of childcare facilities concurrent with new housing development.</i>	Policy is not applicable.		●
Policy 9	<i>Monitor all regulations, ordinances, departmental processing procedures and fees related to the rehabilitation and/or construction of dwelling units to assess their impact on housing costs.</i>	Policy is not applicable.		●
Policy 10	<i>Encourage the use of energy conservation devices and passive design concepts which make sure of the natural climate to increase energy efficiency and reduce housing costs.</i>	Homes within the Project have the option to participate in Pardee Home's "Living Smart" program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	
Policy 11	<i>Provide opportunities for move-up housing in Banning.</i>	The Specific Plan includes three types of residential land uses, including low, medium, and high density residential uses, which would allow for various types of move up housing for the residents of Banning.	●	
Policy 12	<i>Locate higher density residential development in close proximity to public transportation, services and recreation.</i>	The Circulation Plan development standards include consultation with City of Banning and Riverside County Transit to expand scheduled bus service, implement long-term public transportation projects, and to develop vanpools and subscription bus service.	●	
Policy 13	<i>Permit the development of childcare facilities concurrent with new housing development.</i>	Policy is not applicable.		●
Policy 14	<i>Monitor all regulations, ordinances, departmental processing procedures and fees related to the rehabilitation and/or construction of dwelling units to assess their impact on housing</i>	Policy is not applicable.		●

	costs.			
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General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
HOUSING MAINTENANCE AND PRESERVATION GOALS & POLICIES				
Goal:	Enhance the quality of existing residential neighborhoods in Banning. The goal of housing preservation is to protect the existing and investment in housing and to avoid a degree of physical decline that will require a larger rehabilitation effort to restore quality and value. The housing conditions survey identified a concentrated area of deferred housing maintenance in the City’s central core and East Banning in particular. Housing rehabilitation efforts will continue to be focused in this area to facilitate unit upgrading.	Policy is not applicable.		●
Policy 1	<i>Correct housing deficiencies through the development of a residential rehabilitation program.</i>	Policy is not applicable.		●
Policy 2	<i>Continue to utilize the City’s code enforcement program to bring substandard units into compliance with City codes and to improve overall housing conditions in Banning.</i>	Policy is not applicable.		●
Policy 3	<i>Minimize the displacement impacts occurring as a result of residential demolition.</i>	Policy is not applicable.		●
Policy 4	<i>Promote increase awareness among property owners and residents of the importance of property maintenance to long-term housing quality.</i>	Policy is not applicable.		●
Policy 5	<i>Encourage the use of rehabilitation funds for room additions to alleviate overcrowding, and for accessibility improvements to address the needs of the handicapped.</i>	Policy is not applicable.		●
Policy 6	<i>Educate property owners on the benefits of home repair and remodeling using design and materials consistent with the historic character of the residence.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
HOUSING ENVIRONMENTAL SENSITIVITY GOALS & POLICIES				
Goal:	<p>Ensure that new housing is sensitive to existing development as well as the natural environment.</p> <p>It is an on-going concern in the City to ensure that residential growth is sensitive to environmental and social needs of the community. Development will be accommodated which is coordinated with available community resources and infrastructure, and which is designed to minimize impacts on the natural environment.</p>	The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment. The community landscape concept combines the existing natural character of the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls, and other similar materials and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species.	●	
Policy 1	<i>Ensure that multi-family development is compatible in design with single-family residential areas.</i>	Design Guidelines for multi-family residential development encourages compatibility with adjacent single-family residential areas. Materials, building forms, roofs, colors and materials promoted in the guidelines are inspired by those located in Banning and the surrounding region.	●	
Policy 2	<i>Regularly examine new residential construction methods and materials, and upgrade the City's residential building standards as appropriate.</i>	Policy is not applicable.		●
Policy 3	<i>Prohibit new residential development to front on major arterial highways without adequate setbacks and buffering.</i>	Development Regulations for residential development provides proper setbacks and buffering between residential structures and major arterial highways.		

Policy 4	<i>Prohibit housing development in areas subject to significant geologic, flooding, blows and, noise and fire hazards.</i>	The central segment of the Banning fault, which traverses the Project site, is comprised of two parallel fault segments (Strands A and B): Strand A is covered by an Alquist Priolo zone while Strand B is also considered active. The Project site is located between the more active Banning fault zone to the east and the inactive Banning fault zone to the west. Setback zones are proposed based on an evaluation of fault character and level of activity observed during the onsite investigation, as well evidence gained through aerial photograph and literature review. The relatively flat to gently sloping topography and the overall uniformity of the site soil conditions indicate that landslides have not occurred on the project site. All drainage features on the Specific Plan area are ephemeral and exhibit flow only during severe storm events.	●	
Policy 5	<i>Accommodate new residential development which is coordinated with the provision of infrastructure and public services.</i>	The Specific Plan's Public Services and Project Phasing Plan chapter addresses the coordination of infrastructure and public services with the development of new residential units. Construction of the Specific Plan in its entirety is expected to occur over a fifteen to twenty year period. The sequence in which each major part will be developed is influenced by appropriate levels of infrastructure and will be supported by various public services.	●	
Policy 6	<i>Encourage the use of energy conservation devices and passive design concepts which make use of the natural climate to increase energy efficiency and reduce housing cost.</i>	Homes within the Project have the option to participate in Pardee Home's "Living Smart" program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
FAIR HOUSING GOALS & POLICIES				
Goal:	Promote equal opportunity for all residents to reside in the housing of their choice. In order to make adequate provision for the housing needs of all economic segments of	The Specific Plan includes the development of residential low, medium, and high density residential development, which would provide a range of	●	

	the community, the City must ensure equal and fair housing opportunities are available to all residents.	housing types for residents.		
Policy 1	<i>Affirm a positive action posture which will assure that unrestricted access is available to the community.</i>	The Specific Plan includes the development of residential low, medium, and high density residential development, which would provide a range of housing types for residents.	●	
Policy 2	<i>Prohibit practices which restrict housing choice by arbitrarily directing prospective buyers and renters to certain neighborhoods or types of housing.</i>	Policy is not applicable.		●
Policy 3	<i>Continue support and participation in the Riverside County New Horizons' Fair Housing Program to further spatial deconcentration and fair housing practices.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
WATER GOALS & POLICIES				
Goal:	A balance of development which assures the maintenance of the water supply and its continued high quality.	The Specific Plan includes the development of residential low, medium, and high density residential development, which would provide a range of housing types for residents.	●	
Policy 1	<i>New development projects proposing 50 units on property whose General Plan Land Use designation would allow 50 units, and/or 10 acres of commercial/industrial/other development, or more, whether through a tract map, Specific Plan or other planning application, shall be required to fund the provision of its entire water supply, either through SWP, recycled water or other means, as a condition of approval.</i>	The City of Banning requires development to provide two points for water main connection tie-ins. The Specific Plan area proposes these connection points at minimum at the intersection of Highland Home Road and Wilson Street as well as C Street and Wilson Street. The City requires dry lines to be constructed concurrently with water lines for future use with a recycled water source, for future irrigation purposes. Recycled water lines will follow the same alignments as those for potable domestic water as appropriate, connected to storage facilities proposed in the Specific Plan area. In addition, the Project proposes a potential onsite	●	

		<p>groundwater recharge system to assist the City in replenishing the Beaumont Basin located beneath the Project site. The proposed system would have the capacity to potentially recharge the groundwater basin with a portion of the City's SWP allocation delivered by the Pass Agency.</p> <p>As an optional improvement, in lieu of utilizing the Beaumont Cherry Valley Water District's current recharge facilities, the City may extend the SWP pipeline from its existing termination to the proposed North Basin in PA 71 via Brookside Avenue, to create additional recharge areas within the Project site.</p> <p>The City is presently pursuing expansion of its main WWTP to provide capacity for the treatment of wastewater to tertiary standards; however, to ensure the availability of recycled water to the Project, the Butterfield Specific Plan allows as an alternative a potential optional onsite "satellite" WWTP to be owned and operated by the City of Banning. Recycled water would be used to irrigate the central open space and the common landscaped areas of the Project, when available, in order to reduce the demand for domestic (potable) water. In addition to onsite infrastructure, the recycled water system would require either pumping reclaimed water from the City's wastewater treatment plant, or constructing the optional onsite satellite wastewater treatment plant and conveying residuals to the City's plant.</p> <p>As such, the Project would provide the necessary infrastructure to meet its entire water demand as detailed in</p>		
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		the Water Supply Assessment (Appendix J).		
Policy 2	<i>The City shall require the use of drought-tolerant, low water consuming landscaping as a means of reducing water demand for new development.</i>	<p>The use of drought-tolerant plants is encouraged in the Specific Plan Design Guidelines.</p> <p>The Project will comply with the City's 2006 Landscape Standards which set new maximum applied water allowance (MAWA) requirements for new landscapes and require documentation of MAWA calculations. Based on these standards, it is expected that new landscaping for the Project will use 25% less water than that which was typically applied in the City's previous landscape design requirements. In addition, the 2010 California Green Building Standards Code (CGBSC) now requires use of weather or soil moisture irrigation controllers on all new residential landscaping starting in 2011. Studies have shown that these controllers result in an additional 13% water savings.</p>	●	
Policy 3	<i>The City shall required the use of recycled wastewater for new development, or where it is unavailable, the infrastructure for recycled water when it becomes available, as a means of reducing demand for groundwater resources.</i>	<p>The City will require dry lines to be constructed concurrently with water lines for future use with a recycled water source, for future irrigation purposes.</p> <p>As such, the City is presently pursuing expansion of its main wastewater treatment plant (WWTP) to provide capacity for the treatment of wastewater to tertiary standards.</p> <p>To supply the Butterfield Specific Plan area with recycled water the project will facilitate construction off-site recycled water transmission lines from Highland Home Road/Wilson Street intersection eastward along Wilson Street to this City's upgraded WWTP.</p> <p>The other option for generating recycled water for the project is to site and construct a satellite</p>	●	

		wastewater treatment plant within the Specific Plan area to be owned and operated by the City. Recycled water would be used to irrigate the common landscaped areas of the Project in order to reduce the demand for domestic (potable) water.		
Policy 4	<i>Require that all new development be connected to the sewage treatment system, or install dry sewers until such time as that connection is possible.</i>	<p>To provide sewer service to the Specific Plan area from the main WWTP, wastewater lines will be extended from Highland Home Road/Wilson Street intersection eastward along Wilson Street, south on Omar Street, and eastward on Ramsey Street to Sunset Avenue (.</p> <p>From Sunset Avenue, at least two different alignments for the connecting wastewater trunk line could be pursued. One option would require the project proponent to extend the wastewater line down Sunset Avenue to the vicinity of Bobcat Road, where the Five Bridges and BDS Developments would potentially complete the line extension in Bobcat Road eastward to existing pipelines at South San Geronio Avenue, pursuant to the City of Banning's November 2006 <i>Sewer System Study</i>. The completion of this sewer transmission main by the aforementioned developments would have to happen prior to or concurrent with the Butterfield project. If the Butterfield Specific Plan is first to be developed, the project could be obligated to complete this entire alignment. See Exhibit 3.10B, <i>Off-site Sewer Plan</i>.</p> <p>Five Bridges and BDS developments may not proceed in advance of or concurrently with the Butterfield project. In that case, as another option for an off-site wastewater trunk</p>	●	

		<p>line extension to the City's main WWTP, the connection to the WWTP could proceed eastward on Lincoln Street and southward on South San Gorgonio Avenue. This option would provide a fairly direct, efficient route to serve the Butterfield Specific Plan area, but the resulting pipeline extension would not be able to serve the Five Bridges and BDS Developments. The City of Banning would make a determination on which option is preferred.</p> <p>An additional option proposal for providing wastewater treatment to the Specific Plan area is to site and construct a satellite treatment plant within the southeastern corner of the plan area. At this location, the satellite plant could receive wastewater gravity flows from the project, treat them to required levels and pump back recycled water into the project's recycled water system. This would not require the extension of wastewater or recycled water pipelines to or from the City's main treatment plan to serve the project.</p>		
Policy 5	<i>The City shall provide guidelines for the development of on-site storm water retention facilities consistent with local and regional drainage plans and community design standards.</i>	The Specific Plan lists development standards for project area's Drainage Plan, which includes following requirements indicated in the Riverside County Flood Control District and Water Conservation District Hydrology Manual, and the City of Banning flood control standards.	●	
Policy 6	<i>Coordinate with the San Gorgonio Pass Water Agency, Banning Heights Mutual Water Company and the Beaumont-Cherry Valley Water District, the California Regional Water Quality Control Board and other appropriate agencies to share information of potential groundwater contaminating sources.</i>	The environmental document for the project to be conducted pursuant to CEQA would require consultation with the aforementioned agencies pertaining to groundwater contaminating sources.	●	

Policy 7	<i>The City shall ensure that no development proceeds that has potential to create groundwater hazards from point and non-point sources, and shall confer with other appropriate agencies, as necessary, to assure adequate review and mitigation.</i>	Environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 8	<i>Encourage water conservation in existing development.</i>	The use of drought-tolerant plants is encouraged in the Specific Plan Design Guidelines.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
OPEN SPACE AND CONSERVATION GOALS & POLICIES				
Goal:	Open space conservation land that are preserved and managed in perpetuity for the protection of environmental resources or hazards, and the provisions of enhanced recreational opportunities and scenic qualities in the City.	In addition to the park areas, 418 acres (28.0%) within the Butterfield Specific Plan area is designated as open space. In addition to the parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities.	●	
Goal:	A balance between the City's built and open space environment and local and regional protection and preservation of its unique environment.	In addition to the park areas, 418 acres (28.0%) within the Butterfield Specific Plan area is designated as open space. In addition to the parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities.	●	
Policy 1	<i>Identify and assess lands in the City, its sphere-of-influence and planning area, that are suitable for preservation as public or private, passive or active open space.</i>	In addition to the 24 park areas, 418 acres (28.0%) within the Butterfield Specific Plan area is designated as open space. In addition to the parks, open space within the Specific Plan includes natural areas, landscaped areas, easements and open spaces including drainage facilities.	●	

Policy 2	<i>The City shall protect natural hillsides above the toe of slope in perpetuity as undeveloped open space, and shall provide specific parameters under which development can occur within the Rural Residential-Hillside and Ranch/Agriculture Residential-Hillside land use designations. For purposes of this General Plan, the toe of slope is defined as the dividing line between rock formations where there is a noticeable break in the angle of slope from steep to shallow.</i>	The far northern part of the Specific Plan area is designated natural open space area due to rugged terrain and slope.	●	
Policy 3	<i>Ridgelines shall be preserved as permanent open space.</i>	The Specific Plan does not propose any development on the major peaks and/or ridgelines within the City.	●	
Policy 4	<i>The City shall preserve all watercourses and washes necessary for regional flood control, ground water recharge areas and drainage for open space and recreational purposes.</i>	Open space within the Specific Plan area includes natural areas, landscaped areas, easements and drainage open spaces.	●	
Policy 5	<i>The City shall preserve permanent open space edges or greenbelts that define the physical limits of the City and provide physical separation between adjoining neighborhoods.</i>	The Specific Plan area's network of open space areas and greenbelts will connect and delineate residential areas with trail systems and landscaped areas.	●	
Policy 6	<i>Where practical, new development shall integrate pipeline, above- and under-ground utility corridors and other easements (including electric, cable and telephone distribution lines) into a functional open space network.</i>	Open space within the Specific Plan area includes natural areas, landscaped areas, easements and drainage open spaces. The Specific Plan proposes a functional system of recreational land uses, which includes open space areas.	●	
Policy 7	<i>Drought tolerant landscaping materials and design features shall be incorporated into parks, roadway medians, common areas landscaping, public facilities, and other appropriate open space lands to retain and preserve the natural environment.</i>	The use of drought-tolerant plants is encouraged in the Design Guidelines.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
BIOLOGICAL RESOURCES GOALS & POLICIES				
Goal:	A pattern of community development that supports a functional, productive, harmonious and balanced relationship between the built and natural environment.	The community character for Butterfield encompasses the elements of the rustic and natural beauty of the site's surrounding foothill environment. The community landscape concept combines the existing natural character of	●	

		the site with the historic California ranch vernacular. The theme will be defined and implemented through architectural elements and materials such as stone walls, and other similar materials and finishes throughout the community. The plant palette will further reinforce this concept utilizing drought tolerant species.		
Policy 1	<i>The City shall continue to participate in the preservation of habitat for endangered, threatened and sensitive species.</i>	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 2	<i>As part of the development review process, the City shall evaluate projects based on their impact on existing habitat and wildlife, and for the land's value as viable open space.</i>	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 3	<i>The City shall encourage and cooperate with other agencies in establishing multiple use corridors that take advantage of drainage channels and utility easements as wildlife corridors, public access and links between open space areas and the built environment.</i>	Open space within the Specific Plan area includes natural areas, landscaped areas, easements and drainage open spaces. A large multi-purpose basin is also proposed, which will be designed to detain upstream drainage flows and water storage for irrigation, as well as serve as a passive recreational lake potentially for viewing, walking around, fishing or picnicking.	●	
Policy 4	<i>Drainage channels, utility corridors and pipeline easements shall be preserved in natural open space to the greatest extent possible.</i>	Open space within the Specific Plan area includes natural areas, landscaped areas, easements and drainage open spaces.	●	
Policy 5	<i>The City shall promote the protection of biodiversity and encourage an appreciation of the natural environment and biological resources.</i>	The Specific Plan area's plan for open space areas encourages location and design that promotes the natural beauty of the site's surrounding foothills.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
ARCHAEOLOGICAL AND CULTURAL RESOURCES GOALS & POLICIES				
Goal:	Documentation, maintenance, preservation, conservation and enhancement of archaeological and historic sites, artifacts, traditions and other elements of the City's cultural heritage.	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 1	The City shall exercise its responsibility to identify, document and evaluate archaeological, historical and cultural resources that may be affected by proposed development projects and other activities.	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 2	The City shall expand and enhance its historic preservation efforts.	The Specific Plan Design Guidelines promotes the preservation of the area's historic community character.	●	
Policy 3	Establish and maintain a confidential inventory of archaeological and historical resources within the City, including those identified by the Eastern Information Center (EIC) at the University of California, Riverside and in focused cultural resources studies.	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 4	Sensitive archaeological and historic resources shall be protected from vandalism and illegal collection, to the greatest extent possible.	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 5	Encourage public participation in and appreciation of the City's cultural heritage.	Policy is not applicable.		●
Policy 6	Support the listing of eligible structures or sites as potential historic landmarks and their inclusion in the National Register of Historic Places.	Policy is not applicable.		●
Policy 7	The City shall consider offering economic or other incentives, such as direct subsidies or application/permitting fee reductions of waivers, to property owner to encourage the maintenance and enhancement of significant cultural buildings and sites.	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
AIR QUALITY GOALS & POLICIES				
Goal:	To preserve and enhance local and regional air quality for the protection of the health and welfare of the community.	The environmental assessment conducted pursuant to CEQA will determine the potential environmental impacts attributable to any development implemented within the Specific Plan area	●	
Policy 1	The City shall be proactive in regulating local pollutant emitters and shall cooperate with the Southern California Association of Governments and the South Coast Air Quality Management District to assure compliance with air quality standards.	Policy is not applicable.		●
Policy 2	The City shall continue to coordinate and cooperate with local, regional and federal efforts to monitor, manage and reduce the levels of major pollutants affecting the City and region, with particular emphasis on PM10 and ozone emissions, as well as other emissions associated with diesel-fueled equipment and motor vehicles.	Policy is not applicable.		●
Policy 3	City land use planning efforts shall assure that sensitive receptors are separated from polluting point sources.	The Specific Plan’s land use plan separates residential and commercial areas and does not include industrial uses.	●	
Policy 4	Development proposals brought before the City shall be reviewed from their potential to adversely impact local and regional air quality and shall be required to mitigate any significant impacts.	Environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 5	The City shall promote the use of clean and/or renewable alternative energy sources for transportation, heating and cooling.	Policy is not applicable.		●
Policy 6	The City shall support the development of facilities and projects that facilitate and enhance the use of alternative modes of transportation, including pedestrian-oriented retail and activity centers, dedicated bicycle paths and lanes, and community-wide multi-use trails.	The Specific Plan proposes the development of on-street bicycle lanes, trails and pathways, pedestrian walkways, and a combination meandering sidewalk and trail.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
ENERGY AND MINERAL RESOURCES GOALS & POLICIES				
Goal:	Efficient, sustainable and environmentally appropriate use and management of energy and mineral resources, assuring their long-term availability and affordability.	Homes within the Project have the option to participate in Pardee Home’s “Living Smart” program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	
Policy 1	Promote energy conservation throughout all areas of the community and sectors of the local economy, including the planning and construction of urban use and in City and regional transportation systems.	Homes within the Project have the option to participate in Pardee Home’s “Living Smart” program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	
Policy 2	Promote the integration of alternative energy systems, including but not limited to solar thermal, photovoltaic and other clean energy systems, directly into building design and construction.	Homes within the Project have the option to participate in Pardee Home’s “Living Smart” program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	
Policy 3	Proactively support long-term strategies, as well as state and federal legislation and regulations that assure affordable and reliable production and delivery of electrical power to the community.	Homes within the Project have the option to participate in Pardee Home’s “Living Smart” program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.	●	
Policy 4	Support public and private efforts to develop and operate alternative systems of wind, solar and other electrical production, which take	Homes within the Project have the option to participate in Pardee Home’s “Living Smart” program, which meets or	●	

	<i>advantage of local renewable resources.</i>	exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation.		
<i>Policy 5</i>	<i>Assure a balance between the availability of mineral resources and the compatibility of land uses in areas where mineral resources are mined.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
GEOTECHNICAL GOALS & POLICIES				
Goal:	Increased protection and safety of human life, land, and property from the effects of seismic and geotechnical hazards.	The central segment of the Banning fault, which traverses the Project site, is comprised of two parallel fault segments (Strands A and B): Strand A is covered by an Alquist Priolo zone while Strand B is also considered active. The Project site is located between the more active Banning fault zone to the east and the inactive Banning fault zone to the west. Setback zones are proposed based on an evaluation of fault character and level of activity observed during the onsite investigation, as well evidence gained through aerial photograph and literature review. The relatively flat to gently sloping topography and the overall uniformity of the site soil conditions indicate that landslides have not occurred on the project site. All drainage features on the Specific Plan area are ephemeral and exhibit flow only during severe storm events.	●	
Policy 1	The City shall establish and maintain an information database containing maps and other information which describe seismic and other geotechnical hazards occurring within the City boundaries, sphere-of-influence and planning area.	The Specific Plan refers to the City of Banning’s General Plan EIR, which contains information of potential seismic and geotechnical hazards.	●	

Policy 2	<i>In accordance with state law, all development proposals within designated Alquist-Priolo Earthquake Fault Zones shall be accompanied by appropriate geotechnical analysis.</i>	The central segment of the Banning fault, which traverses the Project site, is comprised of two parallel fault segments (Strands A and B): Strand A is covered by an Alquist Priolo zone while Strand B is also considered active. The Project site is located between the more active Banning fault zone to the east and the inactive Banning fault zone to the west. Setback zones are proposed based on an evaluation of fault character and level of activity observed during the onsite investigation, as well evidence gained through aerial photograph and literature review.	●	
Policy 3	<i>Development in areas identified as being susceptible to slope instability shall be avoided unless adequately engineered to eliminate geotechnical hazards.</i>	It has been determined that the relatively flat to gently sloping topography and the overall uniformity of the site soil conditions indicate that landslides have not occurred on the project site. Additionally, no historical data indicates the presence of liquefaction on the project area.	●	
Policy 4	<i>To minimize the potential impacts of subsidence due to extraction of groundwater, the City shall actively support and participate in local and regional efforts at groundwater conservation and recharge.</i>	The Specific Plan proposes an onsite groundwater recharge system to provide a partial offset to the additional demand for domestic water posed by the development and replenishment to groundwater supplies.	●	
Policy 5	<i>The City shall coordinate and cooperate with public and quasi-public agencies to assure the continued functionality of major utility systems in the event of a major earthquake.</i>	The Specific Plan encourages coordination with various public and quasi-public agencies to ensure the continued operation of waste disposal, water, sewer, electric, natural gas, and telephone and cable services.	●	
Policy 6	<i>New septic tank leach fields, seepage pits, drainage facilities, and heavily irrigated areas shall be located away from structural foundations and supports to minimize the potential for localized collapse of soils.</i>	The Specific Plan includes standards and approval procedures for all improvement plans, including grading plans, irrigation plans, and landscape plans.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
FLOODING AND HYDROLOGY GOALS & POLICIES				
Goal:	A comprehensive system of flood control facilities and services effectively protecting lives and property.	The Specific Plan's drainage plan development standards have been created to ensure conformance with the City of banning, County of Riverside, NPDES and other responsible agency requirements.	●	
Policy 1	Proactively plan and coordinate with other responsible agencies to upgrade the City's local and regional drainage system.	The Specific Plan's drainage plan development standards have been created to ensure conformance with the City of banning, County of Riverside, NPDES and other responsible agency requirements.	●	
Policy 2	Major drainage facilities, including debris basins and flood control channels, shall be designed to maximize their use as multi-purpose recreational or open space sites, consistent with the functional requirements of these facilities.	Open space within the Specific Plan area includes natural areas, landscaped areas, easements and drainage open spaces. A large multi-purpose basin is also proposed, which will be designed to detain upstream drainage flows and water storage for irrigation, as well as serve as a passive recreational lake potentially for viewing, walking around, fishing or picnicking.	●	
Policy 3	The City Engineer shall continue to actively participate in regional flood control and drainage improvement efforts and to develop and implement mutually beneficial drainage plans.	Policy is not applicable.		●
Policy 4	The City shall cooperate in securing FEMA map amendments, recognizing the importance of re-designation of the 100-year flood plains within the City boundaries and sphere-of-influence as improvements are completed.	It has been determined that the southerly portions of the Specific Plan area are currently in a designated 100-year flood zone. Drainage Plan development standards include provisions to monitor 100-year flood plain designations and elevating finished floors one foot above the 100-year level of flood protection.	●	
Policy 5	Pursue all credible sources of funding for local and regional drainage improvements needed for adequate flood control protection.	Policy is not applicable.		●
Policy 6	All new development shall be required to incorporate adequate flood mitigation measures, such as grading that prevents adverse drainage impacts to adjacent properties, on-site	The Specific Plan Grading Plan promotes appropriate erosion control measures as part of a comprehensive grading and drainage plan to reduce	●	

	<i>retention of runoff, and the adequate siting of structures located within flood plains.</i>	erosion and urban runoff.		
<i>Policy 7</i>	<i>Assure that adequate, safe, all-weather crossing over drainage facilities and flood control channels are provided where necessary, and are maintained for passage during major storm events.</i>	The Specific Plan includes Drainage Plan Development Standards that assures adequate, safe, all-weather crossing over drainage facilities and flood control channels. The standards also require periodic inspection and maintenance of these facilities.	●	
<i>Policy 7</i>	<i>The City shall coordinate with adjoining jurisdictions to assure noise-compatible land uses across jurisdictional boundaries.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
NOISE GOALS & POLICIES				
Goal:	A noise environment that complements the community’s residential character and its land uses.	Noise is regulated by the City of Banning pursuant to Section 11D-02 of the City’s Municipal Code, Ord. No. 11381, 1004, which the Project would need to be in compliance with.	●	
Policy 1	The City shall protect noise sensitive land uses, including residential neighborhoods, schools, hospitals, libraries, churches, resorts and community open space, from potentially significant sources of community noise.	The Specific Plan Design Guidelines provide additional guidelines for commercial and community facility properties adjacent to residential properties in order to provide protection from excess noise, traffic and glare.	●	
Policy 2	The relationship between land use designations in the Land Use Element and changes in the circulations patterns of the City, as well as individual developments, shall be monitored and mitigated.	Project implementation is conditioned on implementation of circulation improvements that would reduce impacts from Project-generated traffic, which would further reduce the level of noise generated.	●	
Policy 3	Private sector project proposals shall include measures that assure that noise exposures levels comply with State of California noise insulation standards as defined in Title 25 (California Noise Insulation Standards) and/or Banning Ordinances 1138 and 1234, whichever is more restrictive.	Noise is regulated by the City of Banning pursuant to Section 11D-02 of the City’s Municipal Code, Ord. No. 11381, 1004, which the Project would need to be in compliance with.	●	
Policy 4	The City shall maintain a General Plan Circulation Map and assure low levels of traffic within neighborhoods by assigning truck routes to major roadways only.	Policy is not applicable.		●

Policy 5	<i>The City shall ensure that flight paths and airport improvements adhere to all local, state and federal noise regulations.</i>	Policy is not applicable.		●
Policy 6	<i>All development proposals within the noise impact area of the Interstate and the railroad shall mitigate both noise levels and vibration to acceptable levels through the preparation of focused studies and analysis in the development review and environmental review process.</i>	The environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 7	<i>The City shall coordinate with adjoining jurisdictions to assure noise-compatible land uses across jurisdictional boundaries.</i>	Policy is not applicable.		●
Policy 8	<i>The City shall impose and integrate special design features into proposed development that minimize impacts associated with the operation of air conditioning and heating equipment, on-site traffic, and use of parking, loading and trash storage facilities.</i>	The Specific Plan Design Guidelines includes standards that minimize the impacts associated with the operation of air conditioning and heating equipment, loading and trash storage facilities and on-site parking. The Specific Plan Circulation Plan addresses on-site traffic.	●	
Policy 9	<i>The City shall support development that results in grade separated railroad tracks.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
WILDLAND FIRE HAZARDS GOALS & POLICIES				
Goal:	Protect human life, land, and property from the effects of wildland fire hazards.	The proposed Project includes measures to minimize risks from fires, such as fuel modification zones and other mitigation measures regarding emergency management, that are addressed in the EIR.	●	
Policy 1	<i>The City shall establish and maintain an information database containing maps and other information which describe fire hazard severity zones, fire threat zone, and other wildfire hazards occurring within the City boundaries, sphere-of-influence and planning area.</i>	Policy is not applicable.		●

Policy 2	<i>On going coordination between the Banning Fire Department, Beaumont Fire Department, the Riverside County Fire Department, the California Department of Forestry, the Morongo Band of Mission Indians and the US Forest Service in fire prevention programs.</i>	Fire protection services are provided to the City through a contractual agreement with the Riverside County Fire Department, which in turn contract with the California Department of Forestry.	●	
Policy 3	<i>Continue to identify wildfire hazard areas, and to enforce special standards for construction in wildland fire hazard areas.</i>	Policy is not applicable.		●
Policy 4	<i>The City shall make every attempt to assure that adequate water supplies and pressures are available during a fire, earthquake or both.</i>	The Specific Plan's Water Service Plan monitors adequate water supplies and pressure within the project area.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
HAZARDOUS AND TOXIC MATERIALS GOALS & POLICIES				
Goal:	Maintain and promote measures to protect life and property from hazards resulting from human activities and development.	The environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 1	<i>The City shall continue to encourage research on potential and known hazards to public health and safety and make this information available to the general public, commercial interests, and governmental organizations.</i>	The environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 2	<i>The City shall continue to conduct and participate in studies with other agencies to identify existing and potential hazards to public health and safety.</i>	The environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 3	<i>The City shall thoroughly evaluate development proposals for lands directly adjacent to sites known to be contaminated with hazardous or toxic materials, traversed by natural gas transmission lines or fuel lines, or sites that use potentially hazardous or toxic materials.</i>	The environmental assessment conducted pursuant to CEQA determines the potential environmental impacts attributable to any development implemented within the Specific Plan area.	●	
Policy 4	<i>Require and facilitate the adequate and timely cleanup of contaminated sites identified within the City of Banning and its sphere-of-influence.</i>	Policy is not applicable.		●

Policy 5	<i>The City shall designate appropriate access routes to facilitate the transport of hazardous and toxic materials.</i>	Policy is not applicable.		●
Policy 6	<i>Continue to promote programs that encourage or educate the public in the proper handling and disposal of household hazardous waste or dangerous materials.</i>	Policy is not applicable.		●
Policy 7	<i>The City shall actively oppose plans to establish hazardous or toxic waste dumps, landfills, or industrial processes that may potentially adversely affect the City and its sphere-of-influence.</i>	Policy is not applicable.		●
Policy 8	<i>Maintain an inventory and information database, including mapping, of all major natural gas transmission lines and liquid fuel lines within the City limits and sphere-of-influence.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
WATER, WASTEWATER AND UTILITIES GOALS & POLICIES				
Goal:	A comprehensive range of water, wastewater and utility services and facilities that adequately, cost-effectively and safely meet the immediate and long-term needs of the City.	The Specific Plan's Water, Sewer, and Infrastructure Service Plans propose multiple options and phasing to facilitate the timely and cost-effective extension of services within the project area.	●	
Policy 1	<i>The City shall coordinate between the City Utility Department-Water Division, Banning Heights Mutual Water Company, Beaumont/Cherry Valley Water Agency, San Geronio Pass Water Agency, California Regional Water Quality Control Board and Riverside County Environmental Health to protect and preserve local and regional water resources against overexploitation and contamination.</i>	The Specific Plan's Water Service Plan encourages coordination with various public and quasi-public agencies to protect and preserve local and regional water sources.	●	
Policy 2	<i>Sewer connection shall be required at the time a lot is developed when service is available.</i>	From Sunset Avenue, at least two different alignments for the connecting wastewater trunk line could be pursued. One option would require the project proponent to extend the wastewater line down Sunset Avenue to the vicinity of Bobcat Road, where the Five Bridges and BDS Developments would potentially complete the line extension in Bobcat Road eastward to existing pipelines at South San Geronio	●	

		<p>Avenue, pursuant to the City of Banning's November 2006 <i>Sewer System Study</i>. The completion of this sewer transmission main by the aforementioned developments would have to happen prior to or concurrent with the Butterfield project.</p> <p>If the Five Bridges and BDS developments do not proceed in advance of or concurrently with the Butterfield project the connection to the WWTP could proceed eastward on Lincoln Street and southward on South San Geronio Avenue. This option would provide a fairly direct, efficient route to serve the Butterfield Specific Plan area, but the resulting pipeline extension would not be able to serve the Five Bridges and BDS Developments. The City of Banning would make a determination on which option is preferred.</p> <p>An alternative option proposal for providing wastewater treatment to the Specific Plan area is to site and construct a satellite treatment plant within the southeastern corner of the plan area. The satellite plant could receive wastewater gravity flows from the project, treat them to required levels and pump back recycled water into the project's recycled water system. This would not require the extension of wastewater or recycled water pipelines to or from the City's main treatment plan to serve the project.</p> <p>The City of Banning has an adopted Capital Improvement Program that includes upgrades and expansion of the City's wastewater treatment infrastructure sufficient to accommodate the proposed Project. In addition, the City's Municipal Code allows the City to require extension of</p>		
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		wastewater infrastructure to the Project site as a condition of approval for the Project. Accordingly, the City has and would have the capacity to serve the proposed Project as it develops over time.		
Policy 3	<i>In the event a sewer line exists in the right-of-way where a for-sale residential unit is served by a septic system, the septic system shall be properly abandoned prior to a sale and/or close of escrow and the unit shall be connected to the sewer system.</i>	Policy is not applicable.		●
Policy 4	<i>The City shall make every effort to assure and assist in facilitating the timely and cost-effective extension and expansion of services that support community development and improved quality of life.</i>	The Specific Plan's Water, Sewer, and Infrastructure Service Plans propose multiple options and phasing to facilitate the timely and cost-effective extension of services within the project area.	●	
Policy 5	<i>To ensure the timely expansion of facilities in a manner that minimizes environmental impacts and disturbance of existing improvements, the City shall confer and coordinate with service and utility providers in planning, designing and siting of supporting and distribution facilities.</i>	Water and sewer service is provided by the City.	●	
Policy 6	<i>The City shall proactively support the widespread integration of energy resource conserving technologies throughout the community.</i>	Policy is not applicable.		●
Policy 7	<i>The City shall continue to confer and coordinate with its solid waste service franchisee to maintain and, if possible, exceed the provision of AB 939 by expanding recycling programs that divert valuable resources from the waste stream and returning these materials to productive use.</i>	Policy is not applicable.		●
Policy 8	<i>The City shall support, and to the greatest extent practical, shall encourage commercial and industrial businesses to reduce and limit the amount of packaging and potential waste associated with product sale and production.</i>	Policy is not applicable.		●
Policy 9	<i>Utility lines on scenic roadways, major streets and in the downtown shall have primary consideration for undergrounding.</i>	All utility lines for the project will be located underground.	●	

Policy 10	<i>Major utility facilities, including power and other transmission towers, cellular communication towers and other view shed intrusions shall be designed and sited to ensure minimal environmental and view sheds impacts and environmental hazards.</i>	Development of major utility facilities within the Specific Plan area will follow the City's technical requirements.	●	
Policy 11	<i>The City shall encourage the planning, development and installation of state-of-the-art telecommunications and other broadband communications systems as essential infrastructure.</i>	The project would include the extension of telecommunication lines to the site.	●	
Policy 12	<i>The City shall encourage in others and itself the use of alternative fuel vehicles.</i>	The intent of the Butterfield Specific Plan is to allow electric Low Speed Vehicles (LSV's) on all internal project streets.	●	
Policy 13	<i>The City shall investigate lower cable rates for un-gated neighborhoods.</i>	Policy is not applicable.		●
Policy 14	<i>The City shall encourage alternative energy use for individual property owners and consider developing an incentive program.</i>	Homes within the Project have the option to participate in Pardee Home's "Living Smart" program, which meets or exceeds local, State, and national standards for green home building, including the incorporation of features and options that reduce energy demand and promote use of alternative energy sources and non-motorized transportation	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
PUBLIC BUILDINGS AND FACILITIES GOALS & POLICIES				
Goal:	The provision of a full range of dependable, cost-effective, and conveniently located public buildings, services and facilities that meet the functional, social and economic needs of the entire community.	The Butterfield Specific Plan proposes approximately 36 acres (2.3%) of Commercial land use throughout the Specific Plan area. In addition, A school site for Beaumont USD is proposed within Planning Area 20 of the Butterfield Specific Plan. A school site for Banning USD is proposed within Planning Area 68.	●	
Policy 1	<i>The Land Use Element shall consider the long-term availability of sites for future public and quasi-public buildings, infrastructure, and other facilities.</i>	Policy is not applicable.		●

Policy 2	<i>Continue to identify and evaluate viable, long-term funding mechanisms that provide for the construction, maintenance and operation of existing and future public buildings and facilities, including assuring that new development funds its fair share of these facilities.</i>	The Specific Plan identifies the anticipated responsible parties for financing and maintenance of improvements within the project area.	●	
Policy 3	<i>Coordinate with public utility providers and other public/quasi-public agencies to assure that utility buildings and facilities are compatible with the surrounding landscape.</i>	The Specific Plan Design Guidelines sets forth additional standards for community facilities to ensure compatibility with the surrounding landscape.	●	
Policy 4	<i>All public buildings and facilities shall comply with the same development standards as private development.</i>	Policy is not applicable.		●
Policy 5	<i>Encourage the undergrounding of all utility lines and the undergrounding or screening of transformers/facilities.</i>	The Specific Plan Design Guidelines sets forth standards for the screening of mechanical equipment such as transformers and cooling and ventilation systems. In addition, all utility lines would be located underground.	●	
Policy 6	<i>Critical structures and facilities (including the civic center, hospitals, fire stations, police stations, schools and major communications facilities) shall be restricted from geologically and hydrologically hazardous areas.</i>	It has been determined that the relatively flat to gently sloping topography and the overall uniformity of the site soil conditions indicate that landslides have not occurred on the project site. Additionally, no historical data indicates the presence of liquefaction on the project area.	●	
Policy 7	<i>The Zoning Ordinance shall be reviewed to facilitate the location of public buildings and offices in a centralized location near the Civic Center.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
SCHOOLS AND LIBRARIES GOALS & POLICIES				
Goal:	The provision of quality school and library facilities in the City that are accessible, safe and conveniently located within the community.	Two elementary school sites are designated in the Butterfield Specific Plan that will comprise an approximate total of 27 acres (1.8%) of the Specific Plan area. Additional school sites are permitted in the Specific Plan if requested by the School Districts. The project applicant would be	●	

		required to pay library impact fees.		
Policy 1	<i>Assist, cooperate and coordinate with the Banning and Beaumont Unified School Districts and state agencies in identifying, acquiring and developing school sites needed to meet future growth demands. Encourage the selection of potential school sites that are centrally located in areas of existing or future residential development.</i>	Two elementary school sites are proposed for the Butterfield Specific Plan that will comprise an approximate total of 27 acres (1.8%) of the Specific Plan area. Planning Area 20, a 14 acre site, is located in the southern portion of the Specific Plan area and within the jurisdiction of the Beaumont Unified School District. Planning Area 68, a 13.1 acre site, is located in the easternmost portion of the Specific Plan area, east of Highland Home Road.	●	
Policy 2	<i>Continue to work with the Banning Unified School District to amend the District's boundary to encompass all lands within its corporate limits and sphere-of-influence.</i>	Policy is not applicable.		●
Policy 3	<i>Schools and libraries shall be protected from excessive noise and traffic conditions, incompatible land uses, and the threat of on-site disturbance to the greatest extent practicable.</i>	The environmental document for the project to be conducted pursuant to CEQA would require analysis of noise and traffic impacts.	●	
Policy 4	<i>The City shall cooperate in securing school impact fees from developers, in accordance with state law.</i>	The environmental document for the project to be conducted pursuant to CEQA would require payment of school impact fees by the developer in accordance with State law.	●	
Policy 5	<i>The City shall proactively work with the Banning Unified School District to improve the level and quality of education wherever possible.</i>	Policy is not applicable.		●
Policy 6	<i>The City shall encourage and support local higher education institutions that enhance general, career and vocational skills, employment opportunities and personal growth.</i>	Policy is not applicable.		●
Policy 7	<i>The City shall cooperate with Banning Unified School District, the Riverside office of Education, and Mt. San Jacinto College to facilitate the establishment of a community education committee, which will develop a mission statement and process of committee activities. The committee's essential goal shall be to enhance the provision of quality education to all students in the City.</i>	Policy is not applicable.		●

Policy 8	<i>As appropriate, the City shall pursue agreements with the school districts to assist in the purchase, lease or joint use of land and facilities for school and recreational purposes, and to provide the neighboring community with access to recreational facilities and open space during no-school hours.</i>	The Specific Plan proposes to incorporate joint-use of two school's recreational facilities into its recreation plan. Contained within these sites are expected facilities such as ball fields and playgrounds.	●	
Policy 9	<i>The City shall support and facilitate the development of youth programs to provide quality after-school programs and facilities.</i>	Policy is not applicable.		●
Policy 10	<i>The City will encourage the Library Board to confer and coordinate with Mt. San Jacinto College to explore the provision of library services, and cooperative efforts with the Banning Public Library, in conjunction with the proposed MSJC Education Center.</i>	Policy is not applicable.		●
Policy 11	<i>The City shall coordinate with the Banning Public Library to assure that adequate library space, services and resources are provided to meet the educational and literary needs of the community.</i>	The project applicant would be required to pay library development impact fees to offset the increased need for services.	●	
Policy 12	<i>Recognizing the importance of the library system for educational and cultural development within the community, the City shall explore the need for and feasibility of expanded library facilities and resources, including the potential for and appropriateness of accessing on-line resources associated with the Riverside County library system.</i>	The project applicant would be required to pay library development impact fees to offset the increased need for services.	●	

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
POLICE AND FIRE PROTECTION GOALS & POLICIES				
Goal:	The highest possible quality and level of service for fire and police protection to preserve and protect the health, welfare and property of residents, business owners, visitors and property owners.	A potential 1.6 acre fire station site has been identified at the southeast corner of PA 60 in the Specific Plan area and will be reserved for that use if the City determines it to be necessary. In addition, the project applicant would be required to pay police and fire development impact fees to offset the increased need for services.	●	
Policy 1	<i>The City shall work closely with the Fire and Police Departments to assure that adequate facilities are constructed and service is provided as</i>	A potential 1.6 acre fire station site has been identified at PA 72 in the Specific Plan area and will be reserved for that	●	

	<i>development and growth occur to maintain and enhance levels of service and insurance ratings.</i>	use if the City determines it to be necessary. In addition, the project applicant would be required to pay police and fire development impact fees to offset the increased need for services.		
Policy 2	<i>The City shall review all proposals for new or significant remodeling projects for potential impacts concerning public safety.</i>	Policy is not applicable.		●
Policy 3	<i>The City shall strictly enforce fire standards and regulations in the course of reviewing development and building plans and conducting building inspections of large multiple family projects, community buildings, commercial structures and motel structures.</i>	Development of the project site would require that the City Fire Chief review all plans prior to ground disturbance for adequate fire safety standards and regulations.	●	
Policy 4	<i>All proposed development projects shall demonstrate the availability of adequate fire flows prior to approval.</i>	Development of the project site would require that adequate fire flows be available throughout the site.	●	
Policy 5	<i>Crime prevention design techniques, including the use of "defensible space," high security hardware, optimal site planning and building orientation, and other design approaches to enhance security shall be incorporated in new and substantially remodeled development.</i>	Development of the project site would require security lighting and site planning and orientation to enhance security.	●	
Policy 6	<i>The City shall continue to support and promote community-based crime prevention programs as an important augmentation to the provision of professional police protection services.</i>	Policy is not applicable.		●
Policy 7	<i>The City shall periodically review the level, quality, innovation and cost-effectiveness of police and fire protection services, including contract services.</i>	Policy is not applicable.		●
Policy 8	<i>The Police and the Fire Departments shall closely coordinate and cooperate with the City and County emergency preparedness teams and shall assure the most effective emergency response practical.</i>	Policy is not applicable.		●
Policy 9	<i>The Fire Department shall maintain a 5-minute response time.</i>	Policy is not applicable.		●
Policy 10	<i>The Police Department shall maintain a level of service (LOS) goal of 2.0 sworn officers per 1,000 residents.</i>	Policy is not applicable.		●
Policy 11	<i>The Fire Department Ambulance Services shall maintain a 5-minute response time.</i>	Policy is not applicable.		●

Policy 12	<i>The City shall investigate the requirements for an International Organization for Standardization (ISO) rating specifically for the City.</i>	Policy is not applicable.		●
Policy 13	<i>The City shall continue to pursue grant positions for the Police Department.</i>	Policy is not applicable.		●
Policy 14	<i>The City shall pursue all funding mechanisms to fund the need for police and fire services generated by new development.</i>	Policy is not applicable.		●

General Plan Applicable Goals & Policies		Specific Plan Consistency Analysis	Consistent	
			Yes	Not Applicable
EMERGENCY PREPAREDNESS GOALS & POLICIES				
Goal:	A detailed, integrated and comprehensive emergency preparedness plan for the City, ensuring a high level of readiness and responsiveness to man-made and natural disasters of any scope, and which maximizes response capabilities of the City, County, State and Federal governments.	Policy is not applicable.		
Policy 1	The City shall maintain and update its Multi-Hazard Functional Planning Guidance document to ensure maximum operational functionality and to incorporate federal mandates by required deadlines.	Policy is not applicable.		●
Policy 2	The City shall maintain and update the Banning Emergency Plan to keep it updated with staffing and technical capabilities of the City and cooperating agencies.	Policy is not applicable.		●
Policy 3	The City shall identify and establish emergency evacuation and supply routes and plans to preserve or re-establish the use of Highland Springs Avenue, San Gorgonio Avenue, Wilson Street, Ramsey Street, Interstate-10 and other essential transportation routes.	Policy is not applicable.		●
Policy 4	The City shall identify and establish emergency appropriate locations for emergency supply stockpiles.	Policy is not applicable.		●
Policy 5	The City shall cooperate and coordinate with Riverside County Emergency Services, local utility purveyors and other agencies and utilities in the preparation of public information materials to assist residents, visitors and business owners in responding to local disasters and emergencies.	Policy is not applicable.		●

Policy 6	<i>The City shall thoroughly consider and assess vulnerability to natural and manmade disasters or emergencies when reviewing proposals for the siting and development of critical and essential public/quasi-public facilities.</i>	The Project would be required by current regulations to provide adequate ingress and egress, street width, turning radius, fire hydrants and adequate fire flow before certificates of occupancy could be issued.	●	
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APPENDIX A

**CITY OF BANNING ORDINANCE NO. 1450
(APRIL 10, 2012) APPROVING THE
BUTTERFIELD SPECIFIC PLAN AND
ADOPTING CONDITIONS OF APPROVAL**

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ORDINANCE NO. 1450

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BANNING, CALIFORNIA AMENDING THE DEUTSCH SPECIFIC PLAN AND SUPERSEDING IT WITH THE BUTTERFIELD SPECIFIC PLAN AND ADOPTING CONDITIONS OF APPROVAL AND MAKING FINDINGS IN SUPPORT THEREOF

WHEREAS, the City of Banning received an application on August 20, 2007 for an amendment to the Deutsch Specific Plan to provide zoning regulations for the Butterfield Specific Plan including a General Plan Amendment and Zone Change, amendment to the Development Agreement, and approval of an EIR to allow the development of up to 5,387 dwelling units (937.4 acres of residential), a golf course and open space (253.9 acres), parks (66.5 acres) and other open space (108.4) acres, two school sites (23.0 acres), and existing utilities substation facility (4.2 acres), a fire station site (1.6 acres) and backbone roadways (113.6 acres). The project also includes the construction of major on-site and off-site infrastructure, including, but not limited to: various on-site and off-site street improvements to provide access to and from the project site; designation of a site for a potential waste water treatment facility; various on-site and off-site conveyance pipelines for sewer, water, storm drain; a multi-purpose detention basin, and drainage improvements to Pershing Channel and Smith Creek immediately upstream and downstream of the 1,543-acre project site to accommodate the mixed-use master planned community.

Project Applicant:	Pardee Homes (Authorized Agent Mike Taylor, Vice President of Pardee Homes, 10880 Wilshire Boulevard, Suite 1900, Los Angeles, CA 90024)
Property Owners:	Pardee Homes owns 1,522 acres within the Butterfield Specific Plan. Highland Springs Country Club Owners Association owns the 21-acre property that is located at the northwest corner of the Butterfield Specific Plan (APN: 408-060-006, 007 & 008 portion).
Project Location:	Northeast Corner of Highland Springs Avenue and Wilson Street
APN Number:	The project includes 34 parcels: 408-060-006, 007 & 008 (por.); 408-030-001 & 005; 408-120-001 through 020, 022, 024, 025, 027 & 033; and 531-080-013 & 014.
Specific Plan Size:	1,543 Acres

WHEREAS, Pardee Homes requests an amendment to the Deutsch Specific Plan by superseding it with the zoning regulations for the Butterfield Specific Plan so that future development within the project site conforms to the Butterfield Specific Plan.

WHEREAS, the Butterfield Specific Plan and Conditions of Approval (Exhibit "A") including its companion entitlement applications for General Plan, Zone Change, and Development Agreement amendment, and Water Supply Assessment are considered a Project pursuant to CEQA Guidelines sections 21065.

WHEREAS, Government Code Sections 65450 through 65454 establish the authority for the adoption a Specific Plan, identify the required contents of the Specific Plan and mandate consistency with the General Plan.

WHEREAS, Chapters 17.44 and 17.96 of the Banning Zoning Code specifies the purpose, the content of the Specific Plan, procedures for the preparation and adoption of the Specific Plan, and findings.

WHEREAS, the City of Banning development team has reviewed the Butterfield Specific Plan and associated entitlement and determined that the Specific Plan meets the requirements of Government Code Sections 65450 and 65454 and Chapters 17.44 and 17.96 of the Banning Zoning Code.

WHEREAS, the approval of an amendment to the Deutsch Specific Plan and superseding it with the Butterfield Specific Plan as referenced herein, including its companion applications for General Plan Amendment No. 11-2501 and Zone Change No. 11-3501, and Development Agreement amendment, is considered a project pursuant to CEQA Guidelines Section 21065.

WHEREAS, consistent with Section 15083 of CEQA and prior to completing the draft Environmental Impact Report ("EIR"), the City held an early consultation or scoping meeting regarding the environmental issue areas to be considered in the EIR. The City published the Notice of Preparation ("NOP") including the Scoping meeting in the Record Gazette and on the City's website. The City also mailed the NOP to residents who are located within 300' of the Project site and to members of the public, organizations/groups, public agencies and persons who have requested to be on the mailing lists. As part of early consultation, the City held three (3) public scoping meetings. Two (2) scoping meetings were held on October 16, 2007, from 2 p.m. to 4 p.m. and from 6 p.m. to 8 p.m. Another scoping meeting was held on October 22, 2007, from 6 p.m. to 8 p.m.

WHEREAS, a Final EIR (SCH No. 2007091149), including Draft EIR and Mitigation Monitoring and Reporting Program were prepared in accordance with the California Environmental Quality Act Sections 15000-15387 (Title 14, Chapter 3 of California Code of Regulations), the State CEQA Guidelines, and the City of Banning Environmental Review Guidelines.

WHEREAS, consistent with Sections 15086 and 15087 of CEQA, the City published the Notice of Availability ("NOA") of the Draft EIR and made the Draft EIR available for a 45-day public review period from June 6, 2011, to July 21, 2011. The NOA was published in the Press Enterprise and the City's website. The City also mailed the NOA to the State Clearinghouse for distribution to State Agencies. Also, the City mailed the NOA to the residents, who live within

300' radius of the Project boundaries, groups and organizations, and members of the public who requested to be on the mailing list of the Project.

WHEREAS, prior to the close of the comment period, the City held a public workshop on June 21, 2011 to provide information and answer questions from interested members of the public regarding the Project and the Draft EIR.

WHEREAS, during the public workshop of June 21, 2011, the City received questions and comments mostly on traffic, among other questions about the Project. In response to the oral comments on traffic, the City held another workshop on July 14, 2011 to respond to questions from members of the public regarding the traffic analysis report and conclusions.

WHEREAS, the City received 31 comment letters from members of the public, public agencies, groups/organizations, and persons who requested to be a part of the mailing list of the Project for the Draft EIR and the impacts of the Butterfield Specific Plan, including its associated applications as referenced herein.

WHEREAS, consistent with Section 15088 of CEQA, the City evaluated the responses received from members of the public, public agencies, groups/organizations, and persons who requested to be a part of the mailing list of the Project and prepared written responses, which culminated in a Final EIR for the Project and is referenced herein. The Final EIR was made available for 10-day public review on Friday, February 24, 2012. The Final EIR was made available at City Hall Community Development Counter, the Banning Public Library, and the City's website.

WHEREAS, on March 7, 2012, the Banning Planning Commission held a duly-noticed public hearing, at which time the Commission considered the public testimony, staff report, full documentation of the Final EIR, and all other documentation relating to the Project, and the Commission unanimously recommended approval of the Project and certification of the Final EIR to the City Council.

WHEREAS, on March 16, 2012, the City gave public notice by advertisement in the Record Gazette newspaper of a public hearing concerning the Project to be held before the City Council. On March 27, 2012, the City Council held its public hearing on the Project and Final EIR, to consider public testimony, the staff reports and presentations, full copy of the Final EIR and all other documentation relating to the Project.

NOW THEREFORE, the City Council of the City of Banning does make the following findings and based thereon and the administrative record does ordain as follows:

SECTION 1. ENVIRONMENTAL FINDINGS.

A Final Environmental Impact Report [EIR] (SCH No. 2007091149), including Draft EIR and Mitigation Monitoring and Report Program was prepared in accordance with the California Environmental Quality Act ("CEQA"), the State CEQA Guidelines Sections 15000 through

15387, and the City of Banning Environmental Review Guidelines. City Council Resolution No. 2012-24, as referenced herein, provides additional environmental findings for the Project.

SECTION 2. REQUIRED FINDINGS FOR THE BUTTERFIELD SPECIFIC PLAN

Finding No. 1: The proposed Specific Plan is consistent with the General Plan, as amended.

Findings of Fact: The proposed Specific Plan is partially inconsistent with the existing General Plan. The current General Plan Land Use and Zoning designations for the project site is Deutsch Specific Plan. The proposed General Plan Amendment No. 11-2501 and Zone Change No. 11-3501 will change the land use designations and zoning of the project site from Deutsch Specific Plan to Butterfield Specific Plan which will make the Butterfield Specific Plan consistent with the General Plan Land Use and Zoning. With approval of the General Plan Amendment No. 11-2501 and Zone Change No. 11-3501, the proposed Butterfield Specific Plan would be consistent with the intent of the General Plan through designation of the site as Specific Plan. Consistency of the Butterfield Specific Plan pertaining to the proposed project is assessed in Section 7.0 of the Butterfield Specific Plan dated November 21, 2011 and is attached herein.

Finding No. 2: The proposed Specific Plan would not be detrimental to the environment, or to the public interest, health, safety, convenience, or welfare of the City.

Finding of Facts: In compliance with State law (Government Code Sections 65450 et. seq.) the proposed Butterfield Specific Plan includes the following information:

(1) *The distribution, location, and extent of land uses, including residential, commercial, open space and trails, golf course, a site for fire station, a public community center, and sites for two elementary schools. Specifically, Section 1.0, pages 1-1 to 1-17 includes maps and diagrams for the distribution, location, and extent of the uses of land, including open space. In addition, the text accompanies the maps and diagrams providing detail information as to the specific plan land uses, their location, and intensity/density of the uses. Furthermore Sections 3.0 through 3.1.2, pages 3-1 through 3-16 of the Specific Plan provide detailed development plans for each of the land uses. Detail information of the distribution, location, and extent of the parks and open space development is provided in Section 3.6 through 3.6.6, pages 3-85 through 3-98.*

(2) *The distribution, location and extent and intensity of major components of public and private transportation, water, sewer, drainage, solid waste disposal, energy, and other essential facilities within the project area required to support the land uses described in the Specific*

Plan. Specifically, Section 3.2 through 3.5.5, pages 3-17 through 3.84 provide detail information via text and diagrams/maps showing distribution location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan. Other public services and essential facilities for the project including schools, fire and police protection, library, cable, gas, and health services are provided in Section 3.7.1 on pages 2-97 through 3-99.

(3) *Standards and criteria for which the development will proceed; and* Specifically, the following sections of the Butterfield Specific Plan provides standards and criteria for which the development will proceed:

- a. Section 3.7.2, pages 3-99 through 3-105 provide phasing for each development
- b. Sections 4.1 through 4.13.9, pages 4-1 through 4-139 provide detail development design guidelines for the community, neighborhood, and individual buildings and how they are to be developed.
- c. Sections 5.0 through 5.8.1 provide specific details development regulations for each of the land use districts and how they are to be developed.

(4) *A program for implementation including regulations, programs, public works projects and financing measures necessary to carry out the project;* Specifically, Section 6.0 through 6.2.2, pages 6-1 through 6-4 of the Butterfield Specific Plan provides details information on the administration and implementation of the Specific Plan that includes regulations, programs, public works projects, and financing measures necessary to carry out items (1), (2), and (3). The financing measures include Community Facility District which is described in detail in Section 3.7.3 on page 3-105. Details of the finding of facts are included in Ordinance No 1450.

(5) *A Statement of Relations of the Specific Plan to the adopted General Plan.* Specifically, Section 7.0 of the Butterfield Specific Plan findings of consistency with the General Plan as referenced herein, the proposed General Plan Amendment and Zone Change would maintain the appropriate balance of land uses within the City and specifically, it will implement the Citywide goal of “a balanced well-planned community including business which provides a functional pattern of land uses and enhances the quality of life for all Banning residents.”

Additionally, the Specific Plan has been reviewed to ensure that there are adequate two-points of access within each of the neighborhoods/ planning areas of the Plan to provide access for public safety emergency vehicles during an emergency.

As required by the California Environmental Quality Act (CEQA) Section 20165, an environmental impact report (EIR) [State Clearinghouse No. 2007091149] was prepared for the project. The EIR identified potentially significant effects on the environment and on the public interest, health, safety, convenience, and welfare of the City and identified mitigation measures that shall be incorporated into the Project to reduce impacts. In certain instances incorporation of mitigation measures were unable to reduce impacts to less than significant. Section 15091 allows the City to approve a project that has significant impacts on the environment and that which the impacts cannot be mitigated when there are economic, social, or other considerations that make it infeasible to mitigate the significant effects of the projects. Findings for approval must be provided consistent with Section 15093 of the CEQA Guidelines in that the City Council will need to adopt a Statement of Overriding Considerations for the significant and unavoidable Project-related impacts

The City has prepared a Statement of Overriding Considerations for the significant and unavoidable Project-related impacts associated with aesthetics, light and glare, air quality, and traffic and circulation and the cumulative impacts associated with aesthetics, light and glare, air quality, climate change, noise, and traffic and circulation. (Refer to City Council Resolution No. 2012-24).

Based upon the Statement of Overriding Considerations, sixteen (16) areas of Public Benefit related to the proposed Butterfield Specific Plan Project outweigh the seven (7) areas of significant unavoidable adverse impacts. The significant unavoidable adverse impacts are considered acceptable.

Finding No. 3: The subject property is physically suitable for the requested land use designation(s) and the anticipated development(s).

Findings of Fact: The project site is 1,543 acres and the majority of the site is located on flat land. The project site has been analyzed for constraints and opportunities for development including compatibility of the various densities and intensity of land uses surrounding the development, flood zone, earthquake fault, proximity to natural open space, availability of water and utilities to serve the development.

The proposed Project would continue a pattern of development that is already in place to the south, southeast, west and northwest of the site, providing desirable linkages between existing developments, extending

and improving the City's circulation system, and providing additional parks, schools, and other public facilities that would serve both proposed and existing land uses in the area. The Butterfield Specific Plan is proposing to substantially increase the open space to 428.8 acres, compared to the previously designated 268 acres of open space in the previously approved Deutsch Specific Plan. The Project would not physically divide an established community since the Project site is currently vacant and undeveloped.

As part of the community input and public review process for the preparation of the Specific Plan and at the request of the residents who live on Mockingbird Lane, the developer modified the lot sizes for the area that is located on the east side of the Highland Home Road and north of the "F" Street. Planning Area 50 of the Butterfield Specific Plan (refer to Exhibit 3.1, Land Use Plan, in the Specific Plan) which is the area to the north of the Mockingbird Lane has been designated as Low Density Residential, with a minimum average lot size of 7,500 sq. ft. Furthermore, starting at the back of lots along the existing lots on the north side of Mockingbird Lane, there would be approximately 390 ft. of open space between the rear property lines of lots located on Mockingbird Lane and the southern boundary of Planning Area 50.

Access to and from the project has been evaluated consistent with the General Plan policies and the County Master Plan of Roadways. Internal circulation systems have been reviewed to provide automobile, low speed electric vehicles, pedestrian, and bikeway connections within the project site. Additionally, each of the neighborhoods have been reviewed and provided two points of access for public safety vehicles during an emergency. Necessary utilities that include water, sewer, gas, electricity, cable, and telephone that will serve the development will be provided through the implementation of the Specific Plan.

Finding No. 4: The proposed Specific Plan shall ensure development of desirable character which will be compatible with existing and proposed development in the surrounding neighborhood.

Finding of Fact: The project site is 1,543 acres and is adequate and suitable to develop with the proposed land uses which are described in detailed in the Butterfield Specific Plan as incorporated herein by reference. The land use plan for the project takes into consideration the physical constraints and opportunities of the site including surrounding land uses, topography, geology, seismic hazards, soils, groundwater, drainage and flood control channels – Smith Creek and Pershing Channel, paleontology and archeology, biology, circulation and access, and utilities as described in detailed in Sections 2.1 through 2.7.2 of the Specific Plan.

The proposed Project would continue a pattern of development that is already in place to the south, southeast, west and northwest of the site, providing desirable linkages between existing developments, extending and improving the City's circulation system, and providing additional parks, schools, and other public facilities that would serve both proposed and existing land uses in the area. The Butterfield Specific Plan is proposing to substantially increase the open space to 428.8 acres, compared to the previously designated 268 acres of open space in the previously approved Deutsch Specific Plan. The Project would not physically divide an established community since the Project site is currently vacant and undeveloped.

The location of the various land uses has been distributed and placed to provide compatibility within the neighborhoods in the project and the surrounding area, including the neighborhood on the north side of the Mockingbird Lane as this neighborhood provided input as to compatibility of the previous lot sizes which were smaller compared to lot sizes in their neighborhood. Specifically, to improve compatibility with the existing residential development on the north side of Mockingbird Lane, the Project has designated Planning Area 50 (refer to Exhibit 3.1, Land Use Plan, in the Specific Plan) as Low Density Residential, with an minimum average lot size of 7,500 sq. ft. Furthermore, starting at the back of lots along the existing lots on the north side of Mockingbird Lane, there would be approximately 390 ft. of open space between the rear property lines of lots located on Mockingbird Lane and the southern boundary of Planning Area 50.

Access to and from the project has been evaluated consistent with the General Plan policies and the County Master Plan of Roadways. Internal circulation systems have been reviewed to provide automobile, low speed electric vehicles, pedestrian, and bikeway connections within the project site. Additionally, each of the neighborhoods have been reviewed and provided two points of access for public safety vehicles during an emergency. Necessary utilities that include water, sewer, gas, electricity, cable, and telephone that will serve the development will be provided through the implementation of the Specific Plan.

In compliance with SB 610 (Water Code Section 10910 et seq.), a Water Supply Assessment was prepared for the project, which is consistent with the City's Urban Water Management Plan, and which is incorporated herein by reference. The Water Supply Assessment concluded that the City's total projected water supplies are adequate to meet the projected water demand associated with the project, in addition to the City's existing and planned future uses.

Based on the facts indicated in this subsection and subsections above and the administrative record, the project site is suitable for requested land use designation(s) and the anticipated land use development(s).

SECTION 3. CITY COUNCIL ACTIONS.

The City Council hereby:

1. Adopts the Conditions of Approval attached hereto as Exhibit "A".
2. Adopts Ordinance No. 1450 approving an amendment to the Deutsch Specific Plan and superseding it with the Butterfield Specific Plan.

SECTION 4. PUBLICATION

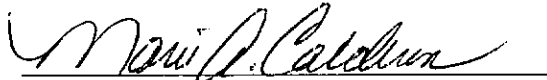
The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall within fifteen (15) days of its adoption cause it, or a summary of it, to be published in the Record Gazette, a newspaper published and circulated in the City. Thereupon, this Ordinance shall take effect thirty (30) days after the adoption and be in effect according to the law.

PASSED, APPROVED AND ADOPTED this 10th day of April, 2012.




Don Robinson, Mayor
City of Banning

ATTEST:



Marie Calderon, City Clerk
City of Banning, California

**APPROVED AS TO FORM
AND LEGAL CONTENT:**



David J. Aleshire, City Attorney
Aleshire & Wynder, LLP
City of Banning

CERTIFICATION:

I, Marie Calderon, City Clerk of the City of Banning, California, do hereby certify that the foregoing Ordinance No. 1450 was duly introduced at a regular meeting of the City Council of the City of Banning, held on the 27th day of March, 2012 and was duly adopted at a regular meeting of said City Council held on the 10th day of April 2012, by the following vote, to wit:

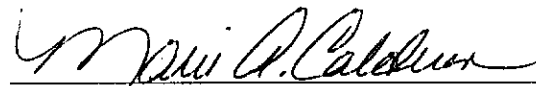
AYES: Councilmembers Botts, Franklin, Machisic, Mayor Robinson

NOES: None

ABSENT: None

ABSTAIN: None

*(Note: Councilmember Hanna recused from voting)
(Conflict of Interest)*

A handwritten signature in cursive script, appearing to read "Marie A. Calderon", written over a horizontal line.

Marie Calderon, City Clerk
City of Banning, California

The following Butterfield Specific Plan Conditions of Approval represent the final draft conditions that went to the Banning City Council on April 10, 2012 for approval.

A confirmed copy of final approved Conditions of Approval has not been provided by the City yet for this draft document.

**Butterfield Specific Plan
Draft Conditions of Approval**

I. GENERAL/ONGOING

COMMUNITY DEVELOPMENT DEPARTMENT

1. **Approved General Plan Amendment and Zone Change.** The General Plan Amendment and Zone Change are approved as shown in Exhibit “A” to Resolution No. 2012-03. An amended Development Agreement (the “Development Agreement”) was approved concurrent with the General Plan Amendment and Zone Change. Capitalized terms used herein bear the same meaning as defined in the Development Agreement.
2. **Approved Butterfield Specific Plan.** This approval includes development of up to 5,387 new residential units on approximately 937.2 acres, a minimum of 36 and up to 88 acres of commercial/office, 253.9 acres of golf course or open space, 66.5 acres of park, 70.1 acres of natural/landscape/easement, 38.3 acres of drainage and open space areas, potentially two or more elementary school sites, as determined needed by the school districts, a 4.2 acre utility substation site, and approximately 113.6 acres of backbone roads as shown in the table below (“Project”).

Land Use	Gross Acres	% of Area	Dwelling Units	% of Dwelling Units	Average Gross Density
Residential³					
Low Density (LDR) 0-5 DU/AC	539.2	35.0%	2,222	41.2%	4.1
Medium Density (MDR) 0-10 DU/AC	324.4	21.0%	1,960	36.4%	6.0
High Density (HDR) 11-18 DU/AC	73.8	4.8%	1,205	22.4%	16.4
Residential Subtotals	937.2	60.8%	5,387	100.0%	5.7
Open Space					
Golf Course/Drainage/Open Space	253.9	16.5%			
Parks	66.5	4.3%			
Natural/Landscape/Easement	70.1	4.5%			
Drainage/Open Space	38.3	2.5%			
Open Space Subtotals	428.8	27.8%			
Schools¹	23.0	1.5%			
Commercial/Office²	36.0	2.3%			
Utility Substation – Existing	4.2	0.3%			
Backbone Roads	113.6	7.4%			
SPECIFIC PLAN TOTALS	1,543	100.0%	5,387	100.0%	3.5

¹ Alternate Residential use of School sites at up to 10 DU/AC is provided.

² Alternate Residential use or mixed use of the Commercial sites is provided for with PA 17 at up to 4.5 DU/AC (LDR) and PA 18 at up to 10 DU/AC (MDR). The overall DU total for the Specific Plan shall not exceed 5,387 DU. In addition, Commercial use is allowed as an alternate use for all or a portion of Residential PAs 3, 4 and 5 (51.4 acres combined), and Park PAs 26 and 27 (0.9 acres combined).

³ The Specific Plan allows for cluster development and Active Adult residential within certain Planning Areas, as described in detail within the Specific Plan (Section 3.1.1.1, Residential).

2a. The Phasing Plan. The phasing and timing requirements for the construction of all public improvements shall be in accordance with the Master Phasing Plan and the developed pursuant to the Development Agreement. Although the overall timing of Project development remains subject to the Developer's discretion based on market conditions, there is a logical sequence to the development and certain improvements are required to be complete before phases of the Project can be considered complete and ready for occupancy. The Master Phasing Plan will contain the following elements:

a. Project Phases. The Developer must achieve certain goals and objectives in terms of Project development in order to keep the Agreement in place for the full term of the agreement, as set forth in the Development Agreement. The development of the Project will be reviewed at each Ten Year Anniversary Review. The Development Goals are as follows:

Phase I (10 th Anniversary)	<ul style="list-style-type: none">▪ Development will begin near the corner of Highland Springs and Wilson unless otherwise agreed.▪ 1,200 Residential Units to be constructed.▪ Commercial retail development of a minimum 23-acre retail-commercial site at the corner of Highland Springs and Wilson (Planning Area 18).▪ Outlet for Smith Creek and other commercial, recreation and/or emergency center improvements.
Phase II (20 th Anniversary)	<ul style="list-style-type: none">▪ 1,600 residential units to be constructed.
Phase III (30 th Anniversary)	<ul style="list-style-type: none">▪ 1,400 residential units to be constructed.
Phase IV (40 th Anniversary)	<ul style="list-style-type: none">▪ 1,187 residential units to be constructed.

Within each Phase, as defined above, more detailed phasing plans for each subdivision shall be developed in accordance with Section 6.5 of the Development Agreement, and are subject to the City's review and approval as conditions of approval of the Tract or Subdivision Map and, as approved, shall become a part of the Existing Approvals.

b. Development of Phasing Plans During Subdivision Map Approvals. The phasing and timing requirements for the construction of all development including public improvements shall generally be in accordance with the Development Approvals and applicable provisions of the Development Agreement (For example, Sections 6.2, 6.4, 6.5, 7.3, 8.0, etc.) and be developed over time in accordance with the following process:

i. Master Phase Tract Map. Each Phase shall have a Master Tract Map which shall be submitted for financing and conveyance purposes only and no improvements may be constructed nor shall development be permitted pursuant to such approved Tract Map except through submission and approval of tentative and final Subdivision Maps. Concurrently with processing of the Master Tract Map, all tentative Subdivision Maps for the Tract shall be submitted and processed.

ii. Subdivision Maps. Each Master Tract Map shall designate future subdivisions within the Tract and the order of subdivision development to the extent that the need for development of public infrastructure dictates the logical progression of subdivision development. Each Subdivision Map shall show all infrastructure necessary for the development of the Subdivision. Each subdivision will have a written Phasing Plan approved by the Director and the City Engineer prior to commencement of development of the subdivision specifying when the lots within the subdivision will be developed and when all public infrastructure within the subdivision will be constructed. Generally all

streets, lighting, curbs and gutters, sidewalks, parkway landscaping, asphalt concrete paving, traffic signs and stripping, medians, landscaping, drainage facilities, storm drains, water lines, sewer lines, utility lines, trails and other facilities within the subdivision must be completed before release of any occupancy permits within the subdivision. All conditions which require the provision of Backbone Infrastructure and Subdivision Improvements for the area covered by each tentative Subdivision Map must be satisfied, either through performance or through the provision of suitable security, prior to the approval and recordation of the Subdivision Map.

iii. *Backbone Infrastructure.* Attached as Exhibit "A" is a list of Backbone Infrastructure, including roadways, detention basins, water lines, sewer lines, recycle water lines, utilities, storm drains and drainage facilities, treatment plants, power substations, community parks, community centers, fire stations, and other infrastructure serving area-wide populations. Backbone Infrastructure serves multiple subdivisions, and may need to be constructed in the initial phase of a particular Tract, or even before certain Tracts can be developed. The detailed phasing of construction will be provided through the Master Tract and Subdivision Phasing Plans. Exhibit A outlines the Backbone Infrastructure and when in the development of various Tracts it must be constructed.

3. **Precedence of Conditions.** If any of the Conditions of Approval alter a commitment made by the Developer in the Butterfield Specific Plan text or map exhibits, the conditions enumerated herein shall take precedence unless superseded by the Development Agreement, which shall govern over any conflicting provisions of any other approval.
4. **Compliance with City Codes and Conditions.** Development of the property shall conform substantially to the approved Butterfield Specific Plan as filed in the Planning Division, unless otherwise amended. Should the regulations in the Specific Plan differ from the City of Banning Zoning Ordinance, the regulations in the Specific Plan shall take precedence. Regulations that are not addressed in the Butterfield Specific Plan shall be subject to the City of Banning Zoning Code.
5. **Outside Agencies.** Development of the property shall be in accordance with the plans and procedures of various responsible agencies. These include the following:
 - a. **State and Federal Standards.** The Project shall conform to all disabled access requirements in accordance with the State of California, Title 14, and Federal Americans with Disabilities Act (ADA).
 - b. **Southern California Edison.** If construction is proposed within the area of the Southern California Edison power transmission easement or immediately adjacent thereto, the Developer shall contact the area service planner for Southern California Edison to coordinate construction related activities.
 - c. **School Districts.** The Developer shall demonstrate payment of standard requirements and mitigation fees established by the State of California and the Banning Unified and Beaumont Unified School Districts.
 - d. **Riverside County Flood Control.** Prior to approval of any Final Tract or Parcel Map for which a Riverside County Flood Control master plan facility is included, the Developer shall obtain a written statement from the Riverside County Flood Control District, in a form satisfactory to the City, indicating that the Developer has adequately

demonstrated the viability of proposed drainage facilities. The written statement could be the approval of the facility by RCFCF.

- e. **Caltrans District 8.** Prior to issuance of applicable roadway improvement or encroachment permits, the Developer is required to receive approval of any construction or work within the Caltrans right-of-way(s).
 - f. **California Department of Fish and Game.** The Developer shall apply for and receive approval of an agreement under Section 1602 of the California Fish and game Code.
 - g. **United States Army Corps of Engineer.** The owner, Developer, or successor in interest shall receive approval of a permit under Section 404 of the Clean Water Act.
 - h. **Regional Water Quality Control Board.** The owner, Developer, or successor in interest shall receive approval of a permit under Section 401 of the State Porter-Cologne Act from the Colorado River basin Regional Water Quality Control Board.
 - i. **Riverside Conservation Authority.** The owner, Developer, or successor in interest shall comply with the Multi-Species Habitat Conservation Program mitigation fees.
 - j. **South Coast Air Quality Management District (SCAQMD).** The owner, Developer, or successor in interest shall comply with the air quality regulations promulgated by the SCAQMD.
6. **Mitigation Measures and Mitigation Monitoring Program.** The owner, Developer, or successor in interest shall comply with the Mitigation Measures and Mitigation Monitoring Plan as approved in the Final Environmental Impact Report (SCH# 2007091149) as certified by the City Council on March 27, 2012 and incorporated herein by reference. The owner, Developer, or successor in interest shall pay for the cost of implementing and monitoring the mitigation measures.
7. **City Approvals.** All approvals by City, unless otherwise specified, shall be by the department head of the department requiring the condition. All agreements, covenants, easements, deposits and other documents required herein where City is a party shall be in a form approved by the City Attorney. The Developer shall pay the cost for review and approval of such agreements and deposit necessary funds pursuant to a deposit agreement.
8. **Homeowner's Associations.** The owner, Developer, or successor in interest shall form a Home Owner's Association (HOA) to maintain private amenities and areas that are determined by the City to be under the area of responsibility of the Homeowners Association.
9. **Property Management Association.** The owner, Developer, or successor in interest shall form a Property Management Association for maintenance of common areas within the commercial/office component of the Project.
10. **Covenant, Conditions, and Restrictions (CC&Rs).** Covenants, Conditions, and Restrictions (CC&Rs) shall be established for residential and commercial development. The owner, Developer, or successor in interest shall pay for the cost of review and approval of the CC&Rs by the City Attorney. The CC&Rs shall provide for proper maintenance of all property and include other necessary conditions to carry out the terms herein, and shall be enforceable by City, and recorded prior to development of any parcels. An initial deposit of \$5,000 is required to cover processing costs. The Developer shall pay the cost for review and approval of such agreements and deposit necessary funds pursuant to a deposit agreement.

11. **Reciprocal Ingress and Egress.** Reciprocal ingress and egress shall be established between the parcels within each of the commercial areas, in a form approved by the City Attorney.
12. **Mandatory Solid Waste Disposal.** Mandatory solid waste disposal services shall be provided by the City franchised waste hauler to all parcels/lots or uses affected by approval of this Project.
13. **Community Facilities District (CFD).** This Project is not within an existing Community Facilities District (CFD). As a requirement of this Project, one or more CFD's (and LMDs) shall be required to fund the maintenance of infrastructure, landscaping, police, and fire services. The formation of the CFD must be completed prior to recordation. An initial deposit of \$5,000 is required to cover processing costs associated with the proceedings for the establishment of the CFD. The Developer shall pay the cost for review and approval of such agreements and deposit necessary funds pursuant to a deposit agreement.
14. **Tentative Tract Map(s) or Tentative Parcel Map(s).** The Developer or successor in interest shall submit Master Tentative Tract Maps for each Planning Area and concurrently therewith tentative subdivision map(s) and/or tentative parcel map(s) for review and approval by the Planning Commission and City Council. The maps shall be developed consistent with the development standards as established in the Butterfield Specific Plan and the Development Agreement.
15. **Addresses.** All numbered lots shall have addresses assigned by the Building and Safety Department.
16. **Project Phasing.** The Project phasing shall be in conformance with the approved Butterfield Specific Plan and the approved Final EIR. A master phasing plan(s) will be developed as per the Development Agreement. Projects subject to a building permit shall have all required on and off-site improvements that will facilitate the ability to safely occupy or utilize said construction, required for each phase, completed and approved prior to final inspection of any buildings or structures. The term "phase" as used here shall mean the following: "The block of building permits drawn on less than the whole Project" or "A plan of building construction which indicates blocks of construction of less than the whole Project". In each phase, the installation of any off-site improvements shall be sufficiently completed so as to assure protection from storm or drainage run off, a safe and drivable access for fire and safety, and the ordinary and intended use of the buildings or structures. The phasing plans shall be further developed as provided in the Development Agreement.
17. **Recycled Water.** All recycled water service is subject to compliance with all rules, regulations, and conditions of all regulatory agencies and payment for all charges and fees in effect at the time service is applied for.
18. **Fair Share Agreements, Reimbursement and Covenant Agreements.** All fair share agreements, covenant agreements and agreements subject to recordation will be subject to review and approval by the City Attorney and will include appropriate enforcement provisions by the City and be properly securitized. The City may require the Developer to enter into fair share and reimbursement and other covenant agreements which may be recorded against property and bind owners of property and their successors. A "fair share" agreement shall provide for Developers of property to pay their fair share for infrastructure improvements as determined by an independent study of the respective benefit received by the benefited property. A reimbursement agreement requires the initial Developer to install infrastructure which will also serve other property when it is developed, and the initial Developer is reimbursed by the future development in accordance with the benefit received by the future development. The benefit formulas and terms of the fair share and reimbursement agreements shall contain provisions for securitization

and enforcement and shall be in form and content approved by the City Attorney in accordance with law. The Developer shall pay the cost for review and approval of such agreements and deposit necessary funds pursuant to a deposit agreement.

19. **Development Impact Fees.** The development is required to comply with the provisions agreed upon in the Development Agreement regarding the payment of and timing of Development Impact Fees ("DIFs").
20. **Disclosure Statement.** A Disclosure Statement shall be submitted to the City for review and approval and made available to all prospective buyers of homes within the development.
21. Such a Disclosure Statement shall at least include the disclosure that every transferor of property within the Project site shall, upon transfer, also provide to any transferee the notice of future Southern California Edison (SCE) improvements recited below in writing. This notice may be contained in any form of agreement or contract; however, the notice need be given only once in any transaction. The transferor shall acknowledge delivery of the notice and the transferee shall acknowledge receipt of the notice. The notice shall read as follows:

"NOTICE OF SOUTHERN CALIFORNIA EDISON (SCE)

RIGHT-OF-WAY FUTURE PROJECTS

You are hereby notified that the property you are acquiring an interest in is located within close proximity to Southern California Edison right-of-way easement. SCE expects to apply to the California Public Utilities Commission (CPUC) for a Certificate of Public Convenience and Necessity to construct electrical facilities associated with the West of Devers Upgrade Project (or similarly defined project), as well as any other future utility project(s) that require construction of new or upgraded facilities within the SCE right-of-way easement."

22. **School District Fees.** The Developer shall provide certification from the appropriate school district as required by California Government Code Section 53080(b) that any fee, charge, dedication or other form or requirement levied by the governing board of the district pursuant to Government Code Section 53080(a) has been satisfied.
23. **Processing Fees.** The development is subject to all appropriate City Processing fees, charges, deposits for services to be rendered, and securities required pursuant to the adopted fee schedule, as amended or superseded prior to final inspection.
24. **Twenty-one (21) Acre Property.** The 21-acre property that is part of the Butterfield Specific Plan and designated Planning Area 43B is for the establishment of pre-zoning for the property if it was to be proposed for annexation to the City of Banning in the future, such as by its property owners; however, it is not planned for annexation at this time. If the property is annexed into the City; the property shall be annexed into the Community Facilities District as established.

25. **Fire Station Site.** The Developer, owner, or successor in interest shall dedicate the fire station site to the City of Banning. The Owner will receive fee credits as provided in the appraised value of the property at the time of purchase. The dedication shall occur in accordance with the phasing plan in the Development Agreement.
26. **Bicycle Path and Neighborhood Electric Vehicle and Walking Trails.** The development shall provide bicycle paths/lanes, neighborhood electric vehicle/golf cart lanes, and walking trails in substantial conformance as shown in Exhibit 3.4 of the Butterfield Specific Plan. The dedication shall occur in accordance with the phasing plan in the Development Agreement.
27. **Fire Department Conditions of Approval.** The Developer shall comply with the conditions in the transmittal from the Fire Department which is under contract from the County through California Department of Forestry.
- 27a. **Trust Deposit Accounts.** Trust deposit accounts shall be established for future submittal and review of tentative tract or parcel maps. All trust deposits shall be maintained no deficits. The trust deposits shall be governed by deposit agreements. The trust deposit account shall be maintained separate from other City funds and shall be non-interest bearing. City may make demands for additional deposits to cover all expenses over a period of 60 days and funds shall be deposited within 10 days of the request therefore, or work may cease on the Project.
28. **Indemnification.** The Developer shall indemnify the City and its elected boards, commissions, officers, agents and employees and will hold and save them and each of them harmless from any and all actions, suites, claims, liabilities, losses, damages, penalties, obligations and expenses (including but not limited to attorneys' fees and costs) against the City and/or Agent for any such Claims or Litigation (as defined in Section 1.10 of the Development Agreement) and shall be responsible for any judgment arising therefrom. The City shall provide the Developer with notice of the pendency of such action and shall request that the Developer defend such action. The Developer may utilize the City Attorney's office or use legal counsel of its choosing, but shall reimburse the City for any necessary legal cost incurred by City. The Developer shall provide a deposit in the amount of 150% of the City's estimate, in its sole and absolute discretion, of the cost of litigation, including the cost of any award of attorneys fees, and shall make additional deposits as requested by City to keep the deposit at such level. The City may ask for further security in the form of a deed of trust to land of equivalent value. If the Developer fails to provide or maintain the deposit, the City may abandon the action and the Developer shall pay all costs resulting therefrom and City shall have no liability to the Developer. The Developer's obligation to pay the cost of the action, including judgment, shall extend until judgment. After judgment in a trial court, the parties must mutually agree as to whether any appeal will be taken or defended. The Developer shall have the right, within the first 30 days of the service of the complaint, in its sole and absolute discretion, to determine that it does not want to defend any litigation attacking this Agreement or the Development Approvals in which case the City shall allow the Developer to settle the litigation on whatever terms the Developer determines, in its sole and absolute discretion, but Developer shall confer with City before acting and cannot bind City. In that event, the Developer shall be liable for any costs incurred by the City up to the date of settlement but shall have no further obligation to the City beyond the payment of those costs. In the event of an appeal, or a settlement offer, the Parties shall confer in good faith as to how to proceed. Notwithstanding the Developer's indemnity for claims and litigation, the City retains the right to settle any litigation brought against it in its sole and absolute discretion and the Developer shall remain liable except as follows: (i) the settlement would reduce the scope of the Project by 10% or more, and (ii) the Developer opposes the settlement. In such case the City may still settle the litigation but shall then be responsible for its own litigation expense but shall bear no other liability to the Developer.

29. **Community Center/Emergency Site.** An approximately 6-acre site shall be dedicated to the City of Banning for a community or emergency housing center within either Planning Areas 35 or 39 or the site shall be provided within the surplus sites that may include the optional satellite waste water treatment plant site that is located at the northwest corner of Highland Home Road and Wilson Street. [Ultimate size of site will be adjusted to not adversely affect development area of surrounding property] The site shall be graded and be provided with a finished pad. Utilities will be stubbed to the property according to the requirements of the Public Works department. In the event that the City requests the Community Center within any of the residential Planning Areas that allow for such uses, per the provisions stated within the Specific Plan, the Owner and City shall enter into an agreement for the acquisition of the otherwise developable land. This site would be in addition to the parks and open space sites that are shown on Exhibit 3.1B of the Specific Plan. The dedication shall occur in accordance with the Phasing Plan in the Development Agreement. Developer shall not receive development fee credit for the value of the site, and may be asked to construct the improvements in accordance with the Development Agreement.
30. **Paleo/Archeological Conditions.** In the event that Native American cultural resources are discovered during project development/construction, all work in the immediate vicinity of the find shall cease and a qualified archeologist meeting the Secretary of Interior Standards shall be hired to access the find. Work on the overall project may continue during this assessment period. If significant Native American cultural resources are discovered, for which a Treatment Plan must be prepared, the developer or his archeologist shall contact the Morongo Band of Mission Indians ("Tribe"). If requested by the Tribe, the developer of the project archeologist shall, in good faith, consult on the discovery and its disposition."

PARKS, RECREATION, AND OPEN SPACE

31. **Parks, Recreation and Open Space.** The Land Use Plan includes development of a total of 66.5-acres of neighborhood parks, neighborhood recreation centers, community parks, and an 18-hole golf course or open space as depicted in Table 3-3 and described in Section 3.6 of the approved Butterfield Specific Plan. All dedications and improvements shall be in accordance with the Phasing Plan in the Development Agreement except as specifically provided herein.
32. **Parks Completion and Use by the Public:**
- a. Prior to the construction of any parks, the Developer shall meet with both the Director and the Director of Parks and Recreation to review the provisions set forth in the Specific Plan outlining the facilities to be provided at each park and discuss the Developer's plans for near-term construction of the parks. Prior to development of each park, a detailed site plan consistent with the Specific Plan shall be prepared by the Developer and approved by the Director and the Parks and Recreation Commissions. The Developer shall complete the construction of neighborhood parks and utility easement parks (park improvements which will go in beneath the SCE easement area in the middle of the project in Planning Areas 36, 37 and 38), Planning Areas 22 through 34, 36 through 38, 62, 64 through 67 and 72, no later than the issuance of the final Certificate of Occupancy for residential units within the adjacent subdivisions. Active use park improvements may not be placed in the SCE easement parks if the Director and Commissions believe there are issues of public health with electro magnetic radiation. A subdivision separated from a park by a street shall not be considered to be adjacent to the park. The City and Developer shall, mutually, determine what constitutes the adjacent subdivision if a park adjoins more than one subdivision. Upon completion of each neighborhood park, the City shall after the one-year maintenance period has expired, within 10 working days, develop final punch lists of items to be corrected prior to acceptance by the City. Upon

correction of final punch list items by the Developer, the City shall accept the park within 30 days of the date of the final inspection.

- b. The City's Parks Master Plan identifies the need in the Project for a community recreation and/or emergency response center (the "Center"), and this is even more necessary if the Golf Course is not developed. This Center would be on an approximately six (6) acre parcel in Planning Area 39 in lieu of the golf clubhouse, or alternatively could be located as a part of a community park or other available site including in Planning Area 71, or in lieu of the waste water treatment plant site in Planning Area 11. Depending on the site selected, the six (6) acres may be reduced so as to not adversely affect the development area of adjacent parcels from the development areas shown in the Specific Plan. The Center is contemplated as a 30,000 sq. foot facility. The plan for the Center shall be included in the Park Master Plan and the site plan shall be processed at the time the chosen Planning Area is developed, subject to approved Phasing Plans, and provided that if the City chooses to put the Center in Planning Area 11, it may be developed as part of Phase I provided that Developer shall satisfy the Phase I obligation by providing a developed site, and need not fund the construction of the improvements if there are insufficient DIF's for credit. The Developer shall dedicate the site to City without charge. If developed as part of a park it shall be developed at the time required for parks in Section 8.1.1 of the Development Agreement. The Center may include emergency operations and shelter components, and will also include appropriate landscaped grounds and facilities as specified in the Master Plan. Except as provided in this Condition, the Center may be developed and constructed by Developer in the same manner as for the waste water treatment plant.
- 33. **Golf Course Alternative.** Any alternative plan for the development of the golf course open space within Planning Areas 35 and 39 shall be subject to the City's discretionary Design Review process as provided for in the Specific Plan and City Code. The determination on the golf course use shall be in accordance with the Phasing Plan in the Development Agreement except as specifically provided herein.
 - 34. **Alternative Use of the School Sites.** If the school site(s) is not needed, then any alternative use(s) of the site(s) shall be subject to the City discretionary Design Review process as provided for in the Specific Plan and City Code.
 - 35. **Design Review for Parks, Recreation, and Open Space.** Review for improvement of applicable parks, recreation and open space for each development phase shall be approved by the Community Services Department and Community Development Department prior to recordation of final subdivision maps for that phase, in accordance with the phasing schedule and procedures specified in these conditions of approval. Nothing herein shall prevent submission of plans for review by the appropriate commission. Generally, parks and open space shall include youth oriented amenities and designed as illustrated in the Conceptual Park Plans in the Butterfield Specific Plan. The Community Recreation Center in Planning Areas 21 and 63 could include amenities such as a clubhouse, tennis courts, pool and, basketball courts. The 34-acre land in Planning Area 71 that is reserved for the detention basin/lake shall be provided with looped multi-use trails adjacent to the basin as deemed acceptable by the Public Works Department with picnic areas and shade structures. Plans for the amenities within Planning Area 71 shall be submitted for review and approval prior to the issuance of grading permit for the lake. The detention basin/lake shall be constructed consistent with any changes made to Smith Creek and in accordance with the Phasing Plan in the Development Agreement.

36. **One Year Maintenance of Parks and Open Space.** The Developer shall maintain all parks, parkways, medians, berms, lakes, drainage facilities not accepted by Riverside County Flood Control District and irrigation systems within streets or otherwise annexed into the Maintenance Districts, excluding facilities maintained by the Homeowners Association (HOA), for a period of one year after construction until accepted by the receiving agency. All facilities shall be operable and in good working order and any dead or dying landscaping shall be replaced with like materials. If these conditions are not met, or if landscaping has not been in a consistently healthy condition, the one year period can be extended. The Developer shall pay one year cash deposit or post a bond in an amount equal to one year's maintenance plus City administrative costs (value to be determined prior to recordation of each final map) to ensure maintenance for one year, and shall securitize the obligation in a form approved by the City Attorney. After one year, these operations shall be accepted by the appropriate Maintenance District. That maintenance district will then maintain the facilities to the same level as required by Owner during the maintenance period.
37. **North Basin within Planning Area 71.** The Developer, owner, or successor in interest shall develop amenities around the basin for recreational purposes to include multi-purpose trails, picnic shelter(s) with picnic tables and benches for seating. Maintenance of the amenities shall be provided by the Community Facilities District (CFD), Landscape Maintenance District (LMD), or other private funding mechanism.
38. **Installation of Plant Material.** Landscaping and permanent irrigation facilities shall be installed with street improvements including landscaped median on Highland Springs Avenue and Wilson Street in accordance with the approved Butterfield Specific Plan as they pertain to plant and irrigation standards. The Developer shall have appropriate right-of-way improvements, landscaping, street lighting and irrigation installed and in good working order prior to final release of occupancy of the homes subject to agreed upon phasing between the City and the Developer and in accordance with the Development Agreement.
39. **Content of Plans.** Landscape Improvement plans shall conform to the concepts, features, and standards established in the approved Butterfield Specific Plan and the conditions enumerated herein, and shall be prepared by a licensed landscaped architect.
40. **Water Conservation.** In accordance with the Banning Municipal Code, all landscape and irrigation plans shall provide drought resistant and/or native vegetation, automatic irrigation systems which minimize runoff, and, where feasible, a separate irrigation system for the conveyance and distribution of recycled water.
41. **Recycled Water.** All landscaping within the golf course open space shall be irrigated with non-potable water. The Developer shall install infrastructure for a recycled water system on site (conveyance and distribution facilities), as approved by the City and the Environmental Health Department. The Phasing Plan shall be in accordance with the Development Agreement. Developer will work with City Public Works Department if special watering needs are required by golf course operator. (See Condition 61 Below)
42. **Security Camera.** For security reasons, the Developer, property owner or successor in interest shall provide a security camera at the City's discretion in selected neighborhood and/or community parks where restroom facilities and other structures are provided. Specifications of the security camera shall be subject to review and approval of the Police Department. The cameras, once installed, will be maintained and operated by the City of Banning Police Department. Developer shall convey the equipment to City with all warranties thereon.

SITE AND ARCHITECTURAL DESIGN

43. **Architectural Styles.** The architectural styles for the Project shall be consistent with the conceptual architectural design as approved in the Butterfield Specific Plan. Any major significant deviations from the architectural styles in the Butterfield Specific Plan are subject to review and approval of a Design Review by the Planning Commission.
44. **Community Entry Monument Program and Project/Tract Identification.** Consistent with the Butterfield Specific Plan, community entry statements, including theme walls, monumentation, and enhanced landscaping at each entrance to the Project shall be consistent with the locations as approved in the Butterfield Specific Plan. Theme walls and monuments shall not occur within the public right-of-way. All entry monumentation programs shall be submitted for review and approval by the Community Development Department and shall be in substantial conformance with the approved Butterfield Specific Plan. Construction of the monumentation shall occur based on phasing and shall be completed and open prior to final occupancy of the first home in each phase.
45. **Unit/Building Identification.** Each building and unit in the Project shall include a lighted address fixture. This fixture shall allow for replacement of the bulbs, and shall be reviewed and approved by the Community Development Department, the Fire Department, and the Police Department.
46. **Phasing.** Any Phasing Plan shall be reviewed and approved by the Community Development Department and Public Works Department. Each Phase of the Project shall provide adequate drainage, domestic water, and at least two points of access to all lots. A phasing plan shall be submitted with the Design Review application. The phasing plan shall be in accordance with the Master Phasing Plan in the Development Agreement and shall include the installation of any necessary backbone infrastructure.
47. **Commercial Sites.** Developer shall use its best efforts in planning for the development of the commercial sites within the Butterfield Specific Plan to include a big-box retailer such as Target or equivalent major tenant and as the commercial sites produce tax revenue to City and are important to alleviate the fiscal impact of the Project. Developer shall develop the commercial sites as more specifically described in the Development Agreement. In particular, Planning Areas 17 and 18 shall be developed for a big box user such as Target, Lowes, Costco, or equivalent, and shall be developed in the first phase of the Project per the Phasing Plan in the Development Agreement. The development on the commercial sites shall be subject to Design Review and approval by the Planning Commission.
48. **Multi-Family Sites.** Plans for the development of the multi-family sites shall be subject to review and approval by the Planning Commission through discretionary Design Review or other entitlement as necessary to comply with the Butterfield Specific Plan as approved and the City's Municipal Code as applicable.
49. **Active Adult Community.** Plans for the development of the active adult community within the Specific Plan shall be subject to review and approval by the Planning Commission in accordance with the approved Butterfield Specific Plan and the City's Municipal Code as applicable.
50. **Satellite Waste Water Treatment Facility.** The architecture of the building for the satellite wastewater treatment facility, if the construction of such a facility is requested by City, shall be designed to be compatible with the architecture of residential homes and the surrounding environment. The facility shall be constructed on a site approved by the Director of Public Works and dedicated to City, in accordance with the terms of the Development Agreement. If

built off site, Developer will pay its fair share fees for such development in accordance with an approved fair share agreement. Plans for construction shall be prepared by appropriately certified architects and engineers and approved by the Director of Public Works.

51. **Window Treatments.** Per Sections 4.5.2.1 and 4.8.2 within the Specific Plan, building facades abutting a public street, tract boundary, or a downhill slope having an elevation change in excess of 20 feet shall provide elevation enhancements which could include window treatments such as shutters, awnings, or similar on the facades.
52. **Garage Door(s).** Garage Doors shall be provided with various door designs and colors that are compatible with the design of each home.
53. **Mechanical Equipment.** All mechanical equipment, including air conditioning units, pool equipment, etc., shall be screened from the public right-of-way by a view obscuring fence, wall, or landscaping to the satisfaction of the Community Development Department.
54. **Spark Arresters.** All spark arresters in the proposed tract shall be screened by enhanced architectural enclosures or other material acceptable to the Building Official and Planning Division and painted according to the approved paint palette.
55. **Decorative Paving within Streets at the Primary and Secondary Entries.** Decorative paving could be provided within the right-of-way at sufficient distance at the primary and secondary entries. The type of enhancement could include stamped asphalt or other similar applications.
56. **Street Paving.** Public streets in each tract, planning area, or phase of development shall be paved and accessible prior to the issuance of building permits for the first production unit.
57. **Setbacks.** The minimum setbacks shall be as set forth in the Butterfield Specific Plan.
58. **Lighting for the Garages and Porches.** Light fixtures for the garage exteriors and porches shall be provided with decorative light fixtures.
59. **Trash Enclosures for Commercial and Multi-Family Residential Development.** Trash enclosures for the commercial development and multi-family residential development shall be provided with a walk-in enclosure with decorative cap and lattice covers.

LANDSCAPE DEVELOPMENT

60. **Landscape Construction and Water Conservation.** All landscape architecture documents and landscape construction shall comply with the City of Banning Municipal Code with regard to water conservation in landscaping.
61. **Registered Landscape Architect Licensed by the State of California.** All landscape architecture documents, used as part of the entitlement and landscape construction process, shall be designed by a registered landscape architect licensed by the State of California.
62. **Review and approval of Landscape Architecture Documents.** All landscape architecture documents shall be submitted to Community Development Department for review and approval.
63. **Recycled Water for the Golf Course Open Space and Common Landscaping Irrigation.** All common open space landscape irrigation shall use reclaimed or recycled water, where available. The golf course must use recycle water for general irrigation of the fairways. The greens may use potable water.

- 64. Future Changes to Approval Landscape Architecture Documents.** All future changes, to the landscape architecture documents after City approval, shall be reviewed by the City for conformance to all laws. If major changes are proposed, the Developer, owner, or successor in interest shall submit the landscape plans and shall deposit funds in the City's trust deposit account for review and approval of the plans. The determination of whether a change is major or minor shall be made by the Director.
- 65. Landscape Maintenance.** The owner, Developer, or its successors agrees to maintain the landscape construction, including trails, in accordance with the following:
- A. The landscape construction shall be neat, of good quality and design, and show good horticultural practice.
 - B. The landscape construction shall preserve the design intent in accordance with the approved landscape architecture documents.
 - C. The landscaped areas shall have appropriate irrigation and drainage systems to assure healthy landscaping and prevent runoff and debris flows.
 - D. The landscape construction shall be maintained in good 1st class condition in accordance with the approved Landscape Maintenance Guidelines approved with the Project.
 - E. The landscape maintenance shall be provided by the owner, the owner's representatives, or by the proper professionals registered with the State of California until such time that the appropriate entity accepts the areas for maintenance.
 - F. Any diseased or dead landscaping shall be replaced by landscaping of similar size and in good and healthy condition.
- 66. Clear Sight Triangles.** All vehicular sight line triangles shall be shown on the landscape construction planting plans.
- 67. Trail Easement.** Trail easements shall be dedicated to the City of Banning, where appropriate, and shall be shown on the final map in accordance with the requirements of the City of Banning. The Developer shall provide information sufficient to confirm to the City of Banning that the trails are terminated in a safe manner at the tract boundaries. Trail crossings shall be shown on the road improvement plans and the final map, where appropriate. Unless otherwise approved by City, all trails shall be fully improved, when dedicated in accordance with Butterfield Specific Plan and all Project approvals. The Developer may be required to provide temporary trail connections to be replaced by permanent improvements in accordance with agreements approved by the City Attorney.
- 68. Landscape Inspection.** All landscape inspections shall be requested at least 48 hours in advance.
- 69. Avoidance of Trees Conflict with Light Standard and Utility Lines.** Trees shall be planted in such a way as to avoid conflict between light standards and electric utility distribution lines. Street tree size shall be a minimum 15-gallon and at least 50% of all street trees should be a minimum of 24-inch box size consistent with the provision of Section 4.3.2 of the Butterfield Specific Plan dated November 21, 2011. All residential landscaping shall conform to Chapter 17.32, Landscape Standards of the Banning Municipal Code. All residential lots for single-family residential development shall be provided with a minimum of one 15-gallon front yard tree, one, 15-gallon accent tree. The plant list shall be provided consistent with Section 4.6.2. If there are

conflicts between the landscaping requirements of the Banning Municipal Code versus the Butterfield Specific Plan, the requirements in the Butterfield Specific Plan shall prevail.

70. **Landscape Inspections.** The Project Developer shall be aware and inform the on-site project or construction manager and the landscape contractor of their responsibility to call for landscape inspections. A minimum of three (3) landscape inspections are required in the following order, and the landscape inspection card shall be signed by the City's landscape inspector to signify approval at the following stages of landscape installation:
- A. At installation of irrigation equipment, when the trenches are still open;
 - B. After soil preparation, when plant materials are positioned and ready to plant; and,
 - C. At final inspection, when all plant materials are installed and the irrigation system is fully operational.

PUBLIC WORKS DEPARTMENT

71. **Landscape Maintenance District ("LMD").** The City shall require the Developer to participate in a landscape and maintenance district for the maintenance of landscaping within public rights of way or easements in a form approved by City Attorney.
72. **Plan Submittal for Public Works.** The issuance of these Conditions of Approval do not negate the requirements of the Public Works Department for submittal, review, and approval of street improvement plans, signing and striping plans, grading plans, storm drain improvement plans, street lighting plans, water, sewer, and electrical improvement plans, or other plans as deemed necessary by the Public Works Director.
73. **Public Works Permit.** A Public Works Permit shall be required prior to commencement of any work within the public right-of-way. The contractor working within the public right-of-way shall submit proof of a Class "A" State Contractor's License, City of Banning Business License, and Liability Insurance. Any existing public improvements, or public improvements not accepted by the City that are damaged during construction shall be removed and replaced as determined by the City Engineer or his/her representative.
74. **Improvement Plans.** The following improvement plans shall be prepared by a Civil Engineer licensed by the State of California; and, submitted to the Engineering Division for review and approval. A separate set of plans shall be prepared for each line item listed below and for each phase of the Project area. Unless otherwise authorized in writing by the City Engineer, the plans shall utilize the minimum scale specified and shall be drawn on 24" x 36" Mylar film. Plans may be prepared at a larger scale if additional detail or plan clarity is desired (Note: the Developer may be required to prepare other improvement plans not listed here pursuant to improvements required by other agencies and utility purveyors).

Rough Grading Plans	1" = 40' horizontal
(All applicable conditions of approval shall be reproduced on last sheet of set)	
Haul Route Plans	1" = 40' horizontal
Clearing Plans	1" = 50' horizontal
(Include fuel modifications zones)	
(Include construction fencing plan)	
Erosion Control & Storm Water	
Pollution Prevention Plan (SWPPP)	1" = 40' horizontal
(Note: a, b, c & d shall be reviewed and approved concurrently)	

Storm Drain Plans	1" = 40' horizontal
Street Improvement Plans	1 " = 40' horizontal
Water & Sewer Plans	1 " = 40' horizontal
1" = 4' vertical	
Traffic Signal Plans (Caltrans Standard)	1" = 20' horizontal
Signing & Striping Plans	1" = 40' Horizontal
Construction Traffic Control Plan	1" = 40' Horizontal
(Major or arterial highways only)	
Precise Grading Plans	1" = 40' Horizontal
Landscaping Plans-Streets	1 " = 20' Horizontal

75. **Other Engineered Improvement Plans.** Other engineered improvement plans. Other engineered improvement plans prepared for City approval that are not listed herein shall be prepared in formats approved by the City Engineer prior to commencing plan preparation.
76. **Street Plans.** All off-site plan and profile street improvement plans and signing & striping plans shall show all existing improvements for a distance of at least 200-feet beyond the Project limits, or at a distance sufficient to show any required design transitions.
77. **Signs & Striping.** All on-site signing and striping plans shall show the following at a minimum: stop signs, limit lines and legends, no parking signs, raised pavement markers (including blue raised pavement markers at fire hydrants) and street name signs per Public Works standard plans and/or as approved by the City Engineer.
78. **Index Map.** A small index map shall be included on the title sheet of each set of plans, showing the overall view of the entire work area.
79. **Granting of Easements.** The Developer shall not grant any easements over any property subject to a requirement of dedication or irrevocable offer of dedication to the City of Banning or the Riverside County Flood Control and Water Conservation District (RCFCD) unless such easements are expressly made subordinate to the easements to be offered for dedication to the City or RCFCD. Prior to granting any of said easements, the Developer shall furnish a copy of the proposed easements to the City Engineer for review and approval.
80. **Transitions.** All street improvement design shall provide pavement and lane transitions per City standards for transition to existing street sections.
81. **Driveway Grades.** Driveway grades shall not exceed eight percent unless approved by the City Engineer.
82. **Construction Debris.** Construction debris shall be disposed of at a certified recycling site. It is recommended that the Developer shall contact the City's franchised solid waste hauler for disposal of construction debris.
83. **Plan Check Fees.** Required plan check fees for professional report review (geotechnical, drainage, etc.), and all improvement plans review, shall be paid prior to submittal of said documents for review and approval in accordance with the fee schedule in effect at the time of submittal and the Development Agreement.
84. **Recycled Water Usage.** All lots on final maps for common open space, parks, and golf courses shall be served by a recycled water system. Recycled water shall be used when available for the Project golf course, parks and common open space. Should recycled water become available from City sources, the proposed Project shall have the capability to connect to these facilities and

such connection shall be made within 90 days of request therefore by City. This condition shall be contained in the CC&Rs.

85. **School Site Grading.** Should the Banning and Beaumont Unified School Districts and the Project proponent come to an agreement on the conveyance of land within the Specific Plan to the Districts, the Developer shall cause that land to be rough-graded prior to conveyance and prior to issuance of the last building permit for the phase in which the site is located.

86. **Road Design.** Roadways shall be designed as depicted in the Specific Plan. The Developer shall be responsible for the acquisition of all necessary rights of way for streets within and adjacent to the Project; subject to Gov't Code section 66462.5 and the Development Agreement. Additionally, the road specifications and exhibits in the Specific Plan shall be modified as follows, and these changes shall be deemed to apply to all other Project Approvals, as they were made by the Council at the public hearing on the approval of the Project:

- A. **Highland Home Road Widening.** Notwithstanding that the Specific Plan outlines two potential cross sections for the roadway, Alternative B shall not be used and Highland Home Road shall be constructed to the specification shown in Alternative A on Exhibit 3.3B.
- B. **Highland Home Road Extension and Connection to Highland Springs Road.** The Specific Plan suggests that Planning Area 43B might be annexed to Banning and that Highland Home Road might be extended and connect with Highland Springs Road at Brookside Ave. Such an alignment would require that the roadway cross the existing golf course of the Highland Springs Golf Club. The City does not want to interfere with the existing Golf Course, nor wish that right of way be acquired through the Golf Course. Either the extension of Highland Home Road must swing southerly below the Golf Course and connect with Highland Springs Road, or potentially a connection can be designed from the North Loop Collector through Planning Areas 41 or 42 and connecting with Highland Springs Road. This connection point, if deemed necessary by the Director of Public Works, will be North of F Street and South of City of Banning/County of Riverside boundary. The configuration shall be in a design recommended by the Directors of Community Development and Public Works, and approved by the City Manager, and meet all appropriate traffic circulation and design standards.

ELECTRIC UTILITY DEPARTMENT

87. **Electric Installations.** The Developer shall be responsible for all trenching, backfill, and compaction of electric installations in accordance with the phasing plan as provided in the Development Agreement.

II. PRIOR TO THE ISSUANCE OF GRADING PERMITS

COMMUNITY DEVELOPMENT DEPARTMENT

88. **Retaining Walls.** Plans for the construction of retaining wall plans shall be reviewed and approved by the Building and Safety and Planning divisions.

PUBLIC WORKS DEPARTMENT

89. **Flood Risks.** If any of the development's lots are located within a mapped flood plain, the lots are subject to flood insurance rates (premiums) until such time that a map revision has been accomplished removing the lot from the flood plain.

90. **Construction Access.** The Developer shall submit a construction access plan and schedule for the development of the Project for Community Development Director and Public Works Director approval; including, but not limited to, public notice requirements, special street posting, phone listing for community concerns, hours of construction activity, dust control measures, and security fencing.
91. **Grading Standards.** Grading of the subject property shall be in accordance with the City of Banning grading standards, and accepted grading practices as reviewed and approved by the City Engineer. Final grading plans shall be in substantial conformance with the approved Specific Plan.
92. **Preconstruction Meetings.** A preconstruction meeting shall be held for all participating field personnel, including all appropriate City staff, prior to the commencement of construction activities.
93. **Soils/Geologic Reports.** Soils reports and geological reports shall be prepared by a qualified engineer and geologist, respectively, licensed by the State of California to perform such work. Said report shall be reviewed and approved by the City Engineer. The Developer shall be required to comply with all recommendations of said reports.
94. **Other Permitting Agencies.** Prior to the issuance of any grading, construction, or building permit by the City, the Developer shall obtain any necessary clearances and/or permits if required from the following agencies:
- Fire Marshal
 - Public Works Department (Grading Permit, Improvement Permit)
 - City Water, Sewer and Electric Departments
 - Community Development Department
 - Riverside Co. Flood Control and Water Conservation District
 - Banning / Beaumont Unified School Districts
 - California Water Quality Control Board (CWQCB)
 - California Department of Fish and Game
 - US Fish and Wildlife Service
 - US Army Corps of Engineers
 - SCAQMD
- The Developer is responsible for all requirements of the permits and/or clearances from the above listed agencies. When the requirements include approval of improvement plans, the Developer shall furnish proof of such approvals when submitting those improvement plans for City approval.
95. **Utility Systems.** All utility systems including gas, electric, telephone, water, sewer, storm drain, and cable TV shall be provided underground, with easements provided as required, designed and submitted for review and approval. Said items shall be constructed in accordance with City codes and the utility provider. Telephone, cable TV, and/or security systems shall be pre-wired.
96. **Conferred Rights.** In accordance with the approved plans, the Developer shall acquire or confer property rights necessary for the construction or proper functioning of the proposed Project development. Conferred rights shall include right-of-way dedications, irrevocable offers to dedicate or grant of easements to the City for emergency services, maintenance, utilities, storm drain facilities, or temporary construction purposes including the reconstruction of essential improvements. All agreements shall be in a form approved by the City Attorney. Dedications shall be made on the map or by recorded instrument prior to issuance of grading permits.

97. **Drainage Study.** The Developer shall submit a Drainage Study with hydrologic and hydraulic analysis for developed and undeveloped (existing) conditions to the Engineering Division for review and approval for each phase of the Project. The study and analysis shall be prepared by a civil engineer licensed by the State of California. Drainage design shall be in accordance with the Butterfield Specific Plan, the EIR Mitigation Measures, and the Banning Master Drainage Plan adopted by Riverside County Flood Control and Water Conservation District (RCFCD), RCFCD Hydrology Manual, and standard plans and specifications. The 10-year storm flow shall be contained within the street curbs, and the 100-year storm shall be contained within the street right-of-way; when this criteria is exceeded, additional drainage facilities shall be designed and constructed to the satisfaction of the Director.
98. **Flood Area.** Portions of the site are located in a Flood Area as identified in the current Flood Insurance Rate Map. The Developer is responsible for providing a certification by a registered professional engineer or architect demonstrating to the satisfaction of the Director that encroachments shall not result in any increase in flood levels during the occurrence of the base flood discharge.
99. **Natural Drainage.** The Project grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained for the release of concentrated or diverted storm flows. The Project shall accept and convey storm flows from the adjacent property to the north and east. Drainage design shall be consistent with condition #97.
100. **Stormwater Management and Discharge Controls.** The Developer shall comply with Chapter 13.24 "Stormwater Management and Discharge Controls" of the Banning Municipal Code (BMC); California Building Code related to excavation and grading; and, the State Water Resources Control Board's orders, rules, and regulations.
101. For construction activities including clearing, grading or excavation of land that disturbs one (1) acre or more of land, or that disturbs less than one (1) acre of land, but which is a part of a construction project that encompasses more than one (1) acre of land, the Developer shall be required to submit a Storm Water Pollution Protection Plan (SWPPP) and file a Notice of Intent (NOI) with the Regional Water Quality Control Board.
102. **SWPPP.** The Developer's SWPPP shall include provisions for all of, including but not limited to, the following Best Management Practices ("BMPs"):
- Temporary Soil Stabilization (erosion control).
 - Temporary Sediment Control.
 - Wind Erosion Control.
 - Tracking Control.
 - Non-Storm Water Management.
 - Waste Management and Materials Pollution Control.
103. **Erosion and Sediment Control BMPs.** All erosion and sediment control BMPs proposed by the Developer shall be approved by the City Engineer prior to any onsite or offsite grading, pursuant to this Project. The approved SWPPP and BMPs shall remain in effect for the entire duration of Project construction until all improvements are completed and accepted by the City. The Developer shall ensure that the required SWPPP is available for inspection at the Project site at all times through and including acceptance of all improvements by the City.
104. **Grading and Excavations in the Public Right-of-Way.** Grading and excavations in the public right-of-way shall be supplemented with a soils and geology report prepared by a professional

engineer or geologist licensed by the State of California. A grading permit shall be obtained prior to commencement of any grading activity. Prior to issuance of any grading or building permit a Project-Specific Water Quality Management Plan (WQMP) shall be reviewed and approved in accordance with California Regional Water Quality Control Board Colorado River Basin Region Order No. R7-2008-0001.

- 105. Fire Marshal Approval.** The Developer shall submit and obtain approval in writing from the Fire Marshall for the plans for all public or private access roads, drives, streets, and alleys. The plans shall include plan and sectional views and indicate the grade and width of the access road measured flow-line to flow-line. When a dead-end access exceeds 150 feet or when otherwise required, a clearly marked fire apparatus access turnaround must be provided and approved by the Fire Marshall. Applicable covenant, conditions or restrictions or other approved documents shall contain provisions which prohibit obstructions such as speed bumps/humps, control gates or other modifications within said easement or access road unless prior approval of the Fire Marshall is granted. Secondary Access for certain Planning Areas, as depicted in the Specific Plan (Exhibit 3.3D, Secondary Access Drives) and reviewed and approved by Fire Marshall, shall be constructed accordingly. at the time of construction of all other improvements in the tract.

ELECTRIC UTILITY DEPARTMENT

- 106. Plan Submittal Requirements.** Prior to the issuance of grading permit, the Developer, owner, or successor in interest shall submit detailed plans indicating lot lines, streets, easements, building layout, etc. These plans are required in electronic format AutoCAD 2010 or equivalent at the time of development.
- 107. Electric Utility Backbone Infrastructure.** Prior to the issuance of grading permit, electric utility infrastructure backbone plans for this Project must be completed.

III. PRIOR TO FILING FINAL MAPS

PUBLIC WORKS DEPARTMENT

- 108. Bordering Roadways.** Roadways bordering and fronting the specific plan area on one side shall be designed and constructed, with right-of-way dedication offered, a minimum half width in substantial conformance with the approved Butterfield Specific Plan, including Section 3.2, Circulation Plan, Exhibit 3.2, Vehicular Circulation Plan, Exhibits 3.3 A&B, Roadway Cross Sections, and Section 3.2.5, Circulation Plan Development Standards, as well as in conformance with City of Banning requirements and standards as determined by the Public Works Director or designee. These roadways include Highland Springs Avenue, Wilson Street, and Highland Home Road (between Wilson Street and Future "F" Street). Improvements shall include street lighting, curb and gutter, sidewalk, parkway landscaping, asphalt concrete paving, traffic signs and striping, medians, and landscaping where required, and any transitions. Developer's geotechnical engineering shall provide the design of the pavement section based upon the Caltrans method. Prior to filing of the final subdivision maps, the Developer(s) will work with the City of Banning Public Works Department to identify phasing and timing requirements for the design and construction of all roadway improvements in substantial conformance with the Specific Plan and Phasing Plan per the Development Agreement as determined by the Public Works Director or designee. Roadways bordering the Specific Plan area shall be constructed at minimum half width in conjunction with adjacent development as it occurs in the Specific Plan area. City master planned roadway improvements that are part of a city improvement fee program or will serve other separate development that are designed and constructed by the

Butterfield Specific Plan Developer(s) shall be subject to reimbursements and fee credits in accordance with the provisions of the Development Agreement.

- 109. Internal Roadways.** Roadways internal to the specific plan area shall be designed and constructed, with right-of-way dedication offered, full width in substantial conformance with the approved Butterfield Specific Plan, including Section 3.2, Circulation Plan, Exhibit 3.2, Vehicular Circulation Plan, Exhibits 3.3B, C & D Roadway Cross Sections, and Section 3.2.5, Circulation Plan Development Standards, as well as in conformance with City of Banning requirements and standards as determined by the Public Works Director or designee. Improvements shall include street lighting, curb and gutter, sidewalk, parkway landscaping, asphalt concrete paving, traffic signs and striping, medians, and landscaping where required, and any transitions. Developer's geotechnical engineering shall provide the design of the pavement section based upon the Caltrans method. Prior to filing of the final subdivision maps, the Developer(s) will work with the City of Banning Public Works Department to identify phasing and timing requirements for the design and construction of all roadway improvements in substantial conformance with the Specific Plan and Phasing Plan per the Development Agreement as determined by the Public Works Director or designee. Roadways interior to the Specific Plan area shall be constructed full width in conjunction with adjacent development as it occurs in the Specific Plan area. City master planned roadway improvements that are part of a City improvement fee program or will serve other separate development that are designed and constructed by the Butterfield Specific Plan Developer(s) shall be subject to reimbursements and fee credits in accordance with the provisions of the Development Agreement. Prior to recordation of the first parcel or tract map, the Developer shall form, to the satisfaction of the City Engineer and the City Attorney, a homeowners' association, assessment district, landscaping and lighting district, or other vehicle, for the maintenance of all common areas, including landscaped parkways within public rights of way, in perpetuity.
- 110. National Flood Insurance Program.** A portion of the proposed Project is in a flood plain, therefore, in accordance with the requirements of the National Flood Insurance Program and related regulations and Riverside County regulations.
- A. A flood study consisting of HEC-2 calculations, cross sections, maps and other data shall be prepared to the Satisfaction of the Federal Emergency Management Agency (FEMA) and the City of Banning for the purpose of recalculating the floodway and revising the effective Flood Insurance Rate Map(s) of the Specific Plan site. The submittal of the study shall be concurrent with the initial submittal of the related Project improvement plans. City approval of any final maps within the flood plain or unmapped area of Specific Plan shall not be given until a Conditional Letter of Map Revision (CLOMR) has been received.
- B. Projects outside the established Flood Plain or unmapped area of the Specific Plan may be approved for development by the City, provided that studies required by Conditions of Approval for the Specific Plan or subsequent parcel/tract maps demonstrate to the satisfaction of the City Engineer and/or Riverside County Flood Control and Water Conservation District, that acceptable flood protection for said project(s) exist or will exist after installation of measures identified by the studies. The Developer acknowledges that existing downstream drainage infrastructure is inadequate to accommodate additional flows and that additional flows shall be retained onsite.
- 111. Street Improvement Plans.** Developer shall submit Street Improvement Plans, prepared by a licensed professional engineer, to the Engineering Division for review and approval. Construct street improvements, consisting of new A.C. pavement, landscaped areas within the parkway between the curb and property line and in any open spaces, sidewalks where required, curb,

gutter, driveway approaches, handicap access ramps, streetlights, traffic signs, striping, street name signs and roadway striping, etc. The Geotechnical Engineer shall determine the traffic index and R value for pavement design on all the streets.

112. **Water Improvement Plans.** Developer shall submit Water Improvement Plans to the Public Works Department for review and approval. Waterlines to be constructed to and across property boundaries of the Project per the City of Banning Standard Specifications. During phasing of the Project, all waterlines are to be looped for each phase (two points of connection).
113. **Hydraulic Analysis.** Developer shall submit a hydraulic analysis, prepared by a licensed Civil Engineer, showing that the Project or Project phase will meet all required water pressures and fire flows.
114. **Landscape Sprinklers.** Automatic sprinkler systems shall be installed within the landscaped parkway and median in the right of way on any street.
115. **Approval by City Engineer.** All public improvement plans shall be reviewed and approved by the City Engineer.
116. **City Easement Dedications.** Developer shall offer to dedicate to the City of Banning easements to maintain any slopes supporting public right-of-ways. Maintenance easements shall extend 10 feet beyond the toe of slope. All easements shall be in a form approved by the City Attorney.
117. **Potable Water.** A potable water system for the Specific Plan area shall be designed and constructed in substantial conformance with the approved Butterfield Specific Plan, including Section 3.5.1, Water Service Plan Description, Exhibit 3.8, Conceptual Potable Water Plan, and Section 3.5.5, Water Plan Standards, as well as in conformance with the City of Banning Water Master Plan, and other requirements and standards as determined by the Public Works Director or designee. Proposed tentative subdivision maps in the Specific Plan area shall include preliminary in-tract water system layouts. Prior to filing of final subdivision maps, the Developer(s) will work with the City of Banning Public Works and Water Utilities Departments to identify phasing and timing requirements for the design and construction of all Specific Plan backbone master water system improvements, including required off-site improvements, in substantial conformance with the Specific Plan and Phasing Plan per the Development Agreement and as determined by the Public Works Director or designee. City master potable water system improvements designed and constructed by the Butterfield Specific Plan Developer(s) shall be subject to reimbursements and fee credits in accordance with the provisions of the Development Agreement.
118. **Recycled Water Distribution System.** A recycled water distribution system for the Specific Plan area shall be designed and constructed in substantial conformance with the approved Butterfield Specific Plan, including Section 3.5.2, Recycled Water Service Plan Description, Exhibit 3.9A, Conceptual Onsite Recycled Water Plan, and Section 3.5.5, Water and Sewer Plan Standards, as well as in conformance with the City of Banning requirements and standards as determined by the Public Works Director or designee. Proposed tentative subdivision maps in the Specific Plan area shall include preliminary in-tract recycled water system layouts. Prior to filing of final subdivision maps, the Developer(s) will work with the City of Banning Public Works and Water Utilities Departments to identify phasing and timing requirements for the design and construction of all master recycled water system improvements, necessary to serve the Specific Plan area in substantial conformance with the Specific Plan and Phasing Plan per the Development Agreement and as determined by the Public Works Director or designee. The source and supply of recycled water for the Butterfield Specific Plan, when available, and which may include the City's proposed Main Treatment Plant Upgrade or a potential satellite treatment

plant, as well as required conveyance infrastructure, shall be determined by the Public Works Director or designee. City master recycled water system improvements designed and constructed by the Butterfield Specific Plan Developer(s) shall be subject to reimbursements and fee credits in accordance with the provisions of the Development Agreement.

- 119. Sewer Collection System.** A sewer collection system for the Specific Plan area shall be designated and constructed in substantial conformance with the approved Butterfield Specific Plan, including Section 3.5.4, Sewer Service Plan Description, Exhibit 3.11A, Conceptual Onsite Sewer Plan, and Section 3.5.5, Water and Sewer Plan Standards, as well as in conformance with the City of Banning requirements and standards as determined by the Public Works Director or designee. Proposed tentative subdivision maps in the Specific Plan area shall include preliminary in-tract sewer system layouts. Prior to filling of final subdivision maps, the Developer(s) will work with the City of Banning Public Works and Wastewater Utilities Departments to identify phasing and timing requirements for the design and construction of all master sewer system improvements, including required off-site improvements, necessary to serve the Specific Plan Area in substantial conformance with the Specific Plan and City of Banning Master Sewer Plan and Phasing Plan per the Development Agreement, as determined by the Public Works Director or designee. City master sewer system improvements designed and constructed by the Butterfield Specific Plan Developer(s) shall be subject to reimbursements and fee credits in accordance with the provisions of the Development Agreement.
- 120. Wastewater Treatment.** The ultimate treatment of wastewater (sewer) from the Butterfield Specific Plan area, as well as required conveyance infrastructure, shall be determined by the Public Works Director or designee. Wastewater treatment facilities may include the City's Main Treatment Plant or a satellite treatment plant. Required wastewater infrastructure may include existing city systems and/or proposed new systems in substantial conformance to those described in the Specific Plan and the City of Banning Master Sewer Plan. City master sewer system improvement designed and constructed by the Butterfield Specific Plan Developer(s) shall be subject to reimbursement and fee credits in accordance with the provisions of the Development Agreement.
- 121. Sewer Check Valves.** A sewer check valve shall be provided for each lot with a finished pad elevation lower than the rim elevation of the immediate up-stream sewer manhole.
- 122. CC&Rs.** A property owners' association shall be established following grading permit issuance and the applicable Conditions, Covenants & Restrictions ("CC&Rs"), shall be prepared for review and approval of the City Engineer and City Attorney providing for maintenance of the parkways, slopes adjacent to public right-of-ways, drainage areas, water quality facilities, detention basins, debris basins, common area landscaping, and median island landscaping. The Developer shall appoint the members of the Board of Directors of the property owners' association, or take such other steps as may be reasonably necessary to assure that members have been appointed or elected to such Board of Directors, until under the terms of the applicable CC&Rs individual lot owners have the power to elect the members of the Board of Directors in accordance with the CC&Rs.
- A. CC&Rs shall contain provisions which prohibit dissolution of the property owners' association unless another entity has agreed to assume the operation and maintenance responsibilities of the property owners' association. The CC&Rs shall contain provisions that prohibit the Developer and his/her successors-in-interest from amending said covenants, conditions and restrictions to conflict with these conditions of approval, City codes and/or standards.

- B. CC&Rs shall be subject to prior review and approval of the City Attorney. The Developer shall bear the cost of the review and make a deposit pursuant to a deposit agreement. The City shall be a party of the CC&Rs with full rights to enforce the provisions pertaining to the City including lien rights. The CC&Rs shall be submitted for review prior to issuance of grading permits and recorded prior to issuance of building permits unless approved by the City Attorney.
- 123. Driveways.** Access drives to the public right-of-way shall be restricted to those approved by the City Engineer as shown on the approved plans.
- 124. Inspection Fees.** Required Public Works Inspection fees shall be paid in accordance with the fee schedule in effect at time of time of scheduling and the Development Agreement; water and sewer connection fees including frontage fees and water meter installation charges shall be paid on a per lot basis at the time of building permit issuance in accordance with the fee schedule in effect at that time and the Development Agreement; a plan storage fee shall be paid for any engineering plans that may be required in accordance with the fee schedule in effect at the time the fee is paid; a traffic mitigation fee shall be paid in accordance with the Development Agreement; a fee shall be paid to Riverside County Flood Control and Water Conservation District in the amount specified by them to perform plan checking for drainage purposes if necessary for the proposed Project.
- 125. Government Code Section 66499.** Security for the construction of public improvements including grading may be submitted in accordance with Government Code Section 66499 and shall be as follows:
- Faithful Performance Bond - 100% of estimated cost
Labor and Material Bond - 100% of estimated cost
Monumentation Bond - \$7,500.00
- Securities for the public improvements shall be on file with the City Clerk prior to scheduling the final map for approval by City Council. Unit prices for bonding estimates shall be those specified or approved by the City Engineer.*
- 126. Right-of-Way Documents.** Developer shall submit a copy of the title report, closure calculations, and any separate instruments or necessary right-of-way documents to the Engineering Division for review and approval of the City Engineer prior to final map approval.
- 127. Scale for Street Maps.** Maps of the proposed subdivisions drawn at 1"=200' scale showing the outline of the streets including street names shall be submitted to the City to update the city atlas map.
- 128. Final Map Form.** An original Mylar of the final map (after recordation) shall be provided to the City for the record files.
- 129. Monumentation Records.** A record of all street centerline monument ties shall be submitted to the Engineering Division upon completion of improvements or prior to release of Monumentation Bond.
- 130. Right-of-Way Acquisitions.** Right-of-way or easement acquisitions necessary to implement any portion of the maps, including public improvements, shall be obtained by the Developer at its sole expense prior to the City's consideration of the final map which encompasses the particular improvement. The Developer shall notify the City in writing no more than 120 days and no less than 60 days in advance of filing the final map related to the acquisition if City assistance is

needed to complete the acquisition pursuant to Government Code Section 66462.5 and shall document in writing all acquisition efforts. Funds in an amount of 100% of the estimated acquisition costs shall be deposited with the City in accordance with a deposit agreement to cover appraisal, right of way agent, and legal fees and costs incurred to secure the necessary property. Additional deposits will be made if needed and City will document the expenditure of all funds.

- 131. Existing Plus Project Improvements.** If not constructed by the City or others, the Developer shall construct road improvements identified in Table 4.13-9, Summary of Future Improvements ("Existing plus Project" improvements in the City of Banning only), of the Butterfield Specific Plan Draft Environmental Impact Report (June 3, 2011) and as described in the Traffic Impact Analysis for the Butterfield Specific Plan, prepared by LSA Associates Inc. (September 15, 2010). These improvements include portions on Highland Springs Avenue in the City of Beaumont, between I-10 and Brookside, but exclude locations that are deemed by the affected jurisdiction(s) to be infeasible due to impacts of ROW acquisition. If constructed by the Developer, the cost of these improvements shall be credited against applicable City fees, and/or shall be eligible for reimbursement agreements with the City and/or third parties in accordance with the Development Agreement. The Improvements listed in DEIR Table 4.13-9 shall be consistent with the General Plan Circulation Element. (FEIR Mitigation Measure TRF-1). Improvements shall be constructed in accordance with the Phasing Plan in the Development Agreement.

- 132. Validation Report.** As part of each Final Tract Map, or appropriate group of maps, the Developer shall prepare a TIA Validation Report (TVR) based on the criteria provided herein for review and approval by the City Engineer. Final Tract Map approvals resulting in less than 500 p.m. peak hour trips (Exempt Maps) shall not require a TVR unless the cumulative total of prior approved Exempt Maps exceeds 1,000 p.m. peak hour trips since the last TVR.

The TVR shall identify which of the Existing Plus Project improvements identified in Table 4.13-9 of the Butterfield Specific Plan Draft Environmental Impact Report (June 3, 2011) and the Traffic Impact Analysis for the Butterfield Specific Plan, prepared by LSA Associates Inc. (September 15, 2010), are required to be constructed for the respective Final Tract Map, to ensure adequate emergency access and satisfactory levels of service. "Existing plus Project" improvements in the City of Banning identified in an approved TVR shall be conditions of Final Tract Map approval. To the extent that any of the improvements mentioned above are included in a fee program, the cost for those improvements, if constructed by the Developer, will be eligible for fee credits in accordance with the Development Agreement.

The ongoing traffic impact assessment program will be based on the p.m. peak-hour trip threshold. The Final Tract Maps' total number of p.m. peak hour trips will be established based on the trip generation listed in Table 4.13-7, Project Trip Generation, of the Butterfield Specific Plan Draft Environmental Impact Report (June 3, 2011). If a portion of commercial development and some residential development is included in the Final Tract Map, the total number of trips generated by each use (commercial and residential) will be calculated for the p.m. peak hour and compared to a predefined threshold.

Recognizing the variety of land use options, overlays and permitted or conditionally permitted uses, the TVR will also be used to verify, as the Project builds out, that the Project's total peak hour trips are consistent with the assumptions in the Project TIA. (FEIR Mitigation Measure TRF-2).

- 133. Offsite Traffic Improvement Plans.** Improvement plans shall be prepared for each Project-related offsite traffic improvement and approved by the City Engineer. Improvement plans shall incorporate the following considerations, as applicable:

- Obtain encroachment permit(s) from the applicable jurisdiction(s) for offsite improvements; Through creative design techniques, where determined appropriate and consistent with City policy, modify roadway geometry to reduce potential impacts to existing developed areas (such as reduced lane widths, reduced or eliminated medians, reduced turn lane transition zones, and/or shifting intersection approaches to widen intersection quadrants where associated impacts would be reduced);
- Maintain access for existing residences and businesses at all times;
- Replace landscaped areas within the affected parcel and along the parcel frontage wherever practical;
- Assist the affected property owner in re-striping affected parking areas and/or reconfiguring affected driveways to avoid or offset improvement-related impacts;
- Follow applicable Project EIR mitigation measures related to biological resources (i.e., BIO-1 through BIO-5 of the Butterfield Specific Plan Environmental Impact Report), with respect to minimizing loss of native vegetation, replacement or relocation of mature trees, use of native and/or drought tolerant vegetation in new landscaped areas, and ensuring consistency with applicable MSHCP and regulatory agency permitting provisions; and
- Compensate the affected property owner based on fair market valuation of the acquired ROW in accordance with applicable local, State and federal regulations. (FEIR Mitigation Measure TRF-3).

- 134. Fair Share of Cumulative Impacts.** The Developer shall pay a fair share toward cumulative impacts not otherwise captured in existing fee programs, funding sources or in lieu improvements noted above, if such a program is in place at the time of building permit issuance, based on Project contribution percentages identified in Table 4.13-16 of the Butterfield Specific Plan Draft Environmental Impact Report (June 3, 2011). (FEIR Mitigation Measure TRF-4).

IV. PRIOR TO THE ISSUANCE OF BUILDING PERMIT

COMMUNITY DEVELOPMENT DEPARTMENT

135. Alternative Street Accommodations.

- A. If the City of Banning elects not to pursue the Highland Home Road connection to Highland Springs Road, as described in Condition 86B, the Project Developer would be required to redistribute traffic via proposed F Street in the Butterfield Specific Plan area by constructing additional turning lanes at the intersections of Highland Springs Avenue/F Street and Highland Home Road/F Street (which are intersections located within the Project boundary to meet City LOS standards and shown on Exhibit "1").
- B. If requested by the City and after full discretionary review and approval, the developer will complete interim improvements to Highland Springs Avenue between Ramsey Street and the I-10 Freeway. These improvements may include synchronization of traffic signals along Highland Springs Avenue, relocation of traffic signals, closing and relocation of Joshua Palmer Way and the restriping and repaving of Highland Springs Avenue. The City will use its best efforts to coordinate with the City of Beaumont an agreement to reimburse a portion of the improvements either through the appropriate transportation fee credits or other mechanism.

- 136. Model Homes.** Prior to the issuance of building permits, the Developer shall submit a model home plan that shows building elevations, plotting plan(s), and precise grading for review and approval for each phase of development, or per neighborhood, or per each master or merchant

builders for review and approval by the Community Development Director as long as the plans conform to the Design Guidelines depicted in the Specific Plan. Subsequent minor technical change/adjustment after approval of the model homes and plotting is subject to an additional approval of the Community Development Director. If Owner would like to propose architecture that is not depicted in or consistent with the Design Guidelines, the approval will be subject to both Planning Director and Planning Commission Approval.

- 137. Landscaping.** Prior to issuance of building permits, the Developer shall submit and obtain approval of three (3) copies of construction level Landscape and Irrigation Plans to the Community Development Department accompanied by the appropriate trust deposit. The plans shall be prepared by a registered landscape architect and include the location, number, genus species, and container size of the plants. Plants shall be consistent with the Banning Municipal Code. The cover page shall identify the total square footage of the landscaped area and note that it shall be maintained in accordance with the City Code. Water efficient fixtures and drought tolerant plants shall be utilized where possible. Required landscape areas specific to this Project include front yards of all lots; side yards of corner lots; streetscapes on the Project side for Highland Springs Avenue, Wilson Street, and Highland Home Road; landscaping of slopes and entry theme walls; streetscapes for both sides of all in-tract roadways; and landscaping of all lettered lots including the detention basin, and all drainage channels which include Smith Creek and Pershing Channel.
- 138. Walls & Fences.** Prior to issuance of building permits, the Developer shall submit and obtain approval from the Community Development Department of block wall or vinyl fence plans. These plans shall be consistent with intent of the Butterfield Specific Plan.
- 139. Disclosure Statement.** The Developer, property owner or successor in interest shall submit the disclosure statement for review and approval by the City Attorney prior to the issuance of building permit for the first home within the Specific Plan. (See also Condition No. 19)

PUBLIC WORKS DEPARTMENT

- 140. Sewer Capacity.** No building permits shall be issued unless the Public Works Director or designee determines that all on- and off – site sewer and water facilities exist with sufficient capacity necessary and reliably to serve the proposed construction are available or will be constructed as a part of the Project, and will continue to be available during the life of the Project.
- 141. Undergrounding Utilities.** All utility systems including gas, electric, telephone, water, sewer, and cable TV shall be provided for underground, with easements provided as required, and designed and constructed in accordance with City codes and the requirements of the utility provider. Telephone, cable TV, and/or security systems shall be pre-wired. All necessary easements shall be dedicated and granted to the necessary party with evidence provided to City.
- 142. Rough & Precise Grading Plans.** Rough and precise grading plans shall be submitted to the City Engineer for review and approval. Precise grading plans shall include perimeter walls with top of walls and top of footing elevations shown. All footings shall have a minimum of 1-foot of cover, and/or sufficient cover to clear any obstructions.
- 143. Lot Pad Certification.** The Developer shall provide to the City Engineer a lot pad certification stamped and signed by a qualified civil engineer or land surveyor. Each pad certification shall list the pad elevation as shown on the approved grading plan, the actual pad elevation and the differences between the two, if any. Such pad certification shall also list the relative compaction of the pad soil.

144. **Water Conservation Plan.** The Developer shall prepare a water conservation plan to reduce water consumption in the landscape environment in compliance with the City of Banning's landscape standards in the Municipal Code and all applicable current city and state codes, using xeriscape principles. "Xeriscape" shall mean a combination of landscape features and techniques that in the aggregate reduce the demand for and consumption of water, including appropriate low water using plants, non-living ground-cover, a low percentage of turf coverage (limited to 25% of the planted area), permeable paving and water conserving irrigation techniques and systems. A low water-using drought tolerant plant includes species suited to our climate, requiring less water in order to grow well.
145. **Fire Hydrants.** Fire hydrants shall be installed within and on the Project boundaries as per the approval plans, at a 250' maximum spacing.
146. **Fire Flow Calculations.** The Developer shall provide fire flow calculations for the Project to the City and construct the necessary facilities to meet those flows for the Project to the satisfaction of that Director.
147. **Water Connection Fees.** Developer shall pay the current required Water Connection Fees. Fees shall be paid per EDU (EDU is based upon meter size required). Sewer Connection Fees shall be paid per EDU (EDU is based upon the estimated quality and quantity of discharge), and payment of current required Water Meter Installation Charges for each building pad in accordance with the fee schedule in effect at the time the fees are paid and the Development Agreement. Also, Developer shall pay all current water and sewer frontage fees and recycled/irrigation water fees, if applicable, and in accordance with the fee schedule in effect at the time the fees are submitted and the Development Agreement.

ELECTRIC UTILITY DEPARTMENT

148. **Permit Fees.** Developer shall pay current required fees - electrical permit, plan check fee, inspection fees, meter fee and cost of electrical apparatus for completing the underground line extension in accordance with the city policies and the Development Agreement.
149. **Electricity Easements.** Developer shall dedicate all easements for electric facilities installation/maintenance, etc.
150. **Electric Utility Infrastructure.** Electric Utility Infrastructure for each Phase in accordance with the Phasing Plan in the Development Agreement. The dedication shall be in a form approved by the City Attorney. Prior to the issuance of building permit, electric utility infrastructure (conduits, vaults, etc.) must be completed as well any temporary or permanent electric infrastructure to supply power to each phase as constructed.

V. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

PUBLIC WORKS DEPARTMENT

151. **Form of Plans.** The Developer shall furnish the City with reproducible record drawings on Mylar of all improvement plans that were approved by the City Engineer..
152. **Damaged Improvements.** Any public improvements damaged during the course of construction shall be replaced to the satisfaction of the City Engineer, or his/her designee.
153. **Testing.** All required public improvements for the Project shall be completed, tested, and approved by the Engineering Division.

154. **Landscape Sprinklers.** Automatic sprinkler systems and landscaping shall be installed within the street parkways. The systems shall include landscape controllers, separate water meters, and electric meters, and plantings as approved by the Community Development Director. Landscaping plans and specifications shall be reviewed and approved by the City Engineer.
155. **Landscaping.** Landscape improvements shall be certified by a licensed landscape architect or licensed landscape contractor as having been installed in accordance with the approved detailed plans and specifications. The Developer shall furnish said certification, including an irrigation management report, for each landscape irrigation system and any other required implementation report determined applicable, to the City Engineer for review and approval.
156. **Street Signs.** Street name signs and traffic control devices including traffic legends and traffic striping shall be installed, or relocated in accordance with Caltrans Standards and as shown on the approved plans, and/or as directed by the City Engineer.
157. **Intersection Improvements.** Developer shall construct required intersection improvements including traffic signals. The Developer may request a Reimbursement Agreement for the design and construction of the improvements in this condition. The Reimbursement Agreement is subject to prior review and approval by the City Attorney. The Developer shall bear the cost of the review.
158. **Monuments.** Monuments and center line ties shall be certified and submitted to the City Engineer for review and approval.

ELECTRIC UTILITY DEPARTMENT

159. **Electric Utility Materials.** The Developer shall provide install all conduits, vaults, and other materials associated with electric facility installations (except cables and their terminations).
160. **Streetlights.** The Developer shall install, complete and test streetlight poles and conduits.
161. **Secondary Service Entrance Conductors.** Secondary service entrance conductors to be provided and installed by the Developer. The Developer shall install, complete and test secondary service entrance conductors.
162. **Completion of Electric Utility Infrastructure prior to Issuance of Certificate of Occupancy.** Prior to the issuance of certificate of occupancy, the Developer, owner, or successor in interest shall install, complete and test all electric utility infrastructure including primary and secondary cabling, transformers, etc.
163. **Cost of Electrical Line in Aid of Construction.** Prior to the issuance of certificate of occupancy, the Developer, owner, or successor in interests shall pay the required cost of electrical line extension and in aid of construction for the particular phase under construction.

**CITY OF BANNING FIRE SERVICES
STANDARD CONDITIONS OF APPROVAL**

As amended for the proposed Pardee Project locate at Highland Springs/West Wilson Street

The following are the minimum Banning Fire Marshal's office requirements. These requirements will satisfy for the Club House, Commercial Occupancies, and Park Buildings for this Project. There may be additional requirements when the Project specifics are defined and the final proposal is submitted for approval.

FIRE DEPARTMENT DEVELOPER FEES:

Any fees will be set pursuant to the Development Agreement. The current fee schedules at this time are as follows:

Commercial, Industrial and/or Office Complex –	\$579.00 for 50,000 square feet or less
	\$ 25.00 per unit Disaster Planning
Plan Check and Inspection -	\$ 134.00 per hour

CITY OF BANNING BUSINESS LICENSE AND PROOF OF INSURANCE:

All contractors, subcontractors etc. are required to obtain a City of Banning Business license prior to submitting plans or starting construction.

CODE COMPLIANCE:

All Plans, Specifications and Construction shall comply with and conform to the current edition of the California Fire Code (CFC), California Building Code (CBC), and other state and local laws and ordinances as applicable.

PLAN SUBMITTAL:

Three (3) sets of Plans and Specifications shall be submitted for review prior to obtaining a permit. This requirement applies to all work regardless of the size of the job; new construction or remodel.

SPRINKLER SYSTEMS REQUIRED:

Fire Sprinkler Systems shall be installed as required by the CFC or in any and all structures that are thirty six hundred (3,600) sq. ft. or more, or if the applicable codes require a more restrictive system.

With the adoption of the 2010 codes, all residential homes shall be protected with fire sprinkler systems.

SPRINKLER AND ALARM SYSTEMS:

Three (3) sets of plans and calculations, including three (3) sets of manufacturer's hardware specifications, shall be submitted to a State Certified Fire Protection Engineering Firm, designated by the Fire Marshal, for review for compliance with recognized codes and standards.

SPRINKLER AND ALARM SYSTEM FEE SCHEDULE:

Inspections - Fire Department: per the current rate per hour, per person. (One-hour minimum)
Additional fees as charged by the designated Fire Protection Engineering Firm.

Plan Checks - Fire Department: per the current rate per hour, per person. (One-hour minimum)
Additional fees as charged by the designated Fire Protection Engineering Firm.

SPRINKLER SYSTEM UNDERGROUND:

No fire sprinkler work shall be started prior to issuance of the permit.

The minimum size for water supply to the base of the riser shall be six (6) inches for commercial systems.

An approved AWWA double check detector check assembly, as approved by the C.O.B Water Department located as close to the property line as possible, and a minimum of twelve (12) inches above the ground shall be provided.

The Water Department shall approve all plans involving water main service.

FIRE HYDRANTS:

Prior to construction or renovation, fire hydrants shall be provided when any portion of any structure exceeds 150 feet from a water supply on a public street.

All hydrants must be installed, working and inspected by the Public Works Department and the Banning Fire Marshal's office before any combustible materials can be placed at the worksite.

Spacing of fire hydrants shall comply with CFC Appendix C and the City of Banning Public Works Standards. (Maximum 250 feet between hydrants)

Minimum 6-inch riser, street valve, approved shear valve and blue dot identification marker shall be provided for each fire hydrant.

The City standard fire hydrant is the Commercial, James Jones #J3765, Residential, James Jones #J3700, or an equivalent approved by the Fire Marshal.

Fire Hydrants are to be painted by the Developer, contractor, etc., prior to the final inspection. (EOS Standard W714) Rustoleum Red, damp proof #769 and two (2) coats of Rustoleum semi-gloss yellow #659, or an approved equivalent.

WATER SUPPLY:

Fire flow shall be established by the Fire Department using the information provided in the CFC Appendix B. Fire Flow may be adjusted upward where conditions indicate an unusual susceptibility to fire. (1000 gallons/minute for 2 hours)

FIRE DEPARTMENT ACCESS:

Fire department access shall be required when any portion of the first story of any structure is more than 150 feet from Fire Department apparatus access.

Minimum clearances or widths may be increased when the minimum standards are not adequate for Fire Department access.

Surfaces shall be designed and maintained to support the imposed loads of fire apparatus (75,000gvw). Surfaces shall have all-weather driving capabilities, including bridges. All roads must be place and meet the above standard before any combustible materials can be delivered to the site.

Minimum unobstructed width shall be 20 feet.

Minimum unobstructed vertical clearance shall not be less than 13 feet 6 inches.

Minimum turning radius shall be 42 feet.

All dead-end access roads in excess of 150 feet shall have approved provisions for turning around of fire apparatus.

Maximum grade shall be established by the Banning Fire Marshal's office.

Vehicles shall not be parked or otherwise obstruct the required width of any fire apparatus access.

Two means of ingress/egress shall be provided for emergency vehicles and fire apparatus. Surfaces shall have all-weather driving capabilities, including bridges. All roads must be placed and meet the above standard before any combustible materials can be delivered to the site, and approved by the Banning Fire Marshal's office. See Secondary Access Plans as depicted Exhibit 3.3D, Secondary Access Drives, in the approved Butterfield Specific Plan.

The requirements for this segment are covered in CFC Chapter 5.

A "Knox" box will be required for fire department access and location approved by the Banning Fire Marshal's office.

PREMISES IDENTIFICATION:

Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background.

Commercial - 6" mm. Size

INSPECTIONS:

Inspections shall be requested a minimum of forty-eight (48) hours prior to the time the required inspection is needed.

The current fee for each inspection is \$134.00 per hour per person, (One-hour minimum). If fees changed, the Developer shall pay the fees that are effective at that time.

Work begun without a permit or without an approved set of plans at the job site will result in a triple fee and/or the work stopped.

HAZARDOUS MATERIALS:

The storage, dispensing, use or handling of hazardous materials shall be in accordance with the provisions of CFC Chapter 27 and CBC in addition to all federal, state and local laws or ordinances.

Business Plans may be required per SB 2186 and 2187 including MSDS, HMMP and RMPP.

OTHER REQUIREMENTS:

If there are no existing fire hydrants within 150 feet of the proposed building, then there will be a requirement for the installation of two commercial grade hydrants as described above. If a hydrant then only one additional hydrant will be required.

A fire alarm system, designed to NFPA 72 standards, will be required.

Doug Clarke
Assistant Fire Marshal
Banning Fire Services
(951) 922-3210
dclarke@ci.banning.ca.us

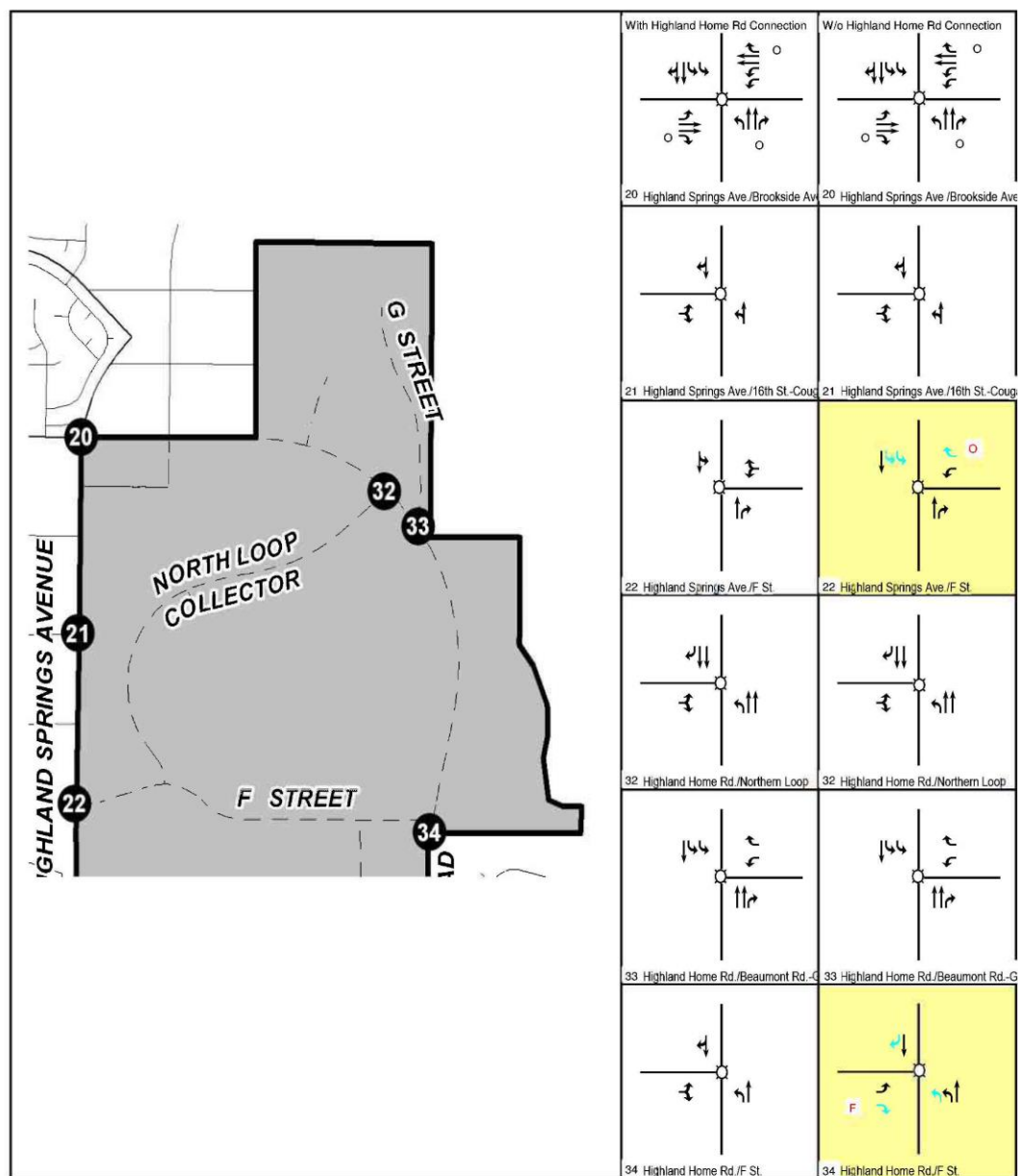


FIGURE 6

LSA

Legend

- Signal
- Stop Sign
- Improvements Within City of Banning for LOS D
- Improvements Within City of Banning for LOS C

Butterfield Specific Plan
Traffic Impact Analysis
Intersection Geometries and Stop Control

P:\PDH0901 - Banning EIR Traffic\g30_06_project geo.xls 10/6/2011

APPENDIX B

**BANNING CITY COUNCIL RESOLUTION
NO. 2017-07 (FEBRUARY 14, 2017) INCLUDING
APPROVING MINOR MODIFICATION TO THE
BUTTERFIELD SPECIFIC PLAN AND
ADOPTING ADDITIONAL CONDITIONS
OF APPROVAL**

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RESOLUTION NO. 2017-07

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BANNING, CALIFORNIA APPROVING GENERAL PLAN AMENDMENT NO. 16-2501 TO AMEND THE GENERAL PLAN CIRCULATION ELEMENT TO REFLECT THE REMOVAL OF THE PROPOSED EXTENSION OF HIGHLAND HOME ROAD TO BROOKSIDE AVENUE AND CHERRY VALLEY BOULEVARD, APPROVING AN ADDENDUM TO THE BUTTERFIELD SPECIFIC PLAN FINAL ENVIRONMENTAL IMPACT REPORT (SCH NO. 2007091149) AND ASSOCIATED MODIFICATIONS TO THE MITIGATION MONITORING AND REPORTING PROGRAM, CONCURRING WITH AND APPROVING PROPOSED MINOR MODIFICATIONS TO THE BUTTERFIELD SPECIFIC PLAN LOCATED AT THE NORTHEAST CORNER OF HIGHLAND SPRINGS AVENUE AND WILSON STREET, APNS 408-030-001 and 005; 408-120-001 through 020, and 022, 024, 025, 027, and 033; and 531-080-013 and 014

WHEREAS, an application for a General Plan Amendment to amend the City of Banning General Plan Circulation Element and for a Minor Modification to the Butterfield Specific Plan has been duly filed by:

Applicant / Owner:	Pardee Homes
Authorized Agent:	Chris Willis
Project Location:	Noted Above
APN Number:	Noted Above
Lot Area:	1,528 acres

WHEREAS, Pardee Homes submitted applications for a General Plan Amendment to remove the proposed extension of Highland Home Road to Brookside Avenue and Cherry Valley Boulevard from the General Plan Circulation Element, pursuant to a Settlement Agreement, and for a Minor Modification to the Butterfield Specific Plan for property located at the northeast corner of Highland Springs Avenue and Wilson Street. The General Plan Amendment and Minor Modification are incorporated herein by this reference.

WHEREAS, an Addendum was prepared to evaluate the proposed project consisting of both the General Plan Amendment as well as the Minor Modification to the Butterfield Specific Plan, and the Addendum concluded that that there are no changes in circumstances or new information of substantial importance that would require preparation of a subsequent or supplemental EIR.

WHEREAS, on the 4th and 25th of January, 2017 the Planning Commission held a noticed public hearing at which time the General Plan Amendment No. 16-2501, the Addendum to the certified Final EIR and associated modifications to the Mitigation Monitoring and Reporting Program, and the Minor Modification along with the staff report and public testimonies were considered which were followed by the recommendation of approval to the City Council.

WHEREAS, on the 3rd of February, 2017 the City gave public notice as required under Chapter 17.68 (Hearings and Appeals) of the City of Banning Municipal Code by advertising in the Record Gazette newspaper of a City Council public hearing at which the General Plan Amendment No. 16-2501, the Addendum to the certified Final EIR and associated modifications to the Mitigation Monitoring and Reporting Program, and the Minor Modification would be considered. The public hearing notice was also mailed to property owners within 300 feet of the Project site.

WHEREAS, on the 14th day of February, 2017, the City Council held the public hearing at which interested parties had an opportunity to testify in support of or opposition to proposed General Plan Amendment No. 16-2501, Addendum to the certified Final EIR and associated modifications to the Mitigation Monitoring and Reporting Program and the Minor Modification.

WHEREAS, the findings and conclusions made by the City Council in this Resolution are based upon the oral and written evidence presented as well as the entirety of the administrative record for the project, which is incorporated herein by this reference. The findings are not based solely on the information provided in this Resolution.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Banning as follows:

SECTION 1. RECITALS

The recitals set forth above are true and correct and incorporated herein by this reference.

SECTION 2: ENVIRONMENTAL FINDINGS

California Environmental Quality Act (CEQA)

That a Final EIR (SCH No. 2007091149) and MMRP were adopted for the 2012 Butterfield Specific Plan on March 27, 2012 in accordance with the requirements of the California Environmental Quality Act (CEQA), in accordance with Public Resources Code Section 21000 et seq., the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.), and the City's local CEQA Guidelines. City Council Resolution

No. 2012-24 incorporated herein by this reference, provides environmental findings in support of that certified Final EIR.

When an EIR or negative declaration has been prepared for a project and changes are subsequently proposed to that project, the City is required to determine whether the environmental effects of such actions are within the scope of previous environmental documentation, and whether additional environmental analysis is required. If the agency finds that, pursuant to Sections 15162 and 15164 of the CEQA Guidelines, no new effects would occur, nor would a substantial increase in the severity of previously identified significant effects occur, then no supplemental or subsequent EIR or Mitigated Negative Declaration is required.

Pursuant to CEQA Guidelines Section 15164, an Addendum to the Butterfield Specific Plan Final EIR was prepared to evaluate the potential effects of General Plan Amendment No. 16-2501 and the Butterfield Specific Plan Minor Modification and is the appropriate document for disclosing the changes and additions that are necessary to account for the General Plan Amendment and Minor Modification. Through the analysis described in that Addendum, which is incorporated herein by this reference, the City determined that changes associated with the proposed General Plan Amendment and Minor Modification are not substantial and that none of the conditions in CEQA Guidelines Section 15162 requiring the need for further subsequent environmental review have occurred. No new significant impacts would result from these changes, nor would there be a substantial increase in the severity of previously identified environmental impacts. In addition, the changes with respect to the circumstances under which the Project would be undertaken would not result in new or more severe significant environmental impacts.

The City Council finds that the Addendum, together with the previous Final EIR, reflect its independent judgement, and further finds that these documents have been completed in compliance with CEQA, the CEQA Guidelines and the City's local CEQA Guidelines and satisfy the requirements of CEQA, the CEQA Guidelines and the City's local CEQA Guidelines for General Plan Amendment No. 16-2501 and the Butterfield Specific Plan Minor Modification.

Findings

1. There are no substantial changes to the 2012 Specific Plan that would require major revisions of the Specific Plan EIR due to new significant environmental effects or a substantial increase in severity of impacts identified in the Specific Plan EIR;
2. Substantial changes have not occurred in the circumstances under which the Project is being undertaken that will require major revisions to the Specific Plan EIR to disclose new significant environmental effects or that would result in a substantial increase in severity of impacts identified in the Specific Plan EIR; and

3. There is no new information of substantial importance that was not known at the time the Specific Plan EIR was certified, indicating any of the following:
- The Project will have one or more new significant effects not discussed in the certified Specific Plan EIR;
 - There are impacts determined to be significant in the Specific Plan EIR that would be substantially more severe;
 - There are additional mitigation measures or alternatives to the Project that would substantially reduce one or more significant effects identified in the Specific Plan EIR but the Project proponent declines to adopt them; or
 - There are additional mitigation measures or alternatives rejected by the Project proponent that are considerably different from those analyzed in the Specific Plan EIR that would substantially reduce a significant impact identified in that EIR.

SECTION 3. REQUIRED FINDINGS FOR GENERAL PLAN AMENDMENT NO. 16-97501.

Finding No. 1: The proposed General Plan Amendment No. 16-2501 is internally consistent with the General Plan.

Findings of Fact: The current General Plan was adopted in January 2006 and includes various policies that guide development in the City, including roadways. The proposed General Plan Amendment is to remove the previously proposed roadway extensions at Brookside Avenue and Cherry Boulevard from the City's General Plan Circulation Element. Approval of General Plan Amendment No. 16-2501 would ensure consistency between the proposed Project and the Settlement Agreement for the Butterfield Specific Plan project. The proposed Project will not create any conflicts among the various General Plan Elements' goals, policies, or objectives, including the maps and diagrams of all the Elements in the City's General Plan. Therefore, proposed General Plan Amendment No. 16-2501 is internally consistent with the City's General Plan.

Finding No. 2: The proposed General Plan Amendment No. 16-2501 would not be detrimental to the public interest, health, safety, convenience, or welfare of the community.

Findings of Fact: The proposed General Plan Amendment GPA No. 16-2501 when approved would remove the General Plan Circulation Element's proposed extension of Highland Home Road to Brookside Avenue and Cherry Valley Boulevard. An Addendum to the certified Final EIR analyzed traffic associated with the proposed change and did

not identify any new effects or substantial increases in significant effects arising from the proposed General Plan Amendment. Consequently, General Plan Amendment No. 16-2501 would not be detrimental to the public interest, or health, safety, convenience, or welfare of the community.

Finding No. 3: The proposed General Plan Amendment No. 16-2501 would maintain the appropriate balance of land uses within the City.

Findings of Fact: The proposed amendment would maintain the appropriate balance of land uses within the City in that affects only the City's street circulation system. The Addendum prepared for the project did not identify any new effects or substantial increases in significant effects and thus, the proposed amendment would not have an appreciable effect on the balance of land uses within the City.

Finding No. 4 With regard to General Plan Amendments to the General Plan Land Use Map, the subject parcels are physically suitable for the requested land use designations and the anticipated land use development.

Findings of Fact: The proposed General Plan Amendment relates to a change in the Circulation Element. The proposed amendment does not request a change in land use designation or anticipated land use development.

SECTION 4. CONCURRENCE WITH STAFF AND APPROVAL OF MINOR MODIFICATION

The City Council concurs with staff and hereby approves the proposed Minor Modification subject to the conditions listed in attached Exhibit "A". The Minor Modification qualifies for processing as a minor modification and is in substantial conformance with the Specific Plan. The changes are consistent with the overall vision and uses that were outlined and described in the Specific Plan.

SECTION 5. CITY COUNCIL ACTION

The City Council hereby takes the following action:

Adopt City Council Resolution No. 2017-07:

1. Approving and adopting the Addendum to the Butterfield Specific Plan Final EIR, and a revised Mitigation Monitoring and Reporting Program, incorporated herein by this reference, based on the findings and facts contained herein.

2. Approving and adopting General Plan Amendment No. 16-2501 based on the findings and facts contained herein.
3. Concurring with staff and approving and adopting the Minor Modification subject to the conditions listed in City Council Resolution 2017-07 Exhibit "A" based on the findings and facts contained herein.

SECTION 6. NOTICE OF DETERMINATION

The City Council directs City staff to prepare, execute and file a Notice of Determination with the County Clerk within five (5) working days of the City Council's approval.


SECTION 7. CUSTODIAN OF RECORDS AND LOCATION OF DOCUMENTS

The Final EIR, Addendum, MMRP, General Plan Amendment and Minor Modification are on file and available for public review at City Hall, located at 99 E. Ramsey Street, Banning, California. The custodian of record of proceedings is the Community Development Director.


SECTION 8. SEVERABILITY

If any provision of this Resolution is held invalid, the remainder of this Resolution shall not be affected by any such invalidity, and the provisions of this Resolution are severable.

PASSED, APPROVED, AND ADOPTED this 14th day of February, 2017.


George Moyer, Mayor
City of Banning

ATTEST:


Marie A. Calderon, City Clerk
City of Banning

**APPROVED AS TO FORM
AND LEGAL CONTENT:**



John C. Cotti, Interim City Attorney
Jenkins & Hogan, LLP

CERTIFICATION:

I, Marie A. Calderon, City Clerk of the City of Banning, California, do hereby certify that the foregoing Resolution, No. 2017-07, was duly adopted by the City Council of the City of Banning, California, at a regular meeting thereof held on the 14th day of February, 2017, by the following vote, to wit:

AYES: Councilmembers Andrade, Franklin, Peterson, Welch, Mayor Moyer

NOES: None

ABSENT: None

ABSTAIN: None



Marie A. Calderon, City Clerk
City of Banning, California

Exhibit A
Butterfield Specific Plan Addendum
(Provided under separate cover)
And adopted Mitigation Monitoring
& Reporting Program and Modifications

Addendum and appendices available on City website at
<http://www.ci.banning.ca.us/archive.aspx>
under Butterfield Specific Plan)

**Butterfield Specific Plan Project
Mitigation Monitoring and Reporting Program**

Project File No.: _____ Applicant: _____
EIR Prepared by: _____ Date: _____

Mitigation Measure No./ Implementation Action	Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
Aesthetics, Light and Glare				
AES-1: Development or revegetation shall be initiated within three months following initiation of mass grading or clearing activities, so as to limit the time graded surfaces remain in their exposed state, consistent with the Specific Plan's approved landscape design guidelines and landscape plans and the provisions of Title 18.15.020 of the City's <i>Municipal Code</i> . A Revegetation Plan, addressing interim revegetation during construction and for future development areas prior to buildout, shall be submitted for City review and approval as part of each grading permit application.	CDD	D, F	A2, C2	
AES-2: The faces of all slopes shall be prepared, protected and maintained to control erosion and to reduce the visual impacts of slope grading. Slopes in excess of ten feet in height shall be graded pursuant to City Code requirements. Devices or procedures for erosion protections shall be installed as prescribed by State law and regulations and Title 18 of the City's <i>Municipal Code</i> and shall be maintained in operable condition by the developer during the duration of the activity for which the grading permit was issued. The use of plastic sheeting for erosion control shall be avoided except where required in emergency conditions to prevent land slippage. Preferred means of erosion and sediment control on slopes and pads shall include hydromulching, placement of straw bales and wind fencing, and the use of straw blankets and similar devices.	CDD	D, G	A2, C2	
AES-3: The Project developer shall maintain the site free of debris, which shall be promptly removed from the site when found at least once a quarter and at least daily during construction, and the Project developer shall monitor the site at least once a quarter and at least daily during construction to protect the site from illegal dumping.	DPW	C	A2	

Responsible Person	Monitoring Frequency	Method of Verification
CDD - Community Development Director or designee	A - With each new development	A2 - Onsite inspection
CP - City Planner or designee	B - Prior to construction	B2 - Other agency permit/ approval
CE - City Engineer or designee	C - Throughout construction	C2 - Plan check
BO - Building Official or designee	D - On completion	D2 - Separate submittal (e.g., reports/studies/ plans)
PC - Police Captain or designee	E - Operating	
FC - Fire Chief or designee	F - Prior to issuance of grading/building permits	
DPW - Director of Public Works or designee	G - Prior to approval of project plans and/or specifications	

Mitigation Measure No./ Implementation Action

Mitigation Measure No./ Implementation Action	Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
<p>AES-4: The Project developer and its successor(s) in interest inclusive of the HOA or Landscape Lighting and Maintenance District, if any, shall maintain perimeter walls, fencing, irrigation, and landscape in a satisfactory condition at all times. Parkways and other landscape features visible from the public right of way shall be maintained free of weeds and trash and graffiti shall be promptly removed.</p>	CDD,DPW	C,E	A2	
<p>AES-5: Rough Grading Plans, including a sheet detailing the location of the construction staging, shall be approved by the City Engineer, prior to grading permit issuance. The sheet pertaining to the construction staging shall include the following provisions:</p> <ul style="list-style-type: none"> The construction equipment and supply staging areas shall be at least 500 feet from the nearest residence off site. Staging areas shall be screened. During construction and grading, the construction contractor shall keep the site clear of all trash, weeds, and debris. Compliance with this measure is subject to periodic City inspections. The grading contractor shall minimize creation of large stockpiles of soil (in terms of height) to minimize visual impacts pursuant to the provisions of the grading and/or stockpile permit issued by the City Engineer pursuant to the provisions of MC Section 18.09, <i>Grading Permit Requirements</i>, and the requirements of the City Engineer. All temporary security lighting shall be designed and located so as to avoid intrusive effects on adjacent properties. Proper lighting techniques to direct light onsite and away from other properties shall be required to reduce light and glare impacts (including directional lighting away from reflective surfaces, use of non-reflective glass, low-intensity lighting, use of lighting baffles, and use of appropriate types of lighting fixtures). 	CE	C,F	A2,C2	
<p>AES-6: As part of the final design, improvement plan and grading plan review and approval process, the applicant shall design plans to preserve the existing oak tree along Highland Springs Avenue. If during this process it is determined that preservation is not feasible, the Applicant will utilize the following options to mitigate this impact.</p> <ul style="list-style-type: none"> A certified arborist shall evaluate the viability of transplanting the oak tree. If transplanting is deemed feasible by the arborist, the Project Applicant shall relocate the oak tree to a suitable location as approved by the City and verified by the arborist within the Project boundaries, or 	CP	C,D,F	A2,C2	

Responsible Person		Monitoring Frequency		Method of Verification	
CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection	
CP - City Planner or designee		B - Prior to construction		B2 - Other agency permit/ approval	
CE - City Engineer or designee		C - Throughout construction		C2 - Plan check	
BO - Building Official or designee		D - On completion		D2 - Separate submittal (e.g., reports/studies/ plans)	
PC - Police Captain or designee		E - Operating			
FC - Fire Chief or designee		F - Prior to issuance of grading/building permits			
DPW - Director of Public Works or designee		G - Prior to approval of project plans and/or specifications			

Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
<ul style="list-style-type: none"> If replacement is selected, the Project Applicant as "Replacement Option #1" shall replace the oak with a single oak tree contained in a minimum of a 60-inch box if readily available and suitable for transplanting at a suitable location approved by the City and verified by the arborist, or If replacement is selected, and Option 1 is not feasible, the Project Applicant shall replace the oak tree with 24-inch box oaks trees at a ratio of 3:1 at suitable locations approved by the City and verified by the arborist within the Project boundaries. 					
<p>AES-7: Prior to issuance of building permits, architectural plans, including detailed lighting specifications, shall be submitted for the review and approval by the City of Banning Community Development Director. The specifications shall be consistent with lighting standards included in the Specific Plan and shall meet or exceed the lighting standards contained in the City's Municipal Code. The lighting plans must demonstrate the following to the satisfaction of the City of Banning Community Development Director:</p> <ul style="list-style-type: none"> Use of low-sodium lamps of 4,050 lumens (maximum), to provide for adequate public safety and security; A lighting standard that is shielded to direct illumination downward and to limit casting light and glare on adjacent properties; Exterior lighting, including street lights, landscape lighting, parking lot lighting, and lighting of the interior of parks and trails shall be sufficient to establish a sense of well-being for the pedestrian and sufficient to facilitate recognition of persons at a reasonable distance. Type (lighting standard) and placement of lighting shall be to the satisfaction of the Community Development Director or designee and shall be consistent with the requirements of the City's most current lighting ordinance and the standards of the Specific Plan ; A minimum of one foot-candle at ground level overlap provided in all exterior doorways and vehicle parking areas, and on outdoor pedestrian walkways presented on a photometric plan; and Outdoor light fixtures that are not covered by the Specific Plan's lighting standards shall be subject to the City of Banning <i>Municipal Code</i>. 		CDD	C,F,G	A2,C2,D2 (lighting plans)	
Air Quality					

Responsible Person	Monitoring Frequency	Method of Verification
CDD – Community Development Director or designee	A - With each new development	A2 - Onsite inspection
CP - City Planner or designee	B - Prior to construction	B2 - Other agency permit/ approval
CE - City Engineer or designee	C - Throughout construction	C2 - Plan check
BO - Building Official or designee	D - On completion	D2 - Separate submittal (e.g., reports/studies/ plans)
PC - Police Captain or designee	E - Operating	
FC - Fire Chief or designee	F - Prior to issuance of grading/building permits	
DPW - Director of Public Works or designee	G - Prior to approval of project plans and/or specifications	

Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
AQ-1: Prior to issuance of any Grading Permit, the Director of Public Works and the Building Official shall confirm that the Grading Plan, Building Plans, and specifications stipulate that, in compliance with SCAQMD Rule 403, excessive fugitive dust emissions shall be controlled by regular watering or other dust prevention measures, as specified in the SCAQMD's Rules and Regulations. In addition, in accordance with SCAQMD Rule 402, the Applicant shall implement dust suppression techniques to prevent fugitive dust from creating a nuisance off-site. Implementation of the following measures are required: <ul style="list-style-type: none"> • All active portions of the construction site shall be watered at least twice daily to prevent excessive amounts of dust; • On-site vehicle speed shall be limited to 15 miles per hour; • All on-site permanent roads shall be paved, watered as needed, or chemically stabilized; • Visible dust beyond the property line which emanates from the project shall be prevented to the maximum extent feasible through the use of dust suppressant techniques identified above; • All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust prior to departing the job site; • Track-out devices shall be used at all construction site access points; • All delivery truck tires shall be watered down and/or scraped down prior to departing the job site; and • Replace groundcover on disturbed areas within the required timeframes identified in Rule 403. 		DPW,BO	C,F	A2,C2	
AQ-2: All trucks that are to haul excavated or graded material on-site shall comply with State Vehicle Code Section 23114 (Spilling Loads on Highways), with special attention to Sections 23114(b)(F), (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads. Prior to the issuance of grading permits, the Applicant shall coordinate with the appropriate City of Banning Engineer on hauling activities compliance.		DPW,BO	C,F	A2,C2	
AQ-3: Prior to the issuance of building permits, the City building official shall confirm that construction plans and specifications include the following measures, which shall be implemented to reduce ROG emissions resulting from application of architectural coatings:		DPW,BO	C,F	A2,C2	
Responsible Person		Monitoring Frequency		Method of Verification	
CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection	
CP - City Planner or designee		B - Prior to construction		B2 - Other agency permit/ approval	
CE - City Engineer or designee		C - Throughout construction		C2 - Plan check	
BO - Building Official or designee		D - On completion		D2 - Separate submittal (e.g., reports/studies/ plans)	
PC - Police Captain or designee		E - Operating			
FC - Fire Chief or designee		F - Prior to issuance of grading/building permits			
DPW - Director of Public Works or designee		G - Prior to approval of project plans and/or specifications			

Mitigation Measure No./ Implementation Action	Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
<ul style="list-style-type: none"> Contractors shall use high-pressure-low-volume (HPLV) paint applicators with a minimum transfer efficiency of at least 50 percent; Coatings and solvents with a ROG content lower than required under Rule 1113 shall be used; Construction and building materials that do not require painting shall be used where readily available; and Pre-painted construction materials shall be used where readily available. 				
<p>AQ-4: Prior to issuance of any Grading Permit, the Director of Public Works and the Building Official shall confirm that the Grading Plan, Building Plans and specifications stipulate that, in compliance with SCAQMD Rule 403, ozone precursor emissions from construction equipment vehicles shall be controlled by maintaining equipment engines in good condition and in proper tune per manufacturer's specifications, to the satisfaction of the City Engineer. A set of maintenance records shall be provided to the City before grading commences. The City Inspector shall be responsible for ensuring that contractors comply with this measure during construction.</p>	DPW, BO	C, F	A2, C2	
<p>AQ-5: Prior to issuance of any Grading Permit, the grading plan shall indicate dust management measures for review and approval by the City Engineer, to identify viable dust control measures and include a monitoring plan to be implemented throughout the construction phases of the Specific Plan. In accordance with the Specific Plan and City's Municipal Code, the dust management measures shall minimize wind-blown particles by including:</p> <ul style="list-style-type: none"> All applicable mitigation measures identified in this EIR (related to dust control) and otherwise required by the City or SCAQMD; An erosion and sediment control plan to minimize wind or waterborne transport of soil onto adjacent properties, streets, storm drains, or drainages; and A Revegetation Plan to address interim conditions between initial grading and final site development. The Revegetation Plan, although focused on the control of wind and water erosion, shall consider compatibility with fuel modification zone requirements, drought tolerant landscape requirements, and potential ongoing livestock grazing. Special techniques such as wind fences shall also be considered, to minimize surface soil and dust during high wind events. 	CE	C, F	A2, C2	

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CDD – Community Development Director or designee	A - With each new development	A2 - Onsite inspection
CP - City Planner or designee	B - Prior to construction	B2 - Other agency permit/ approval
CE - City Engineer or designee	C - Throughout construction	C2 - Plan check
BO - Building Official or designee	D - On completion	D2 - Separate submittal (e.g., reports/studies/ plans)
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<p>AQ-6: GPS-controlled “machine-guided grading”, or other equivalent grading techniques, shall be incorporated into Project grading plans, subject to review and approval by the City Engineer. The City Engineer shall approve the areas of the site where this technology shall be used.</p> <p>AQ-7: The following measures shall be implemented during construction to substantially reduce NOX related emissions. They shall be included in the Grading Plan, Building Plans, and specifications.</p> <ul style="list-style-type: none"> Off-road diesel equipment operators shall be required to shut down their engines rather than idle for more than five minutes, and shall ensure that all off-road equipment is compliant with the CARB in-use off-road diesel vehicle regulation and SCAQMD Rule 2449. The following note shall be included on all grading plans: “The City shall require construction contractors to utilize diesel powered construction equipment that meets EPA-Certified Tier III emissions standards, or higher according to the following: <ul style="list-style-type: none"> January 1, 2012, to December 31, 2014: All off-road diesel-powered construction equipment greater than 50 hp shall meet Tier 3 off-road emissions standards at a minimum. In addition, all construction equipment shall be outfitted with BACT devices certified by CARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control strategy for a similarly sized engine as defined by CARB regulations. Post-January 1, 2015: All off-road diesel-powered construction equipment greater than 50 hp shall meet the Tier 4 emission standards, where available. In addition, all construction equipment shall be outfitted with BACT devices certified by CARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control strategy for a similarly sized engine as defined by CARB regulations. A copy of each unit’s certified tier specification, BACT documentation, and CARB or SCAQMD operating permit shall be provided at the time of mobilization of each applicable unit of equipment. Encourage construction contractors to apply for AQMD “SOON” funds. 		CE	C,F	A2,C2	

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<p>Incentives could be provided for those construction contractors who apply for AQMD "SOON" funds. The "SOON" program provides funds to accelerate clean up of off-road diesel vehicles, such as heavy duty construction equipment. More information on this program can be found at the following website: http://www.aqmd.gov/tao/implementation/SOONProgram.htm</p> <ul style="list-style-type: none"> The contractor and applicant, if the applicant's equipment is used, shall maintain construction equipment engines by keeping them tuned and regularly serviced to minimize exhaust emissions. Low sulfur fuel for stationary construction equipment shall be required. This is required by SCAQMD Rules 431.1 and 431.2. Existing power sources (i.e., power poles) shall be used when available. Construction parking shall be located on-site where possible and shall be configured to minimize traffic interference. Obstruction of through-traffic lanes shall be minimized by providing temporary traffic controls such as flag persons, cones and/or signage during all phases of construction when needed to maintain smooth traffic flow. Construction shall be planned so that lane closures on existing streets are kept to a minimum. Construction operations affecting traffic shall be scheduled for off-peak hours, except in situations deemed necessary. Develop a traffic plan to minimize traffic flow interference from construction activities. The plan shall specify the times during which construction activities will occur and particular times when travel lanes cannot be blocked (e.g., peak traffic periods as directed by the affected City Engineer). The plans shall provide details regarding the placement of traffic control, warning devices and detours. As a supplement to the traffic plan, the construction contractor shall coordinate with the affected agency to determine the need for a public information program which would inform area residents, employers and business owners of the details concerning construction schedules and expected travel delays, detours, and blocking of turning movements lanes at intersections. The public information programs could utilize various media venues (e.g., newspaper, radio, television, telephone hot lines, internet website, etc.) to disseminate information such as: 					

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<ul style="list-style-type: none"> ○ Overview of project information ○ Weekly updates on location of construction zones; ○ Identification of street(s) affected by construction; ○ Times when construction activities will occur and when traffic delays, and blockage of intersection turning movements can be expected; and ○ Identification of alternate routes which could be used to avoid construction. 					
AQ-8: The potential future construction and implementation of an onsite WWTP shall require a Conditional Use Permit (CUP) to be approved by the City of Banning, as well as design review of the proposed site plan and building architecture, landscaping and lighting.		CDD	B, F, G	D2	
Biological Resources					
BIO-1: Prior to the commencement of grading during the nesting season (approximately mid-February through mid-August), all suitable habitat shall be surveyed for the presence of nesting birds by a qualified biologist prior to site disturbance. Should any active nests be located, construction must comply with Migratory Bird Treaty Act requirements, including a 300-foot construction buffer around active nests or avoiding construction during the nesting season if a 300-foot buffer is infeasible.		DPW (verify pre-construction survey), BO (verify monitoring & implementation)	B, C, F	A2, C2, D2	
BIO-2: A preconstruction clearance survey for burrowing owl will be performed within 30 days prior to ground disturbance in potentially suitable habitat within the site, pursuant to CDFG protocols. The preconstruction survey will include a 300-foot buffer if between February 1 and August 31 (nesting season) and a 100-foot buffer if outside of this period. If owls are found within the survey area during the nesting season, construction activities will not occur within 300 feet of the occupied burrows until nesting is completed. A qualified biologist must confirm that the nesting effort has been completed prior to the removal of the work buffer restriction. If owls are found within the disturbance footprint outside of the February 1 through August 31 period, passive relocation (e.g. use of one way doors and collapse of burrows) will occur. These surveys and mitigation for burrowing owl are consistent with Section 6.3.2, <i>Additional Survey Needs and Procedures</i> of the MSHCP.		DPW (verify pre-construction survey), BO (verify monitoring & implementation)	B, C, F	A2, C2, D2	
BIO-3: The applicant shall provide mitigation for the temporary disturbance to 9.22 acres of CDFG jurisdictional waters at a minimum 1:1 ratio, which includes approximately 0.02 acres of vegetated riparian habitat, and the temporary disturbance to 8.65 acres of Regional Board and		DPW (verify pre-construction)	B, C, F	A2, C2, D2	
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<p>USACE jurisdiction. The applicant shall provide mitigation for the permanent impact disturbance to 2.47 acres of CDFG jurisdiction, of which 0.41 acre consists of vegetated riparian habitat and the permanent disturbance to 1.17 acres of USACE jurisdiction, of which 0.01 acre consists of jurisdictional wetlands.</p> <p>The mitigation requirements will be determined through applicable regulatory permitting programs of CDFG, RWQCB, and USACE, and shall consist of minimum 1:1 mitigation through onsite restoration of 9.22 acres within the Smith Creek drainage and other onsite areas, which will be performed concurrently with development of the golf course (PAs 35 and 39) or alternative uses within these PAs and 1:1 mitigation through onsite restoration of 2.47 acres of permanent habitat within, or adjacent to, Smith Creek.</p>		survey), BO (verify monitoring & implementation)			
<p>BIO-4: Prior to the issuance of the grading permits the developer shall complete and submit all required protocol and habitat assessment studies required to demonstrate compliance with the MSHCP. Specifically, a DBESP (Determination of Biologically Equivalent or Superior Preservation), following approval of all required permits for the CDFG and USACE, shall be prepared, which shall be reviewed by the CDFG and USFWS and approved by City staff, in compliance with Section 6.1.2 of the MSHCP. The applicant shall implement the approved DBESP as a condition of the issuance of a grading permit and comply with all biological mitigation measures contained within the DBESP.</p>		CDD	B,C,D,E,F	B2,D2	
<p>BIO-5: The following mitigations shall be incorporated into the construction plans and specifications to minimize any potentially adverse construction impacts:</p> <ul style="list-style-type: none"> Construction areas will be watered regularly to control dust and minimize impacts to adjacent vegetation and wildlife habitat. Short-term stream diversions will be accomplished by use of gravel bags or other methods that will result in minimal in-stream impacts. Short-term diversions will be evaluated through the riparian/riverine component of the MSHCP Consistency analysis (Section 6.1.2) (refer to Mitigation Measure BIO-4) which will require a DBESP analysis to be prepared. In addition the 401, 404, and 1602 permitting processes will evaluate short-term impacts relative to stream diversions. All biological mitigation measures contained within the 401, 404 and 1602 approval conditions and DBESP shall be implemented pursuant to BIO-3 and BIO-4, respectively, which typically require 1:1 onsite restoration. Any mitigation beyond the 1:1 restoration of the original stream will be mitigated onsite through negotiations with CDFG, RWQCB, and 		DPW,BO	C,F	A2,D2	
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USACE: <ul style="list-style-type: none"> Equipment storage, fueling and staging areas will be sited on non-sensitive upland habitat types with minimal risk of direct discharge into riparian areas or other sensitive habitat types. The limits of jurisdictional disturbance, including the upstream, downstream along Smith Creek and lateral extents that are tributaries to Smith Creek, will be clearly defined and marked in the field. Monitoring personnel will review the limits of disturbance prior to initiation of construction activities. During construction, the placement of equipment within the stream or on adjacent banks or adjacent upland habitats occupied by Covered Species that are outside of the Project footprint will be avoided. Exotic, weedy plant species removed during construction will be properly handled to prevent sprouting or re-growth. Waste, dirt, rubble, or trash shall not be deposited in a conservation area or on native habitat. 					
Climate Change					
GHG-1: Prior to the issuance of building permits, the following measures shall be reflected on applicable tract maps, building permits, improvement plans, landscape plans and/or grading plans:					
a) Green Building Practices					
1) Water Conservation – All appliances such as showerheads, lavatory faucets and sink faucets shall comply with efficiency standards set forth in Title 20, California Administrative Code Section 1604(f). Title 24 of the California Administrative Code Section 1606(b) prohibits the installation of fixtures unless the manufacturer has certified to the California Energy Conservation compliance with the flow rate standards.		DPW,BO	A,F,G	A2,C2	
2) Water Conservation – Low-flush toilets shall be installed as specified in California State Health and Safety Code Section 17921.3 and the County Green Building Ordinance [as applicable in Riverside County].					
3) Water Conservation – All common area irrigation areas shall be operated by a					
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<p>computerized irrigation system which includes an on-site weather station/ET gage capable of reading current weather data and making automatic adjustments to independent run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. All common area irrigation controllers shall also include a rain-sensing automatic shutoff.</p> <p>4) Water Conservation – Common-area landscaping shall emphasize drought-tolerant vegetation. Plants of similar water use shall be grouped to reduce over-irrigation of low-water-using plants. Those irrigated areas not designed with drought-tolerant vegetation shall be gauged to use the minimum amount of water needed to maintain healthy vegetation.</p> <p>5) Water Conservation – Residential occupants shall be informed as to the benefits of low-water-using landscaping and sources of additional information related to water conservation documents.</p> <p>6) Water Conservation – Community Center or Recreational Facilities with a pool amenity shall be conditioned to provide and use a pool cover to reduce water evaporation and retain heat.</p> <p>7) Water Conservation – Water conservation standards shall be noted in the Tier 1 measures of the 2010 California Green Building Standards.</p> <p>8) Energy, Water, and Recycling –</p> <p>The builder shall be conditioned to provide the following:</p> <ul style="list-style-type: none"> • Energy efficient appliances; • Energy efficient indoor lighting • Water efficient smart controllers for landscaping • Water efficient plumbing in all buildings • Integrate recycling into residential home design. Create areas in the home to promote recycling (additional trash cans in cabinets, etc.) • Energy Efficiency standards shall be as noted in the Tier 1 measures of the 2010 California Green Building Standards. <p>9) Carbon Sequestration – The builder shall plant an average of approximately</p>					
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<p>40 trees per landscaped acre (where landscaping is provided) as a means to capture (sequester) carbon dioxide emissions and to provide shade to the buildings, which can decrease the need for air conditioning.</p> <p>10) Green Education Program - In order to increase awareness of green building practices and to promote water and energy conservation, the builder(s) shall develop and implement a green educational program. The program shall include but not necessarily be limited to a pamphlet that educates and promotes conservation practices that homeowners can implement, with specific guidance on landscaping with drought tolerant plants, use of efficient irrigation systems, compact fluorescent lighting, and other measures that help lower GHG emissions.</p> <p>11) Energy Efficient Outdoor Lighting – Lighting for public streets, parking areas, and recreation areas shall utilize energy efficient light and mechanical, computerized or photo cell switching devices to reduce unnecessary energy usage.</p> <p>12) Energy Conservation – Community Center or Recreational Facilities with a pool amenity shall be conditioned to install energy-efficient pumps and motors, such as variable speed motors.</p> <p>b) Solid Waste Measures</p> <p>1) Reuse and recycle construction and demolition waste (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard).</p> <p>2) Shall comply with state model ordinance AB 1327, Chapter 18 California Solid Water Reuse and Recycling Access Act of 1991, which requires interior and exterior storage areas for recyclables and green waste and adequate recycling containers located in public areas.</p> <p>c) Transportation and Motor Vehicles</p> <p>1) Limit idling time for commercial vehicles, including delivery and construction vehicles, pursuant to applicable SCAQMD and City requirements.</p> <p>2) Promote ride sharing programs e.g., by designating a certain percentage of parking spaces for ride sharing vehicles, designating adequate passenger loading and unloading and waiting areas for ride sharing vehicles, and providing a web site or message board for coordinating rides. The actual</p>					
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percentage of potential ride sharing vehicle spaces will be determined in coordination with the City Planning Director or designee based on square footage and use type (e.g., shopping center, office, fitness center, etc.) prior to approval of a site plan within the commercial land use Planning Areas.					
3) Provide adequate bicycle parking near non-residential building entrances to promote cyclist safety, security, and convenience. Provide facilities that encourage bicycle commuting (e.g., locked bicycle storage or covered or indoor bicycle parking).					
4) All golf carts and Neighborhood Electric Vehicles (NEVs) shall be electrical powered only.					
GHG-2: The Butterfield Specific Plan shall be conditioned to allow the following uses (as reflected on future tract maps and commercial site plans), to further promote renewable energy resources, including: <ul style="list-style-type: none"> a) Allowing rooftop solar on all structures, subject to City Municipal Code and related building permit provisions; b) Allowing electric vehicle charging stations at all commercial, park, golf course, multi-family residential, and school areas, subject to a Conditional Use Permit; and c) Allowing hydrogen vehicle fueling stations within the Commercial zone, subject to a Conditional Use Permit. 		DPW,BO	A,F,G	A2,C2	
GHG-3 As part of future tract map, grading plan, site plan and/or improvement plan submittals, the Applicant shall identify bus stop provisions along arterial streets, through consultation with the City Engineer and Banning Pass Transit, including stops on Highland Springs Road, Wilson Street, Highland Home Road, and F Street as determined appropriate.		CE	A,D,F,G	A,D,F,G	C2,D2 (site plans)
Cultural Resources					
CUL-1: The Project Applicant shall prepare a paleontological resource impact mitigation program (PRIMP) for the grading and excavation phase of the Project, including both on- and off-site activities. The PRIMP shall be submitted for review and approval prior to issuance of any grading permit, and shall conform to the guidelines of the County of Riverside and the Society of Vertebrate Paleontology, including the following: <ul style="list-style-type: none"> • A trained paleontological monitor shall be present during initial mass grading or deep trenching activities within the Project in sediment areas determined likely to contain 		CDD	C,F	A2,C2,D2	

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<p>paleontological resources. If paleontological resources are located within excavation, the monitoring program will change to full-time. The monitor shall be empowered to temporarily halt or redirect construction activities to ensure avoidance of adverse impacts to paleontological resources. The monitor shall be equipped to rapidly remove any large fossil specimens encountered during excavation. During monitoring, samples shall be collected and processed to recover microvertebrate fossils. Processing shall include wet screen washing and microscopic examination of the residual materials to identify small vertebrate remains.</p> <ul style="list-style-type: none"> Upon encountering a large deposit of bone, salvage of all bone in the area shall be conducted with additional field staff and in accordance with modern paleontological techniques. All fossils collected during the Project shall be prepared to a reasonable point of identification. Excess sediment or matrix shall be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of all material collected and identified shall be provided to the museum repository along with the specimens. A report documenting the results of the monitoring and salvage activities and the significance of the fossils will be prepared. All fossils collected during this work, along with the itemized inventory of these specimens, shall be deposited in a museum repository for permanent curation and storage. 					
<p>CUL-2: Prior to the issuance of a grading permit, an archaeological resource monitoring plan shall be developed by a qualified archaeologist. This plan shall include a grading observation schedule, to be maintained when initial mass grading occurs in upper soils, to identify and further evaluate any cultural resources that may be discovered in the Project area. A qualified archaeologist shall be retained to attend pre-grading meetings and to monitor earth moving activities, including clearing, grubbing, cutting, and trenching at the site. The archaeologist shall carefully inspect these areas to assess the potential for significant prehistoric or historic remains. If potential archaeological and historical resources are uncovered, the construction contractor shall cease grading operations in the vicinity of the find until further evaluation is undertaken to assess the discovery. Further subsurface investigation may be needed if the resource is determined unique or important for its prehistoric or historic information.</p>		CDD	C, F	A2, C2, D2	

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CUL-3: All earthmoving activity occurring within 30 meters of the on-site refuse scatter (LSA-PDH0601-H-2) shall be monitored by a qualified archaeologist. If archaeological remnants are discovered during monitoring, the archaeologist shall have the authority to divert construction in order to assess the significance of the find. Remnants shall be properly evaluated, documented, and deposited as applicable, consistent with State and local protocols.		DPW,BO	C	A2	
CUL-4: If previously unknown cultural resources, including human remains, are identified during grading activities, a qualified archaeologist shall be retained to assess the nature and significance of the find. If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner shall be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner shall notify the Native American Heritage Commission (NAHC), which shall determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 24 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.		DPW,BO	C	A2	
Geology, Soils, and Seismicity					
GEO-1: All structures on the Project site shall be constructed pursuant to the most current applicable seismic standards, as determined by the City as part of the tract map, grading plan, and building permit review processes, with building setbacks as recommended by the Project's Seismic Hazard Analysis (Geocon 2005). Design criteria developed for Project structures shall also be based on the most current standards of practice and design parameters suggested by the Structural Engineers Association of California based on the recommendations and amendments to the CBC by the Division of State Architect for specific types of buildings and occupancies.		DPW,BO	C,F	A2,C2	
GEO-2: A detailed analysis of site geotechnical conditions, field investigation and slope stability analyses shall be conducted as 40-scale grading plans for mass and fine grading are prepared in the course of the phased development of the Project site. These studies shall be submitted to the City Building Department or Building Official, and their recommendations incorporated into Project design to the satisfaction of the City Engineer, prior to the issuance of any grading permits, including those for mass grading, in areas where slopes of 10 feet or more in height		DPW,BO,CE	C,F	A2,C2,D2	
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are anticipated and/or where evidence of debris flows or past landslides is found.					
<p>GEO-3: The Project site shall be constructed pursuant to the following mitigation measure contained in the City of Banning General Plan EIR, Geotechnical Element:</p> <ul style="list-style-type: none"> During the site grading, all existing vegetation and debris shall be removed from areas that are to receive compacted fill. Any trees to be removed shall have a minimum of 95 percent of the root systems extracted. Man-made objects shall be over excavated and exported from the site. Removal of unsuitable materials may require excavation to depths ranging from 2 to 4 feet or more below the existing site grade. All fill soil, whether on site or imported, shall be approved by the individual Project soils engineer prior to placement as compaction fill. All fill soil shall be free from vegetation, organic material, cobbles and boulders greater than 6 inches in diameter, and other debris. Approved soil shall be placed in horizontal lifts or appropriate thickness as prescribed by the soils engineer and watered or aerated as necessary to obtain near-optimum moisture-content. Fill materials shall be completely and uniformly compacted to not less than 90 percent of the laboratory maximum density, as determined by American Society for Testing and Materials (ASTM) Test Method D-1557-78, or equivalent test method acceptable to the City Building Department. The project soils engineer shall observe the placement of fill and take sufficient tests to verify the moisture content, uniformity, and degree of compaction obtained. In-place soil density should be determined by the sand-cone method, in accordance with ASTM Test Method D1556-64 (74), or equivalent test method acceptable to the City Building Department. Finish cut slopes generally shall not be inclined steeper than 2:1 (horizontal to vertical). Attempts to excavate near-vertical temporary cuts for retaining walls or utility installation in excess of 5 feet may result in gross failure of the cut and may possibly damage equipment and injure workers. All cut slopes must be inspected during grading to provide additional recommendations for safe construction. Finish fill slopes shall not be inclined steeper than 2:1 (horizontal to vertical). Fill slope surfaces shall be compacted to 90 percent of the laboratory maximum density by either overfilling and cutting back to expose a compacted core or by approved 		DPW,BO,CE	C,F	A2,C2	

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<ul style="list-style-type: none"> mechanical methods. Foundation systems that utilize continuous and spread footings are recommended for the support of one- and two-story structures. Foundations for higher structures must be evaluated based on structure design and on-site soil conditions. Retaining walls shall be constructed to adopted building code standards and inspected by the Building Inspector. Positive site drainage shall be established during finish grading. Finish lot grading shall include a minimum positive gradient of 2 percent away from structures for a minimum distance of 3 feet and a minimum gradient of 1 percent to the street or other approved drainage course. Utility trench excavations in slope areas or within the zone of influence of structures should be properly backfilled in accordance with the following: <ul style="list-style-type: none"> (a) Pipes shall be bedded with a minimum of 6 inches of pea gravel or approved granular soil. Similar material shall be used to provide a cover of at least 1 foot over the pipe. This backfill shall then be uniformly compacted by mechanical means or jetted to a firm and unyielding condition. (b) Remaining backfill may be fine-grained soils. It shall be placed in lifts not exceeding 6 inches in thickness or as determined appropriate, watered, or aerated to near optimum moisture content, and mechanically completed to a minimum of 90 percent of the laboratory maximum density. (c) Pipes in trenches within 5 feet of the top of slopes or on the face of slopes shall be bedded and backfilled with pea gravel or approved granular soils as described above. The remainder of the trench backfill shall comprise typical on-site fill soil mechanically completed as described in the previous paragraph. 		DPW,BO	B,C,F	A2,B2,C2	
Hazards and Hazardous Materials					
HAZ-1: The grading plans shall indicate methods to address potential contamination discovered during construction, as well as safety considerations for on-site construction personnel and the general public. Details of the plan shall include, but not be limited, to the following: <ul style="list-style-type: none"> Procedures for identification of contaminated soil during earthmoving operations; 					

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<ul style="list-style-type: none"> Immediate measures to protect workers and the public from exposure to contaminated areas (e.g., fencing or hazard flagging, covering of contaminated soils with plastic, etc.) and prevent migration of the contaminants to the surrounding environment; and Steps to be taken following initial discovery of contaminated soils. Notification shall be made to the local environmental health officials and the City's construction inspector(s) immediately following identification of previously unknown contamination within the construction area. In the event hazardous substances are encountered during site grading, work shall immediately cease in the area and the property owner/developer shall retain a qualified hazardous materials engineer to assess the impacts and prepare a response plan using risk-based cleanup standards applicable to residential land use. Upon approval of the response plan by the Fire Department or other agency, as applicable, the engineer shall obtain any required permits, oversee the removal of such features and/or conduct the response work to the satisfaction of the Fire Department or other agency, as applicable, until closure status is attained. 				
<p>HAZ-2: As part of construction specifications, procedures for the fueling and maintenance of construction vehicles shall be required to minimize the potential for accidental release of hazardous materials. This shall include locating refueling and maintenance areas minimum of 500 feet from occupied residential uses. Drip plans shall be placed under motorized equipment when parked on the site to prevent soil contamination from dripping oil or other fluids.</p>	DPW,BO	C,F	A2,C2	
<p>HAZ-3: Hazardous construction waste management practices are to be implemented pursuant to the Best Management Practices contained in the California Stormwater BMP Handbook (2009)¹ and shall include the following:</p> <ol style="list-style-type: none"> All hazardous construction wastes as defined by Title 22 Division 4.5, or listed in 40 CFR Parts 110, 117, 261, or 302, including but not limited to petroleum products, concrete curing compounds, palliatives, septic wastes, stains, wood preservatives, asphalt products, pesticides, acids, paints, solvents, roofing tar, sandblasting grid mixed with lead-, cadmium-, or chromium based paints, asbestos, or PCBs, that 	DPW,BO	C,F	A2,C2	

¹ California Stormwater Quality Association, 2009 Construction BMP Handbook, 2010, accessed from <https://www.casqa.org/casqastore/entity/tabid/169/c-4-best-management-practice-bmp-handbooks.aspx> 3.10.11

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<p>cannot be reused or recycled shall be disposed of by a licensed hazardous waste hauler.</p> <p>2. Wastes shall be stored in sealed containers constructed of suitable material and shall be labeled as required by Title 22 CCR, Division 4.5 and 49 CFR Parts 172, 173, 178, and 179.</p> <p>3. Waste containers shall be stored in temporary containment facilities that should comply with the following requirements:</p> <p>a. Temporary containment facility shall provide for a spill containment volume equal to 1.5 times the volume of all containers able to contain precipitation from a 25 year storm event plus the greater of 10 percent of the aggregate volume of all containers or 100 percent of the largest tank within its boundary, whichever is greater.</p> <p>b. Temporary containment facility shall be impervious to the materials stored there for a minimum contact time of 72 hours.</p> <p>c. Temporary containment facilities shall be maintained free of accumulated rainwater and spills. In the event of spills or leaks, accumulated rainwater and spills should be placed into drums after each rainfall. These liquids shall be handled as a hazardous waste unless testing determines them to be non-hazardous.</p> <p>d. Sufficient separation shall be provided between stored containers to allow for spill cleanup and emergency response access.</p> <p>e. Incompatible materials such as chlorine and ammonia shall not be stored in the same temporary containment facility.</p> <p>d. Throughout the rainy season, temporary containment facilities shall be covered during non-working days and prior to rain events.</p> <p>4. Storage drums shall not be overfilled and wastes should not be mixed.</p> <p>5. Unless watertight, containers of dry waste shall be stored on pallets.</p> <p>6. Herbicides and pesticides shall not be over used. Only the amount needed shall be prepared. Apply surface dressings in several small applications as opposed to one large application. Allow time for infiltration and avoid excess material being carried off-site by runoff. Do not apply such chemicals immediately prior to rain events. All persons applying pesticides must be certified in accordance with federal and State</p>					

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7. Paint brushes and equipment for water and oil based paints should be cleaned within a contained area and shall not be allowed to contaminate soil, watercourses or drainage systems. Waste paints, thinners, solvents, residues, and sludges that cannot be recycled or reused shall be disposed of as hazardous waste by a licensed hazardous waste hauler. 8. Hazardous waste storage areas on-site shall be located away from storm drains or water courses and way from moving vehicles and equipment to prevent accidental spills. 9. Containment berms shall be used in fueling and maintenance areas and where the potential for spills is high. 10. Potentially hazardous waste shall be segregated from non-hazardous construction site debris. 11. Liquid or semi-liquid hazardous materials shall be stored in appropriate containers and under cover. 12. Hazardous waste collection sites shall be designated on-site away from watercourses and drainage systems, and shall be clearly labeled. 13. Hazardous materials shall be stored in containers and protected from vandalism. 14. All employees and subcontractors shall receive on-site training in hazardous waste storage and disposal procedures. 15. Areas treated with chemicals shall be identified with appropriate warning signage 16. Place a stockpile of spill clean-up materials where it will be readily accessible 17. Inspect and verify that activity-based BMPs are in place prior to the commencement of associated activities. While activities associated with the BMP are underway, BMPs shall be inspected on a weekly basis. 18. A copy of hazardous waste manifests shall be maintained on-site for access by City inspectors.		DPW, BO	C, D	B2, C2, D2	
HAZ-4 The abandoned well identified in the 2007 Converse Consultant's Technical Memorandum for the Butterfield Specific Plan shall be properly capped and any associated pipeline abandoned and/or removed from the site pursuant to applicable State and Federal Guidelines.					

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HAZ-5 Prior to issuance of grading permits, the following remediation efforts shall occur: <ul style="list-style-type: none"> The batteries, auto parts, tires and the diesel engine observed on the concrete pad next to the well and any associated fuel sources shall be removed and disposed of in compliance with all applicable regulations by waste haulers certified by the State for the handling and disposal of such wastes; Piles of asphalt debris and inert trash observed in various locations throughout the property shall be removed following their inspection by a hazardous waste consultant and, if required, by a cultural resource consultant, and the material removed and disposed of pursuant to all applicable laws and regulations. Prior to the removal of any potentially hazardous debris, additional environmental assessment and testing shall be completed pursuant to the recommendations of a certified environmental consultant and appropriate methods of handling and disposal shall be identified and implemented pursuant to existing (or then current) regulations and procedures for any particular hazardous waste or toxic material identified. 		DPW,BO	C,F,D	A2,C2,D2	
HAZ-6 The contractor shall ensure that precautions are taken to avoid the Southern California Gas Company pipeline observed crossing the property diagonally from the west-center of the Project site to the southeast corner and that may be present along the alignments of the proposed off-site infrastructure. Such precautions shall include calling Dig Alert prior to any construction activity to determine and mark the exact location of this pipeline and close coordination with Southern California Gas Company to ensure that appropriate measures are taken by SCGC, including potential reduction in pressure and on-site monitoring, to protect both workers and the pipeline from accidental damage during grading activities. The appropriate identification and setbacks shall be maintained in order to ensure the safety of adjacent properties.		DPW,BO	B,C	A2,C2	
HAZ-7: The Applicant shall ensure that the existing high pressure gas line is replaced by the operator with pipeline that is PUC-rated for location in residential areas. Replacement of the pipeline and required relocation shall occur prior to trenching for sewer, water and storm drain within 25 feet of the outer edge of the pipeline easement and/or prior to the issuance of building permits for residences located within 100 feet of the ultimate pipeline alignment and prior to the paving of any roads within the pipeline alignment. Unless directed otherwise by the PUC, wet utility crossings shall observe a minimum ten-foot vertical separation and ten-feet of horizontal separation from the pipeline, given the needed depth of utility services.		DPW,BO	C,D,G	A2,C2	
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Undergrounded electrical services shall observe a minimum 10 foot horizontal separation from the pipeline. The location of the pipeline shall be indicated with appropriate curbside notation and/or monuments at minimum 50-foot intervals along its route and by ground-level monumentation through the golf course, or at intervals required by the PUC.					
HAZ- 8: A permit shall be obtained from the Riverside County Fire Department (Banning Services Unit) and, if required, from the County Department of Environmental Health, prior to installation of any temporary above ground fuel storage tank on the Project site. <ul style="list-style-type: none"> A hazardous materials business plan consisting of an owner/operator page, a chemical description/inventory page, and a site map must be submitted with the application for permit. The storage area shall be kept free of weeds and extraneous combustible material. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be submitted with the tank plans. The tank shall be kept 50 feet from buildings and conspicuously marked with the name DIESEL and COMBUSTIBLE – KEEP FIRE AWAY. The tank shall be located within a secondary containment area such as earthen berms covered from end to end by a thick mil plastic. Concrete or steel may also be used to provide secondary containment. /show calculations for secondary containment on the Site Plan. The tank shall be secured to prevent movement on the containment surface or be mounted on metal skids (not on an elevated stilt rack). The project manager or contractor shall contact the fire department representative for inspections at the time prior to when product is put into the tank to verify compliance, AND at the time when the tank is removed from the site to check for evidence of ground contamination. 		DPW,BO,FC	B,D	B2,C2,D2 (Hazardous Materials Business Plan)	
HAZ-9: Prior to the approval of Final Tract maps, the City Engineer and Riverside County Fire Department (Banning Services Unit) shall discuss with the Applicant approximate locations of work activities and ingress and egress points in and out of the construction site to assure there					
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is adequate access and communications protocols for emergency response vehicles during each of the proposed construction phases.				
HAZ-10: Prior to the issuance of grading permits or road encroachment permits, a Traffic Management Plan providing safety control measures for area-wide streets that would be affected by construction traffic and activities must be prepared by a licensed civil or traffic engineer, to the satisfaction of the City Engineer, that would minimize safety hazards and emergency access impacts. The temporary measures in the Traffic Management Plan could include: flaggers, temporary lane restriping, temporary lanes, caution signs, reduced-speed zones, temporary detours, and other safety and traffic control devices.	DPW,CE	A,B,F	C2,D2	
HAZ-11: All proposed subdivisions within the Specific Plan project area shall be evaluated by the Fire Department to determine whether the Department's Urban-Wildland Interface requirements should be implemented as part of the development. If the Department determines that either an interim or permanent condition of high fire risk would be present, a Fuel Modification Plan that meets the then-current requirements of the Fire Department shall be prepared and shall be approved by the Fire Department prior to recordation of a Final Tract Map. Maintenance of interim fuel modification areas shall be the responsibility of the master Homeowners Association and/or the property owner and/or a LLMP and temporary maintenance easements shall be recorded over interim fuel modification areas. Such easements shall be quitclaimed when the Fire Department determines that additional new development has eliminated the need for fuel modification in these areas.	DPW,FC	A,D,E,F	A2,C2,D2	
HAZ-12: Seed mix used for the temporary re-vegetation of graded areas that will remain as undeveloped open space for a period of 6 months or more shall consist primarily of drought-tolerant grasses that may combine native and non-native species. These mixes include grasses that require little maintenance and do not grow tall, but do provide sufficient vegetative coverage to be effective in controlling wind and water-caused erosion. Defensible spaces as defined by the Fire Department pursuant to Chapter 49 of the California Fire Code shall be maintained around the exposed perimeters of subdivisions abutting un-irrigated grassland and/or chaparral through weed abatement, mowing, and other fuel reduction/modification strategies.	DPW,BO	C,D,E	A2,B2,C2	
HAZ-13: The applicant shall continue to provide annual fuel modification as required by City code. The annual fuel modification (thinning) shall also be conducted in the future development areas south of Highland Home Road extension as needed (which excludes PAs 50,	DPW,BO,FC	C,E	A2,B2,C2	
<div> <div>Responsible Person</div> <div>Monitoring Frequency</div> <div>Method of Verification</div> </div>				
CD0 – Community Development Director or designee	A - With each new development	A2 - Onsite inspection		
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51, 52, 60, 61 and 73, which shall remain natural until such time these areas are developed or require infrastructure improvements).					
Hydrology and Water Quality					
HWQ-1: The following measures shall be reflected in applicable Tentative Tract Maps (TTMs), site plans, grading plans, and/or improvement plans to the satisfaction of the City Engineer, prior to applicable plan/permit approval:					
1) All building pads within the Specific Plan shall be constructed so that they are free from flood hazard for the 100-year frequency storm by elevating finished floor elevations above the 100-year level of flood protection.					
2) The depths of flow in the Project's streets shall not exceed top of curb elevations for the 10-year frequency storm event.					
3) Streets shall be oriented to allow for maximum potential conveyance of regional flooding during significant storm events to expedite the passage of storm flows through the Specific Plan area.					
4) The Specific Plan will be phased so that 100-year flood protection is ensured in all areas of development. Interim improvements (such as temporary debris basin, earthen channels/berms, check dams, sand bag barriers,, or other temporary BMP and flood protection measures; refer to Mitigation Measure HWQ-1, bullet #6 and 7 below) shall be provided as development progresses to protect against flooding, erosion, siltation, and water quality impacts.		DPW,CE,BO	F	C2	
5) All subdivisions implemented as part of the Specific Plan shall be required to detain any incremental increase in drainage within the Project Boundary until the Riverside County Flood Control and Water Conservation District Master Drainage Plan ("Banning" – Zone 5) is fully implemented downstream of the Project site.					
6) Construction of each phase shall include an assessment of the size and flow patterns of the adjacent undeveloped areas of the Specific Plan site. Interim phase on-site facilities shall provide developed phases with required flood protection pursuant to Code.					
7) Temporary basins shall be constructed to meet detention requirements and earthen channels/berms shall be used to divert and convey flows during construction phases.					

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Noise					
<p>NOI-1: As a condition of approval of all grading and building permits, the Applicant shall comply with the following list of noise reduction measures, subject to inclusion of additional provisions at the discretion of the Building Official as appropriate:</p> <ul style="list-style-type: none"> Excavation, grading, and other noise-intensive construction activities related to the proposed Project shall be restricted to the hours of operation allowed under Section 8.44.090.E, Noise Prohibited – Unnecessary Noise Standard – Construction, Landscape Maintenance or Repair, of the City Municipal Code. Any deviations from these standards shall require the written approval of the City Building Official. The days and hours shall also apply to any servicing of equipment and to the movement of materials to and from the site. The developer shall require, as a condition of contract, that all construction equipment operating on the site be equipped with mufflers and sound control devices (e.g., intake silencers and noise shrouds) no less effective than those provided on the original equipment and no equipment shall have an unmuffled exhaust. The developer shall require all contractors, as a condition of contract, to maintain and tune-up all construction equipment to minimize noise emissions Stockpiling and vehicle staging areas shall be located a minimum of 500 feet from occupied residences, and screened from these uses by a solid noise attenuation barrier where necessary to achieve City Municipal Code-required noise attenuation levels. Solid noise attenuation barriers (temporary barriers or noise curtains) with a sound transmission coefficient (STC) of at least 20 shall be used along Project boundaries adjacent to sensitive receptors, where noise monitoring, performed by a qualified noise monitor, indicates exceedance of City Municipal Code noise levels for more than 15 minutes in any one hour period. Construction activities that occur outside the allowable hours per City standards 6 PM to 7 AM) shall require approval of the City Building Official based on demonstration of unusual circumstances and avoidance of significant impacts to neighboring sensitive receptors. Construction noise exceeding City standards (i.e., interior noise in excess of 50 dBA or exterior noise in excess of 65 dBA) and statutory time limits is anticipated, 					
			DPW,BO	C,F	A2,C2

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<p>shall require implementation of additional noise attenuation measures such as temporary noise “curtains” to reduce construction noise to meet City Standards, or offer the affected sensitive receptors the option of temporary relocation at the Developer’s expense for the duration of the impact.</p> <ul style="list-style-type: none"> All stationary construction equipment (e.g., air compressor, generators, etc.) shall be operated as far away from the residential and institutional uses as practicable. If necessary to meet the City’s noise standards, the equipment shall be shielded with temporary sound barriers, sound aprons, or sound skins to the satisfaction of the Building Official. In areas subject to potentially significant construction noise impacts, the developer shall be required to monitor and document compliance with all applicable noise level limits. Construction haul routes for large equipment and material import/export shall be specified to minimize the use of routes affecting sensitive receptors (e.g., residential, parks, hospitals, schools, convalescent homes, etc.). Construction phasing for individual subdivisions shall be designed to avoid the need for construction vehicles and related construction traffic to traverse occupied residential neighborhoods. In all cases, trucks shall utilize a route that is least disruptive to sensitive receptors. Construction trucks shall avoid weekday and Saturday AM and PM peak hours (7 AM to 9 AM and 4 PM to 6 PM). 					
<p>NOI-2: Prior to the issuance of each grading or building permit, the Applicant shall submit to the Building Official a proposed Construction Noise Monitoring Program to respond to and track complaints pertaining to construction noise, throughout demolition and/or grading. Throughout and/or grading, these measures shall include the following:</p> <ul style="list-style-type: none"> A procedure and phone numbers for notifying the City Building and Safety Department staff and Banning Police Department (during regular construction hours and off-hours); A sign prominently posted on-site containing the permitted construction days and hours and complaint procedures and the name and phone number of the person(s) to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor’s telephone numbers (during regular construction hours 		DPW,BO	B,C,F	A2,C2,D2	

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<p>and off-hours);</p> <ul style="list-style-type: none"> The designation of an on-site construction complaint and enforcement manager for the Project. The manager shall act as a liaison between the Project and its neighbors. The manager's responsibilities and authority shall include the following: <ul style="list-style-type: none"> An active role in monitoring project compliance with respect to noise; Ability to reschedule noisy construction activities to reduce effects on surrounding sensitive receivers; Site supervision of all potential sources of noise (e.g., material delivery, construction staging areas, construction workers, debris box pick-up and delivery) for all trades; Intervening or discussing mitigation options with contractors; and Conducting a preconstruction meeting shall be held with the job inspectors and the general contractor/on-site project manager to confirm that noise measures and practices (including construction hours, neighborhood notification, posted signs, etc.) are completed. 					
<p>NOI-3: The Applicant shall, through contract specifications, prohibit the use of any on-site construction equipment generating greater than 0.049 RMS (greater than 79 Vpd) within 25 feet of any sensitive use or limit the use of equipment exceeding this standard to less than 30 events per day.</p>		DPW,BO	C,F	A2,C2	
<p>NOI-4: Prior to the issuance of grading permits or encroachment permits for the improvement of Highland Home Road (aka Meridian Street) between future "D Street" and Wilson Street, an acoustical study shall be completed by the Applicant (using construction-level improvement plans and/or more detailed grading plans) and submitted to the City for review and approval. The acoustical study will specify additional specific noise attenuation measures necessary, if any, to ensure that the City of Banning's exterior and interior noise standards are met at adjacent residential properties. Appropriate attenuation measures could include a solid wall in the landscaped parkway between future Highland Home Road and the existing frontage street.</p>		DPW,BO	C,F	A2,C2,D2	
<p>NOI-5: Prior to the issuance of building permits for non-residential uses (such as commercial areas, wastewater treatment plant, and the golf course clubhouse), the Applicant shall prepare a site-specific construction level noise analysis, analyzing potential on and off site noise impacts, based upon detailed grading plans, improvement plans and site plans. The grading,</p>		DPW,BO	C,F	A2,C2,D2	
Responsible Person		Monitoring Frequency		Method of Verification	
CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection	
CP - City Planner or designee		B - Prior to construction		B2 - Other agency permit/ approval	
CE - City Engineer or designee		C - Throughout construction		C2 - Plan check	
BO - Building Official or designee		D - On completion		D2 - Separate submittal (e.g., reports/studies/ plans)	
PC - Police Captain or designee		E - Operating			
FC - Fire Chief or designee		F - Prior to issuance of grading/building permits			
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Mitigation Measure No./ Implementation Action	Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials																																																
site and/or improvement plans for these uses shall include the location of stationary noise sources, such as loading docks, air conditioning units, trash hauling and trash compactors (noise from trash pickup and compacting results from the use of hydraulic equipment to raise and lower the metal trash bins and to compact their contents), and drive-thru lanes. The noise analysis shall evaluate the potential noise impacts to the existing and proposed noise sensitive homes near the commercial areas of the project. In the event the analysis shows that noise levels for any adjacent sensitive receptor(s) would exceed applicable standards, measures shall be required to reduce noise to levels to within applicable standards, including providing enclosures for stationary sources (such as pump stations and air conditioners), and providing walls or siting to attenuate mobile or stationary sources from receptors (such as loading bays). The analysis shall be subject to review and approval by the City Building Official and shall ensure compliance with applicable exterior and interior noise standards.																																																				
Public Services and Utilities																																																				
PSU-1: Applicant shall communicate and work with the Fire Chief throughout Project development to determine the appropriate timing for a potential addition of a fire response unit (medic squad, fire engine), or the need for a fire station that is conceptually located in PA 60 but could be located in any Planning Area as described within the Specific Plan. When the fire station or a response unit is determined to be necessary, the Applicant shall fund and/or construct the fire response unit and/or fire station and would subsequently be credited the cost of the fire response unit or fire station towards the dedication of fire fees.	FC	C	B2																																																	
PSU-2: The Project shall incorporate the principles of defensible space as defined by the U.S. Department of Housing and Urban Development Office of Policy Development and Research in the design of cluster housing and/or multifamily housing within the proposed Project to reduce the impact of such development on police services. These principles shall be incorporated through inclusion of the following design solutions: <ul style="list-style-type: none">• Orienting the front doors and living area windows to the public street without providing “protection” of walls and fencing while providing back doors in these same units that allow access to more secure play areas and open space.• Clustering parking in close proximity to units or the must provide enclosed garages or semi-subterranean parking garages that can be secured.• Providing motion-activated security lighting.	DPW,BO	A,G	C2																																																	
<table><tr><th colspan="2">Responsible Person</th><th colspan="2">Monitoring Frequency</th><th colspan="2">Method of Verification</th></tr><tr><td colspan="2">CDD – Community Development Director or designee</td><td colspan="2">A - With each new development</td><td colspan="2">A2 - Onsite inspection</td></tr><tr><td colspan="2">CP - City Planner or designee</td><td colspan="2">B - Prior to construction</td><td colspan="2">B2 - Other agency permit/ approval</td></tr><tr><td colspan="2">CE - City Engineer or designee</td><td colspan="2">C - Throughout construction</td><td colspan="2">C2 - Plan check</td></tr><tr><td colspan="2">BO - Building Official or designee</td><td colspan="2">D - On completion</td><td colspan="2">D2 - Separate submittal (e.g., reports/studies/ plans)</td></tr><tr><td colspan="2">PC - Police Captain or designee</td><td colspan="2">E - Operating</td><td colspan="2"></td></tr><tr><td colspan="2">FC - Fire Chief or designee</td><td colspan="2">F - Prior to issuance of grading/building permits</td><td colspan="2"></td></tr><tr><td colspan="2">DPW - Director of Public Works or designee</td><td colspan="2">G - Prior to approval of project plans and/or specifications</td><td colspan="2"></td></tr></table>					Responsible Person		Monitoring Frequency		Method of Verification		CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection		CP - City Planner or designee		B - Prior to construction		B2 - Other agency permit/ approval		CE - City Engineer or designee		C - Throughout construction		C2 - Plan check		BO - Building Official or designee		D - On completion		D2 - Separate submittal (e.g., reports/studies/ plans)		PC - Police Captain or designee		E - Operating				FC - Fire Chief or designee		F - Prior to issuance of grading/building permits				DPW - Director of Public Works or designee		G - Prior to approval of project plans and/or specifications			
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Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
<ul style="list-style-type: none"> Clustering multifamily units around shared courtyard spaces with appropriate amenities that draw residents into the common area and encourage the development of relationships between neighbors through interaction in the public domain (See Oscar Newman, <i>Creating Defensible Space</i>, 1996, Institute for Community Design Analysis, US Department of Housing and Urban Development, Office of Policy Development and Research for applicable guidelines and design criteria.) 					
PSU-3: The Project shall include potential school sites within the development by designating and setting aside two 11+ acre Planning Areas (i.e., PA 68 for Banning Unified School District and PA 20 for Beaumont Unified School District) to increase available school facilities. (The intent of Mitigation Measure PSU-3 is to initially designate and set aside each of the two 11+ acre Planning Areas, then offer these sites to the School Districts for sale or fee credit. In the event that one or both of the Districts choose to not accept the site, the Applicant may opt to implement the residential overlay on the corresponding school site, which would permit medium-density residential development at 10 du/ac).		CDD	C	B2 ⁴	
PSU-4: Offsite infrastructure improvements (identified in Section 3.6.3) shall comply with all of the same mitigation measures for onsite facilities, as applicable. Off-site above-ground facilities shall provide for a general biological assessment by a qualified biologist. If sensitive resources are determined to be present, those resources shall be assessed and/or delineated, mitigation measures shall be developed and imposed.		DPW,BO (fair market compensation), CDD (biological assessment)	B,F	C2, D2	
PSU-5: Prior to the issuance of building permits for an onsite satellite WWT, the City must prepare a site-specific construction-level noise analysis analyzing potential on- and off-site noise impacts. In addition, the analysis shall evaluate the potential noise impacts to existing and proposed sensitive receptors. Construction and implementation of the wastewater treatment plant would require a Conditional Use Permit (CUP) to be approved by the City of Banning, as well as design review of the proposed site plan and building architecture, landscaping and lighting. Compliance with the existing regulations (specified under Impact 4.8-1) and on-going monitoring of the plant's operations would reduce potential impacts associated with the routine use, handling, transport, and storage of hazardous materials.		CDD	G	D2	
PSU-6: The operator of the Butterfield Specific Plan Golf Course shall prepare and implement a Operational Waste Management Plan that incorporates the Best Management Practices for the management of green waste recommended by the Golf Course Superintendent Association of		DPW,BO	E,G	A2,D2	
Method of Verification					
Responsible Person		Monitoring Frequency		Method of Verification	
CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection	
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Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
America (GCSAA) including separate collection and recycling of green waste by a licensed hauler and recycling facility, on-site use of green waste for landscape mulching, and other methods acceptable to the City and the SCAQMD so as to reduce the facility's impact on landfill capacity.					
Traffic and Transportation					
<p>TRF-1: If not constructed by the City or others, the Applicant shall construct road improvements identified in Table 4.13-9, Summary of Future Improvements ("Existing plus Project" improvements in the City of Banning only). These improvements include portions on Highland Springs Avenue in the City of Beaumont, between I-10 and Brookfield, but exclude locations that are deemed by the affected jurisdiction(s) to be infeasible due to impacts of ROW acquisition. If constructed by the Applicant, the cost of these improvements shall be credited against applicable City fees, and/or shall be eligible for reimbursement agreements with the City and/or third parties. The improvements listed in Table 4.13-9 shall be consistent with the General Plan Circulation Element.</p>		DPW,CE	A,D	C2	
<p>TRF-2: As part of each Final Tract Map, or appropriate group of maps, the Applicant shall prepare a TIA Validation Report (TVR) based on the criteria provided herein for review and approval by the City Engineer. Final Tract Map approvals resulting in less than 500 p.m. peak hour trips (Exempt Maps) shall not require a TVR unless the cumulative total of prior approved Exempt Maps exceeds 1,000 p.m. peak hour trips since the last TVR.</p> <p>The TVR shall identify which of the Existing Plus Project improvements identified in Table 4.13-9, are required to be constructed for the respective Final Tract Map, to ensure adequate emergency access and satisfactory levels of service. "Existing plus Project" improvements in the City of Banning identified in an approved TVR shall be conditions of Final Tract Map approval. To the extent that any of the improvements mentioned above are included in a fee program, the cost for those improvements, if constructed by the Applicant, will be eligible for fee credits.</p> <p>The ongoing traffic impact assessment program will be based on the p.m. peak-hour trip threshold. The Final Tract Maps' total number of p.m. peak hour trips will be established based on the trip generation listed in Table 4.13-7, Project Trip Generation. If a portion of commercial development and some residential development is included in the Final Tract Map, the total number of trips generated by each use (commercial and residential) will be calculated for the p.m. peak hour and compared to a predefined threshold.</p>		DPW,CE	A,F	C2,D2	

Responsible Person	Monitoring Frequency	Method of Verification
CDD – Community Development Director or designee	A - With each new development	A2 - Onsite inspection
CP - City Planner or designee	B - Prior to construction	B2 - Other agency permit/ approval
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Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
Recognizing the variety of land use options, overlays and permitted or conditionally permitted uses, the TVR will also be used to verify , as the Project builds out, that the Project's total peak hour trips are consistent with the assumptions in the Project TIA.					
TRF-3: Improvement plans shall be prepared for each Project-related offsite traffic improvement and approved by the City Engineer. Improvement plans shall incorporate the following considerations, as applicable:					
a) Obtain encroachment permit(s) from the applicable jurisdiction(s) for offsite improvements; b) Through creative design techniques, where determined appropriate and consistent with City policy, modify roadway geometry to reduce potential impacts to existing developed areas (such as reduced lane widths, reduced or eliminated medians, reduced turn lane transition zones, and/or shifting intersection approaches to widen intersection quadrants where associated impacts would be reduced); c) Maintain access for existing residences and businesses at all times; d) Replace landscaped areas within the affected parcel and along the parcel frontage wherever practical; e) Assist the affected property owner in re-striping affected parking areas and/or reconfiguring affected driveways to avoid or offset improvement-related impacts; f) Follow applicable Project EIR mitigation measures related to biological resources (i.e., BIO-1 through BIO-5), with respect to minimizing loss of native vegetation, replacement or relocation of mature trees, use of native and/or drought tolerant vegetation in new landscaped areas, and ensuring consistency with applicable MSHCP and regulatory agency permitting provisions; and g) Compensate the affected property owner based on fair market valuation of the acquired ROW in accordance with applicable local, State and federal regulations.		CE	A,G	A2,C2	
TRF-4: The applicant shall pay a fair share toward cumulative impacts not otherwise captured in existing fee programs, funding sources or in lieu improvements noted above, if such a program is in place at the time of building permit issuance, based on project contribution percentages identified in Table 4.13-16.		DPW,BO	A,D	C2	
Water Supply					
Responsible Person		Monitoring Frequency		Method of Verification	
CDD – Community Development Director or designee		A - With each new development		A2 - Onsite inspection	
CP - City Planner or designee		B - Prior to construction		B2 - Other agency permit/ approval	
CE - City Engineer or designee		C - Throughout construction		C2 - Plan check	
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Mitigation Measure No./ Implementation Action		Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/ Initials
WS-1: With respect to the City's Banning, Banning Bench, Banning Canyon, and Cabazon groundwater supplies, the City will: <ol style="list-style-type: none"> Periodically, conduct a groundwater audit that evaluates groundwater level trends, production rates, groundwater quality or other aquifer/well/pump considerations from the previous year (through use of a on-going groundwater monitoring and data collection system). Develop a groundwater model to allow accurate simulation of groundwater flow and groundwater quality (including potential impacts by recharge of recycled water) in the City of Banning groundwater resource area. Additionally, to avoid injury to other legal users of the Cabazon Basin, the City will: <ol style="list-style-type: none"> Site any new well so as to not result in material interference to existing wells. 		DPW	E	D2	
WS-2: Additionally, to guard against the potential adverse effects of climate change on the City's water supplies, the City will: <ol style="list-style-type: none"> Continue to manage its imported and surface water supplies conjunctively with its groundwater supplies to maximize opportunities for groundwater storage. Continue to monitor expert technical analyses of the impacts of climate change on surface and groundwater supplies and incorporate any recommendations into the City's water supply planning efforts. Continue to practice and promote integrated flood management. The City will incorporate climate change findings into infrastructure design and continue to integrate water and land use practices, such as encouraging new developments to capture and treat stormwater onsite. New water infrastructure will be designed to operate under a wide range of conditions and will consider climate change impacts. Continue to diversify its portfolio through increased water use efficiency and aggressive demand reductions achieved by existing and new conservation programs. The development and use of a new recycled water supply will further diversify the City's portfolio and reduce potable water demands. Continue to further develop regional alliances with cities, water districts and water agencies to integrate, improve and develop regional water management. 		DPW	E	D2	

Responsible Person	Monitoring Frequency	Method of Verification
CD0 – Community Development Director or designee	A - With each new development	A2 - Onsite inspection
CP - City Planner or designee	B - Prior to construction	B2 - Other agency permit/ approval
CE - City Engineer or designee	C - Throughout construction	C2 - Plan check
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Butterfield Specific Plan Project

Addendum Modifications to the Mitigation Monitoring and Reporting Program

Project File No.: _____ Applicant: _____

EIR Prepared by: _____ Date: _____

Mitigation Measures No./Implementation Action	Responsible for Monitoring	Timing of Verification	Method of Verification	Verified Date/Initials
<p>Mitigation Measure AQ-7: The following measures shall be implemented during construction to substantially reduce nitrogen oxides (NOx)-related emissions. They shall be included in the Grading Plan, Building Plans, and specifications.</p> <ul style="list-style-type: none">• Off-road diesel equipment operators shall be required to shut down their engines rather than idle for more than 5 minutes, and shall ensure that all off-road equipment is compliant with the California Air Resources Board (ARB) in-use off-road diesel vehicle regulations and SCAQMD Rule 2449.• The following note shall be included on all grading plans: “The City shall require construction contractors to utilize diesel powered construction equipment that meets EPA-certified Tier III emissions standards, or higher according to the following: January 1, 2012, to December 31, 2014: All off-road diesel-powered construction equipment greater than 50 hp shall meet Tier 3 off-road emissions standards at a minimum. In addition, all construction equipment shall be outfitted with best available control technology (BACT) devices certified by ARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control				

<p>strategy for a similarly sized engine as defined by ARB regulations.</p> <p>Post January 1, 2015: All off-road diesel-powered construction equipment greater than 50 hp shall meet the Tier 4 emission standards, where available. In addition, all construction equipment shall be outfitted with BACT devices certified by ARB. Any emissions control device used by the contractor shall achieve emissions reductions that are no less than what could be achieved by a Level 3 diesel emissions control strategy for a similarly sized engine as defined by ARB regulations.”</p> <ul style="list-style-type: none"> • A copy of each unit’s certified tier specification, BACT documentation, and ARB or SCAQMD operating permit shall be provided at the time of mobilization of each applicable unit of equipment. • Construction contractors are encouraged to apply for AQMD “SOON” funds. Incentives could be provided for those construction contractors who apply for AQMD “SOON” funds. The “SOON” program provides funds to accelerate clean up of off-road diesel vehicles, such as heavy duty construction equipment. More information on this program can be found at the following website: http://www.aqmd.gov/tao/Implementation/SOONProgram.htm.” • The contractor and the Applicant, if the Applicant’s equipment is used, shall maintain construction equipment engines by keeping them tuned and regularly serviced to minimize exhaust emissions, as required by SCAQMD Rules 431.1 and 431.2. • Existing power sources (i.e., power poles) shall be used when available. This measure would minimize the use of higher polluting gas or diesel generators. • Construction parking shall be located on the site where possible and shall be configured to minimize traffic interference. 				
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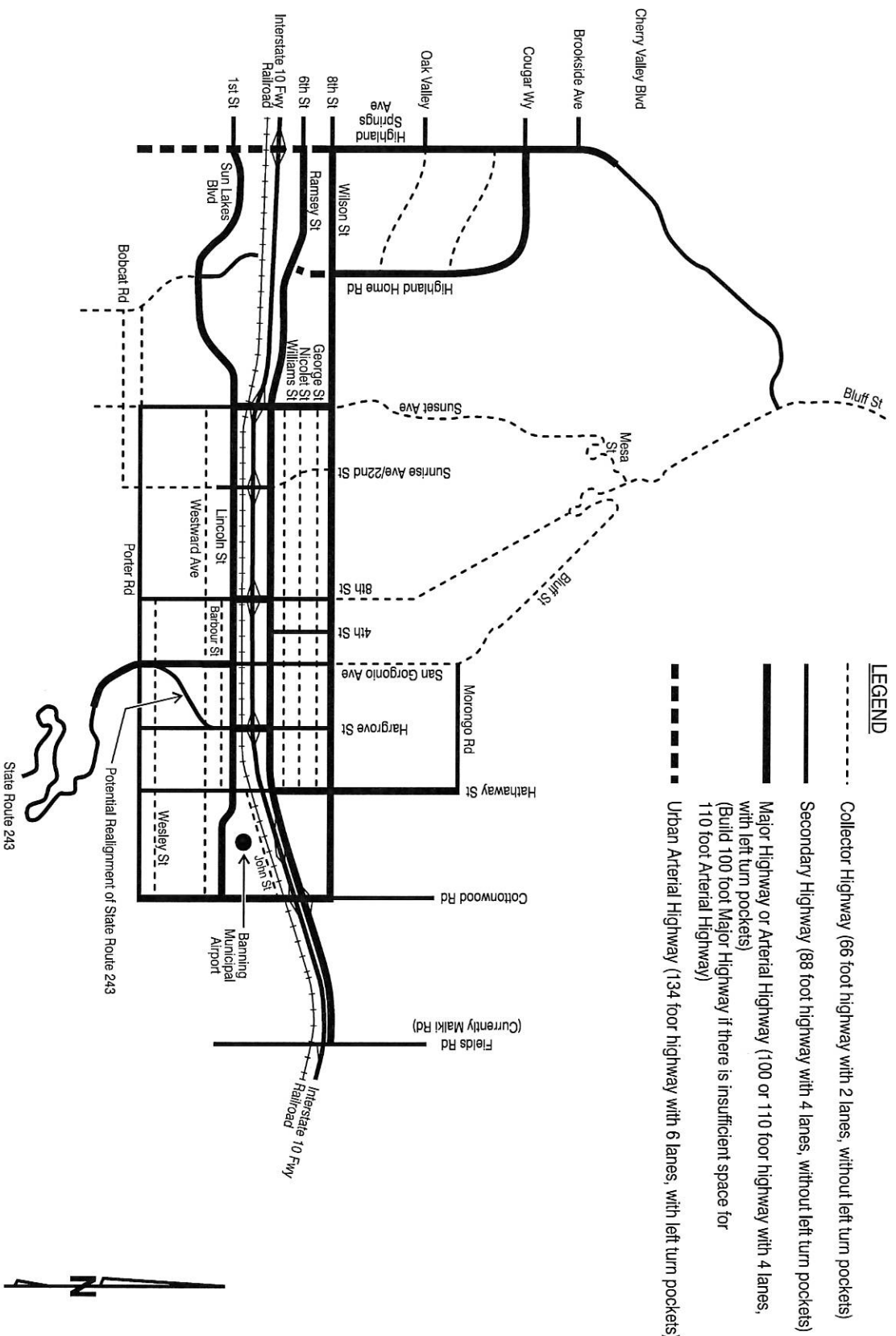
<ul style="list-style-type: none"> • Obstruction of through-traffic lanes shall be minimized by providing temporary traffic controls such as flag persons, cones, and/or signage during all phases of construction when needed to maintain smooth traffic flow. Construction shall be planned so that lane closures on existing streets are kept to a minimum. • A traffic plan shall be developed to minimize traffic flow interference from construction activities. The plan shall specify the times during which construction activities would occur and particular times when travel lanes cannot be blocked (e.g., peak traffic periods as directed by the affected City Engineer). The plans shall provide details regarding the placement of traffic control, warning devices, and detours. As a supplement to the traffic plan, the construction contractor shall coordinate with the affected agency to determine the need for a public information program that would inform area residents, employers, and business owners of the details concerning construction schedules and expected travel delays, detours, and blocking of turning movements lanes at intersections. The public information programs could utilize various media venues (e.g., newspaper, radio, television, telephone hot lines, or internet website, etc.) to disseminate information such as: <ul style="list-style-type: none"> ◦ Overview of project information ◦ Weekly updates on location of construction zones; ◦ Identification of street(s) affected by construction; ◦ Times when construction activities would occur and when traffic delays, and blockage of intersection turning movements can be expected; and ◦ Identification of alternate routes that could be used to avoid construction delays. 				
Mitigation Measure BIO-3: The Applicant shall provide compensatory mitigation for the temporary disturbance to CDFW jurisdictional waters, which includes approximately				

0.41 acre of vegetated riparian habitat, and the temporary disturbance to RWQCB and USACE jurisdiction, none of which consists of jurisdictional wetlands. The mitigation requirements will be determined through applicable regulatory permitting programs of the CDFW, the RWQCB, and the USACE, and shall consist of minimum 1:1 mitigation primarily through onsite restoration within the Smith Creek drainage and other on-site areas, which will be performed concurrently with development of the golf course (Planning Areas [PA] 35 and 39) or alternative uses within these Planning Areas 35 and 39 (the golf course/open space PAs uses, including various combinations of parks, trails, native habitat, drainage facilities, water quality improvements, groundwater recharge areas, and wetland mitigation areas).				
<p>Mitigation Measure CHG-2: The Butterfield Specific Plan shall be conditioned to allow the following uses (as reflected on future tract maps and commercial site plans), to further promote renewable energy resources, including:</p> <ul style="list-style-type: none"> • Allowing rooftop solar on all structures, subject to City Municipal Code and related building permit provisions; allowing electric vehicle charging stations at all commercial, park, golf course, multifamily residential, and school areas, subject to a Conditional Use Permit; and allowing hydrogen vehicle fueling stations 				
<p>Mitigation Measure PSU-6: The operator of the Butterfield Specific Plan Golf Course shall prepare and implement an Operational Waste Management Plan that incorporates to the extent feasible the Best Management Practices for the management of green waste recommended by the Golf Course Superintendent Association of America (GCSAA) including separate collection and recycling of green waste by a licensed hauler and recycling facility, on-site use of green waste for landscape mulching, and other methods acceptable to the City</p>				

and the SCAQMD so as to reduce the facility's impact on landfill capacity.				
<p>Mitigation Measure TRF-2: As part of each Final Tract Map, or appropriate group of maps, the Applicant shall prepare a Traffic Impact Analysis Validation Report (TVR) based on the criteria provided herein for review and approval by the City Engineer. Final Tract Map approvals resulting in less than 500 p.m. peak hour trips (Exempt Maps) shall not require a TVR, unless the cumulative total of prior approved Exempt Maps exceeds 1,000 p.m. peak hour trips since the last TVR. The TVR shall identify which of the Existing plus Project improvements identified in Table 4.13-9 are required to be constructed for the respective Final Tract Map, to ensure adequate emergency access and satisfactory levels of service. Improvements identified in an approved TVR shall be conditions of Final Tract Map approval. To the extent that any of the improvements mentioned above are included in a fee program, the cost for those improvements, if constructed by the Applicant, will be eligible for fee credits.</p> <p>The ongoing traffic impact assessment program will be based on the p.m. peak hour trip threshold. The Final Tract Maps' total number of p.m. peak hour trips will be established based on the trip generation listed in Table 4.13-7, Project Trip Generation, Table 3.1, <i>Project Trip Generation Comparison</i>. If a portion of commercial development and some residential development is included in the Final Tract Map, the total number of trips generated by each use (commercial and residential) will be calculated for the p.m. peak hour and compared to a predefined threshold. Recognizing the variety of land use options, overlays and permitted or conditionally permitted uses, the TVR will also be used to verify , as the Project builds out, that the Project's total peak hour trips are consistent with the assumptions in the project Traffic Impact Analysis.</p>				

<p>Mitigation Measure TRF-4: The Applicant shall pay a fair share toward cumulative impacts not otherwise captured in existing fee programs, funding sources, or in lieu improvements noted above, if such a program is in place at the time of building permit issuance, based on project contribution percentages identified in Table 4.13-16 of the Specific Plan EIR, with the exception of the intersections included in the Project study area for the 2016 Traffic Impact Analysis, as outlined in Table 4.13-16A.</p>				
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Exhibit B
General Plan Exhibits



**Banning General Plan
 Proposed General Plan Street System**



Exhibit

III-6

Table III-17
Buildout Roadway Classifications

Roadway Classification	Roadway
<u>Urban Arterial Highway</u> (6 lanes with left turn pockets)	Highland Springs from Cherry Valley to Potrero Blvd.
<u>Major or Arterial Highway</u> (4 lanes with left turn pockets)	Highland Home from Highland Springs Avenue to Sun Lakes Blvd. Highland Springs from Cherry Valley Blvd. to Wilson Street Hathaway from Morongo St. to I-10 Sunset from Wilson to Lincoln 8 th Street from Ramsey to Lincoln San Gorgonio from Lincoln to south City Limit Hargrave from Ramsey to Lincoln Cottonwood (North – South) from Ramsey to Porter Wilson from Highland Springs to Cottonwood (North – South) Ramsey from Highland Springs to Fields Rd. Sun Lakes/Lincoln from Highland Springs to Cottonwood (North – South)
<u>Secondary Highway</u> (4 lanes without left turn pockets)	Porter from Sunset to Cottonwood (North – South) Sunset from Wilson to Mesa Sunset from Lincoln to Porter 22 nd Street from Ramsey to south of Lincoln 8 th Street from Wilson to Ramsey 8 th Street from Lincoln to Porter 4 th Street from Wilson to Ramsey San Gorgonio from Wilson to Lincoln Hargrave from Wilson to Porter Hathaway from Ramsey to Porter Cottonwood (North – South) from Ramsey northward Cottonwood (North – South) from Porter southward Fields Road from end to end

Highland Home Road/-Highland Springs

The extension of Highland Home could connect to the west at Cougar Way in Beaumont. Further, Highland Springs is planned to extend to the northeast to Bluff Street, to provide access to the Black Bench area, and a second connection from the Banning Bench to the City. This connection could also be made through the extension of 18th Street to the northeast.

In all cases, traffic flow will not be significantly affected, insofar as traffic volumes on these streets in this area are not expected to be high. The Recommended General Plan Street System shows these streets in their currently envisioned configuration. However, as development occurs and the feasibility of the extensions is considered, flexibility is included in this General Plan to allow changes to the street system in the future.

At Grade Railroad Crossings

The City has two grade separated railroad crossings at streets with I-10 interchanges. The other four existing or planned interchanges must also be improved to include grade separations, in order to maintain acceptable levels of service. A grade separation is included in the Transportation Uniform Mitigation Fee (TUMF) program for the Sunset Avenue interchange. The others are not in the TUMF program.

The City will need to aggressively pursue grade separations for the railroad tracks at all interchanges. This should include the preparation of feasibility studies, the securing of all available funding, and the cooperation of the development community. Although construction of these facilities may not occur in the near term, the planning must be initiated immediately, in order for the City to be able to implement the construction in the future.

Lincoln Street and Westward avenue west of Sunset Avenue

The 1994 Circulation Element included the extension of both Lincoln and Westward from Highland Home to Sunset. Both these roadways occur currently east of Sunset. West of Highland Home, only one roadway, Sun Lakes Boulevard, currently occurs. The traffic study for this General Plan considered the traffic volumes generated south of I-10 on Sunset, and the potential volumes for Lincoln and Westward east of Sunset. The study found that Westward will have sufficiently low volumes so as to require a 2 lane collector east of Sunset. Lincoln is projected as a Major Highway from Highland Home easterly, as is Sun Lakes Boulevard. Traffic volumes will result in Level of Service (LOS) C or better for both Lincoln and Westward in this area. Therefore, the elimination of Westward west of Sunset will not have a negative effect on east-west traffic south of I-10.

Level of Service Policy

The traffic study for the 2013 General Plan Amendment to revise the city-wide LOS standards, Amendment found that the City will be able to maintain LOS D on City streets. LOS D does not represent a significant degradation in traffic flow. When balancing the need for an efficient traffic system and the widening of streets to accommodate peak hour traffic, it appears that changing the City's requirement from LOS C to LOS D will not result in a significant negative effect.

Exhibit C

Pardee Revised Butterfield Specific Plan
Dated November 216
(provided under separate cover)
And associated Minor Modifications
conditions of approval

Pardee Revised Butterfield Specific Plan
available on City website at
<http://www.ci.banning.ca.us/archive.aspx>
under Butterfield Specific Plan

PARDEE BUTTERFIELD SPECIFIC PLAN MINOR MODIFICATIONS CONDITIONS OF APPROVAL

COMMUNITY DEVELOPMENT DEPARTMENT

1. Approved Butterfield Specific Plan minor modifications are based upon the plan dated December 2016. The minor modifications include adjustments to the land use plan including:
 - Reservation of Planning Areas (PAs) 60 and 61 as open space rather than the development of 412 dwelling units.
 - Granting a revocable license for hiking, walking, and non-motorized bicycle use and the transport of equipment to the eastern portion of the site.
 - Elimination of the proposed golf course in PA 35 and PA 39, and replacement of the golf course with a central open space recreational area to include parks and open space uses.
 - Reduction in the number of residential units from 5,387 dwelling units to 4,862 dwelling units.
 - Removal of PA 43B in the northwest corner of the Specific Plan area that was outside current Banning city limits and outside of Pardee Homes property ownership, thereby reducing the Specific Plan area from 1,543 acres to 1,528 acres.
2. All original conditions of approval for the approved Butterfield Specific Plan shall remain in effect except as modified by this minor modification approval.
3. On page 1-8, the last bullet shall state that elimination of golf course should be replaced with "active recreational use including biking and pedestrian trails, turnouts for exercise, viewing and educational facilities, all linkable to other tracts, parks and open space, landscaping and providing full public access" as required by Section 8.1.3 of the Development Agreement. This language shall also be added to Section 3.6, Recreation and Open Space.
4. Drainage facilities in the central open space (former golf course) shall be constructed with natural materials or shall be made to appear natural and shall be subject to Design Review approval.
5. All language removing or making trails optional shall be deleted.

ENGINEERING / PUBLIC WORKS DEPARTMENT

6. All entry points to the development from Highland Springs Avenue, Wilson Street and Highland Home Road shall have raised medians (i.e. Highland Home Road/Highland Springs Ave; H Street/Highland Home Road). Revise exhibits as needed.

7. Exhibit 3.3B shall indicate that the Applicant will construct improvements on the east side of Highland Home Road fronting existing homes and shall delete the reference to "improvements by others". The applicant shall provide an exhibit showing the intersection of Highland Home Road and Wilson Street, to the satisfaction of the Public Works Director. There should only be one access road on the north side of this intersection.
8. Meandering sidewalks and dog trails as depicted in the approved plan for the backbone east-west streets shall be provided along the entire road segments of "B" Street, "C" Street, "H" Street, "F" Street, and the east-west portion of Highland Home Road.
9. Exhibit 3.3E, Neighborhood Entry shall show 2:1 Min/Max at right of way.
10. Section 3.4, Drainage Plan, shall include the City's retention language: *At a minimum, all development will make provision to store runoff from rainfall events up to and including the one-hundred-year, 3-hour duration event.*
11. The applicant shall provide documentation for the number of proposed storage tanks and storage capacity.
12. The Specific Plan shall include language regarding Chromium treatment facilities needed to serve the development. Section 5.8.1. shall be updated, and it should also be noted that the proposed WWTP site will also double as a site for Chromium-6 treatment facilities (Applicant to revise exhibits as needed).

ADDED CONDITION

13. Specific Plan boundaries shall remain as originally approved.